



CITY OF WEST LAKE HILLS, TEXAS
NOTICE OF CITY COUNCIL REGULAR MEETING
Wednesday, March 10, 2021 at 7:00 PM

Notice is hereby given that the City Council of the City of West Lake Hills, Texas, will hold a REMOTE Regular Meeting on the 10th day of March 2021 at 7:00 p.m., at which time the following items will be discussed, to-wit:

REMOTE ACCESS ONLY:

In accordance with the Open Meetings update from the Office of the Texas Attorney General on March 19, 2020, the City Council of the City of West Lake Hills will conduct a telephonic meeting in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID19).

The public may participate in this meeting by dialing in to the following toll free number: (346) 248-7799, Meeting ID 883 2016 0333, Password: 209701

If you wish to speak during the meeting, please provide your name, phone number and the item number you wish to speak on to citysec@westlakehills.org by 1:00 P.M. on March 10, 2021

Members of the public who wish to submit their written comments in lieu of speaking shall submit their comments by emailing citysec@westlakehills.org. Comments must be received by 1:00 P.M. on March 10, 2021

1. Call to Order
2. Citizen Communications The City Council Welcomes Public Comments at this Point on any Issue. If the Issue is Listed on the Agenda, the Speaker May Choose to Comment During the Public Comment Period or When the Specific Agenda item is Taken Up by the Council Later in the Meeting. The Council Cannot Respond to Matters Not Listed on the Agenda Until a Future Meeting. Speakers Shall Limit Their Comments to Five (5) Minutes Each
3. Announcements Recognize and Thank the Citizens of West Lake Hills for Being Good Neighbors During the Recent Winter Storm

4. Consent Agenda All Consent Agenda Items Listed are Considered to be Routine by the City Council and Will be Enacted by One (1) Motion. No Separate Discussion or Action on any of the Items is Necessary Unless Desired by a Council Member or Citizen
 - a. Approval of the February 10, 2021 Regular Meeting Minutes
 - b. Proclamation Recognizing the First Monday in March as Covid Memorial Day
 - c. Q4 2020 Quarterly Report for the Building & Development Department
 - d. Q4 Public Safety Report
 - e. Annual Racial Profiling Report
 - f. Recognition of City Secretary Stephanie Mills for Her Graduation from the Texas Municipal Clerks Association as a Texas Registered Municipal Clerk
5. Ordinance Discuss and Consider Action on the Approval of an Ordinance Cancelling the May 1, 2021 General Election and Declaring the Unopposed Candidates for the Offices of Councilmember Place 1, Councilmember Place 3 and Councilmember Place 5 as Elected
 - a. Citizens Communications: All Persons Wishing to Speak on this Matter Shall be Heard
6. Land Use 606 Rocky River Road: Discuss and Consider Action on the Approval of a 4,175 SF Wastewater Utility Easement Located on Tract A, Ben Jones Subdivision (0.872 Acre)
Owners Philip and Mindy Vescovo/Applicant Blair Langlinais
 - a. Public Hearing: All Persons Wishing to Speak for or Against Shall be Heard.
7. Ordinance 3300 Bee Cave Road, Ste. 795: Discuss and Consider Action on the Approval of an Ordinance to Amend the Westbank Market Uniform Sign Agreement to Establish Uniform Signage for Bank of America
Applicant Liberty Signs, Inc.
 - a. Citizens Communications: All Persons Wishing to Speak on this Matter Shall be Heard
8. Adjournment

Approved by: Linda Anthony, Mayor

Certificate

I certify that the above Notice of the March 10, 2021 City Council Regular Meeting was posted online and on the bulletin board at the Municipal Building, 911 Westlake Drive, West Lake Hills, Texas on Friday, March 5, 2021 by 5:00 pm. and will remain posted continuously until said meeting is convened.

Signed by: Stephanie Mills, City Secretary

The City of West Lake Hills is committed to compliance with the Americans with Disabilities Act. Reasonable accommodations and equal access to communications will be provided upon request.

All items on the agenda are for discussion and/or action. City Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development).

CITY OF WEST LAKE HILLS, TEXAS
MINUTES OF A CITY COUNCIL REGULAR MEETING
Wednesday, February 10, 2021 at 7:00 PM

1. Call to Order

With a quorum present, Mayor Anthony called the meeting to order at 7:03 p.m. Members in attendance were Mayor Linda Anthony, Mayor Pro Tem Jim O'Connor, Councilmembers Rhonda McCollough, Brian Plunkett, Beth South and Darin Walker.

2. Announcements Recognition of Sergeant Brandon Grimes for Receiving the FBI-LEEDA Trilogy Award

Sergeant Brandon Grimes was recognized for Receiving the FBI-LEEDA Trilogy Award

Mayor Anthony recessed the meeting at 7:09 p.m. to reconvene after the Board of Adjustment Meeting

3. Citizen Communications The City Council Welcomes Public Comments at this Point on any Issue. If the Issue is Listed on the Agenda, the Speaker May Choose to Comment During the Public Comment Period or When the Specific Agenda item is Taken Up by the Council Later in the Meeting. The Council Cannot Respond to Matters Not Listed on the Agenda Until a Future Meeting. Speakers Shall Limit Their Comments to Five (5) Minutes Each

Mayor Anthony reconvened the City Council Meeting at 8:24 p.m.

Mayor Anthony opened the meeting for public comments. Hearing none, the public comment section was closed

4. Consent Agenda All Consent Agenda Items Listed are Considered to be Routine by the City Council and Will be Enacted by One (1) Motion. No Separate Discussion or Action on any of the Items is Necessary Unless Desired by a Council Member or Citizen

- a. Approval of the January 27, 2021 Regular Meeting Minutes
- b. **3736 Bee Cave Rd, # 3:** Approval of a Sign Application for a Projecting/Wall Sign Located at iFratelli Pizza (City Code Sec. 32.03.009). Applicant Kelly Gonyea, Texas Custom Signs

Motion for Approval of the Consent Agenda as presented made by Councilmember Plunkett with a Second by Mayor Pro Tem O'Connor

Motion for Approval carried unanimously by a vote of 5 ayes to 0 nays

5. Finance Discussion and Update regarding FY 2020-21 Revenue and Expense

City Administrator Travis Askey presented the FY 2020-21 Revenue and Expense Report

No action was taken on this item

6. Executive Session An Executive Session may be held in accordance with the authority contained in Texas Government Code, Section 551 for:
- a. Consultation with City Attorney Regarding Pending Litigation, including Submitted Master Grading and Vegetation Plan, in Cause No. 2019032801; City of West Lake Hills, Plaintiff, v. Jaffe Ventures, LLC; Douglas Jaffe III, and 1405 Wild Cat Hollow, West Lake Hills, Texas, Defendants and Cause No. D1GN19007546: City of West Lake Hills, Plaintiff v. Jaffe Ventures, LLC and Douglas Jaffe III (Texas Government Code Section 551.071)

Council went into Executive Session at 8:38 p.m. and reconvened in Open Session at 9:24 p.m.

7. Administration Take Any Necessary or Appropriate Action on Matters Posted for Consideration in Closed/Executive Session

No action was taken on this item

8. Adjournment

Motion to adjourn the meeting made at 9:24 p.m. by Councilmember Walker with a Second by Councilmember South
Motion for Approval carried unanimously by a vote of 5 ayes to 0 nays

Respectfully submitted,

LINDA ANTHONY, MAYOR

ATTEST:

Stephanie Mills, City Secretary

These minutes were approved on _____, 2020.



BUILDING & DEVELOPMENT DEPARTMENT QUARTERLY REPORT – Q4 2020

MARCH 10, 2021

Agenda Item: Consent Agenda: (c) Q4 2020 Quarterly Report for the Building & Development Services Department.

Requested Action: No action required.

Background & Purpose:

Q4 2020 report from the Building & Development Department on permit application activity and status. This report includes applications submitted for the period October 1st thru December 31st, 2020 and includes a status of applications.

The purpose of the report is to provide City Council regular updates on the activity of the Building & Development Department including permit activity that does not require City Council consideration or approval.

<u><i>Applications Requiring BOA/Council Review</i></u>	Approved	Denied	Withdrawn	Under Review
Variances	5	0	1	10
Zoning Applications	1	0	0	1
Special Use Permits	3	0	0	2
Subdivision Applications	0	0	0	1
Easement Release Requests	1	0	0	0
TOTAL	10	0	1	16

<u><i>Building Permit Activity*</i></u>	Issued	Accepted	Under Completeness Review	Under Technical Review
Residential Remodel	15	14	0	3
New Residential Construction	5	8	0	5
Commercial Remodel	5	6	1	0
New Commercial Construction	0	0	1	0
Fence	7	8	0	2
Swimming Pools	5	4	0	4
Subdivision	0	2	0	2
Signs	6	6	0	4
Other (i.e. outdoor lighting, shed/accessory structure, sport court)	11	12	2	2

TOTAL	54	58	4	20
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**Permits issued between Oct 1 and December 31 may include permits submitted in previous quarters. Permits under review only reflect permits submitted Oct 1 through Dec. 31.*

<u>Permits Closed-Out Q4*</u>	32
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**Includes same permit types as shown in Building Permit Activity table above*

Should Councilmembers have any questions or feedback on the report, please contact the Director of Building & Development Services.



West Lake Hills Police Department West Lake Hills, TX



Public Safety Report 4th Quarter (Oct. – Dec.), 2020

Statistical Highlights

During the 4th quarter (Oct. - Dec.) 2020, there were 12 reported UCR part 1 offenses, compared with 20 for the 3rd quarter of 2020 and 28 during the same period last year. Officers made 6 in-custody or field release arrests in Q4 compared to 15 in Q3.

Officers responded to 21 Traffic Crashes in Q4, compared to 22 in Q3. This resulted in 10 crash reports being completed. Most of our crashes happen on Bee Cave Road.

In Q4, our officers made 416 traffic stops, resulting in 238 violations (57.2%), and 311 warnings (74.7%). Of the 238 violations, 113 were for speeding and 87 were for speeding in a school zone.

During Q4, West Lake Hills Police Officers responded to 469 calls for service, compared to 612 calls for service in Q3. During the quarter, 87 reports were generated. Officers also conducted 149 close patrol checks for residents who were out of town, compared to 210 for Q3.

Investigations

During this quarter, Detectives Stewart and David were assigned 26 new cases. Detectives Stewart and David currently have 18 open cases that they are investigating.

Training

Officers completed 136 hours of training during this quarter, compared to 274 during Q3. Many of the classes taken this quarter were online. Classes taken included FBI – LEEDA Executive Leadership Institute, Firearms Instructor Training, TCIC recertification, and multiple classes dealing with online security training.

COVID-19

On August 19th, we increased our enforcement of hazardous traffic citations in an effort to reduce unsafe driving and accidents since the COVID-19 numbers had come down in the Austin MSA. The traffic stops this quarter reflect this increase in enforcement.

Racial Profiling Report | Full

Agency Name: WEST LAKE HILLS POLICE DEPT.
Reporting Date: 02/22/2021
TCOLE Agency Number: 453207

Chief Administrator: SCOTT E. GERDES

Agency Contact Information:
Phone: (512) 327-1195
Email: sgerdes@westlakehills.org

Mailing Address:
911 WESTLAKE DRIVE
WEST LAKE HILLS, TX 78746

This Agency filed a full report

WEST LAKE HILLS POLICE DEPT. has adopted a detailed written policy on racial profiling. Our policy:

- 1) clearly defines acts constituting racial profiling;
- 2) strictly prohibits peace officers employed by the WEST LAKE HILLS POLICE DEPT. from engaging in racial profiling;
- 3) implements a process by which an individual may file a complaint with the WEST LAKE HILLS POLICE DEPT. if the individual believes that a peace officer employed by the WEST LAKE HILLS POLICE DEPT. has engaged in racial profiling with respect to the individual;
- 4) provides public education relating to the agency's complaint process;
- 5) requires appropriate corrective action to be taken against a peace officer employed by the WEST LAKE HILLS POLICE DEPT. who, after an investigation, is shown to have engaged in racial profiling in violation of the WEST LAKE HILLS POLICE DEPT. policy;
- 6) requires collection of information relating to motor vehicle stops in which a warning or citation is issued and to arrests made as a result of those stops, including information relating to:
 - a. the race or ethnicity of the individual detained;
 - b. whether a search was conducted and, if so, whether the individual detained consented to the search;
 - c. whether the peace officer knew the race or ethnicity of the individual detained before detaining that individual;
 - d. whether the peace officer used physical force that resulted in bodily injury during the stop;
 - e. the location of the stop;
 - f. the reason for the stop.
- 7) requires the chief administrator of the agency, regardless of whether the administrator is elected, employed, or appointed, to submit an annual report of the information collected under Subdivision (6) to:
 - a. the Commission on Law Enforcement; and
 - b. the governing body of each county or municipality served by the agency, if the agency is an agency of a county, municipality, or other political subdivision of the state.

The WEST LAKE HILLS POLICE DEPT. has satisfied the statutory data audit requirements as prescribed in Article

2.133(c), Code of Criminal Procedure during the reporting period.

Executed by: SCOTT E. GERDES
Chief of Police

Date: 02/22/2021

Total stops: 1524

Street address or approximate location of the stop

City street	1108
US highway	1
County road	0
State highway	406
Private property or other	9

Was race or ethnicity known prior to stop?

Yes	9
No	1515

Race / Ethnicity

Alaska Native / American Indian	8
Asian / Pacific Islander	97
Black	88
White	1167
Hispanic / Latino	164

Gender

Female 672

Alaska Native / American Indian	4
Asian / Pacific Islander	37
Black	33
White	547
Hispanic / Latino	51

Male 852

Alaska Native / American Indian	4
Asian / Pacific Islander	60
Black	55
White	620
Hispanic / Latino	113

Reason for stop?

Violation of law 37

Alaska Native / American Indian	0
Asian / Pacific Islander	1
Black	1
White	29

Hispanic / Latino	6
Preexisting knowledge	12
Alaska Native / American Indian	0
Asian / Pacific Islander	1
Black	0
White	9
Hispanic / Latino	2
Moving traffic violation	1360
Alaska Native / American Indian	8
Asian / Pacific Islander	87
Black	82
White	1042
Hispanic / Latino	141
Vehicle traffic violation	115
Alaska Native / American Indian	0
Asian / Pacific Islander	8
Black	5
White	87
Hispanic / Latino	15
Was a search conducted?	
Yes	30
Alaska Native / American Indian	0
Asian / Pacific Islander	1
Black	3
White	21
Hispanic / Latino	5
No	1494
Alaska Native / American Indian	8
Asian / Pacific Islander	96
Black	85
White	1146
Hispanic / Latino	159
Reason for Search?	
Consent	0
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0

Hispanic / Latino	0				
Contraband	10				
Alaska Native / American Indian	0				
Asian / Pacific Islander	1				
Black	0				
White	6				
Hispanic / Latino	3				
Probable	14				
Alaska Native / American Indian	0				
Asian / Pacific Islander	0				
Black	2				
White	12				
Hispanic / Latino	0				
Inventory	6				
Alaska Native / American Indian	0				
Asian / Pacific Islander	0				
Black	1				
White	3				
Hispanic / Latino	2				
Incident to arrest	0				
Alaska Native / American Indian	0				
Asian / Pacific Islander	0				
Black	0				
White	0				
Hispanic / Latino	0				
Was Contraband discovered?					
Yes	26				
		Did the finding result in arrest?			
		(total should equal previous column)			
Alaska Native / American Indian	0	Yes	0	No	0
Asian / Pacific Islander	1	Yes	1	No	0
Black	3	Yes	3	No	0
White	18	Yes	17	No	1
Hispanic / Latino	4	Yes	3	No	1
No	4				
Alaska Native / American Indian	0				
Asian / Pacific Islander	0				
Black	0				
White	3				
Hispanic / Latino	1				

Description of contraband	
Drugs	8
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	2
White	6
Hispanic / Latino	0
Weapons	1
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	1
White	0
Hispanic / Latino	0
Currency	0
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0
Hispanic / Latino	0
Alcohol	14
Alaska Native / American Indian	0
Asian / Pacific Islander	1
Black	0
White	10
Hispanic / Latino	3
Stolen property	1
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0
Hispanic / Latino	1
Other	2
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	2
Hispanic / Latino	0
Result of the stop	
Verbal warning	0

Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0
Hispanic / Latino	0
Written warning	918
Alaska Native / American Indian	4
Asian / Pacific Islander	57
Black	42
White	731
Hispanic / Latino	84
Citation	578
Alaska Native / American Indian	4
Asian / Pacific Islander	39
Black	43
White	416
Hispanic / Latino	76
Written warning and arrest	2
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	2
White	0
Hispanic / Latino	0
Citation and arrest	25
Alaska Native / American Indian	0
Asian / Pacific Islander	1
Black	1
White	19
Hispanic / Latino	4
Arrest	1
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	1
Hispanic / Latino	0
Arrest based on	
Violation of Penal Code	24
Alaska Native / American Indian	0
Asian / Pacific Islander	1

Black	2
White	18
Hispanic / Latino	3
Violation of Traffic Law	2
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	1
Hispanic / Latino	1
Violation of City Ordinance	0
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0
Hispanic / Latino	0
Outstanding Warrant	2
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	1
White	1
Hispanic / Latino	0

Was physical force resulting in bodily injury used during stop?

Yes	0
Alaska Native / American Indian	0
Asian / Pacific Islander	0
Black	0
White	0
Hispanic / Latino	0
No	1524
Alaska Native / American Indian	8
Asian / Pacific Islander	97
Black	88
White	1167
Hispanic / Latino	164

Number of complaints of racial profiling

Total	0
Resulted in disciplinary action	0
Did not result in disciplinary action	0

Submitted electronically to the



The Texas Commission on Law Enforcement

Total traffic stops by the West Lake Hills Police Department = 1524 = 100%

<u>Location of the Stop</u>			
Total = 1524	City Street	1108	72.70%
	US highway	1	0.07%
	County Road	0	0.00%
	State Highway	406	26.64%
	Private property/Other	9	0.59%
<u>Race or ethnicity known prior to stop?</u>			
Total = 1524	Yes	9	0.59%
	No	1515	99.41%
<u>Race/Ethnicity</u>			
Total = 1524	Alaska Native or American Indian	8	0.52%
	Asian/Pacific Islander	97	6.36%
	Black	88	5.77%
	White	1167	76.57%
	Hispanic/Latino	164	10.76%
<u>Gender</u>			
Male = 852	Alaska Native or American Indian	4	0.47%
	Asian/Pacific Islander	60	7.04%
	Black	55	6.46%
	White	620	72.77%
	Hispanic/Latino	113	13.26%
Female = 672	Alaska Native or American Indian	4	0.60%
	Asian/Pacific Islander	37	5.51%
	Black	33	4.91%
	White	547	81.40%
	Hispanic/Latino	51	7.59%
<u>Reason for Stop</u>			
Violation of Law = 37	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	2.70%
	Black	1	2.70%
	White	29	78.38%
	Hispanic/Latino	6	16.22%
Pre-existing Knowledge = 12	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	8.33%
	Black	0	0.00%
	White	9	75.00%
	Hispanic/Latino	2	16.67%
Moving Traffic Violation = 1360	Alaska Native or American Indian	8	0.59%
	Asian/Pacific Islander	87	6.40%
	Black	82	6.03%

Vehicle Traffic Violation = 115	White	1042	76.62%
	Hispanic/Latino	141	10.37%
	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	8	6.96%
	Black	5	4.35%
	White	87	75.65%
Was a search conducted	Hispanic/Latino	15	13.04%
	Yes = 30		
	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	3.33%
	Black	3	10.00%
	White	21	70.00%
No = 1494	Hispanic/Latino	5	16.67%
	Alaska Native or American Indian	8	0.54%
	Asian/Pacific Islander	96	6.43%
	Black	85	5.69%
	White	1146	76.71%
	Hispanic/Latino	159	10.64%
Reason for Search			
Consent = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%
Contraband in plain view = 10	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	10.00%
	Black	0	0.00%
	White	6	60.00%
	Hispanic/Latino	3	30.00%
Probable Cause = 14	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	2	14.29%
	White	12	85.71%
	Hispanic/Latino	0	0.00%
Inventory = 6	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	1	16.67%
	White	3	50.00%
	Hispanic/Latino	2	33.33%
Incident to Arrest = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%

<u>Was contraband discovered</u>			
Yes = 26	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	3.85%
	Black	3	11.54%
	White	18	69.23%
	Hispanic/Latino	4	15.38%
		0	26
No = 4	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	3	75.00%
	Hispanic/Latino	1	25.00%
<u>Description of contraband</u>			
Drugs = 8	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	2	25.00%
	White	6	75.00%
	Hispanic/Latino	0	0.00%
Weapons = 1	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	1	100.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%
Currency = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%
Alcohol = 14	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	7.14%
	Black	0	0.00%
	White	10	71.43%
	Hispanic/Latino	3	21.43%
Stolen Property = 1	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	1	100.00%
Other = 2	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	2	100.00%
	Hispanic/Latino	0	0.00%

Result of the stop			
Verbal Warning = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%
Written Warning = 918	Alaska Native or American Indian	4	50.00%
	Asian/Pacific Islander	57	59.38%
	Black	42	49.41%
	White	731	63.73%
	Hispanic/Latino	84	52.50%
Citation = 578	Alaska Native or American Indian	4	50.00%
	Asian/Pacific Islander	39	40.63%
	Black	43	50.59%
	White	416	36.27%
	Hispanic/Latino	76	47.50%
Written warning and arrest = 2	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	2	100.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%
Citation and arrest = 25	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	4.00%
	Black	1	4.00%
	White	19	76.00%
	Hispanic/Latino	4	16.00%
Arrest = 1	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	1	100.00%
	Hispanic/Latino	0	0.00%
Arrest based on			
Violation of Penal Code = 24	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	1	4.17%
	Black	2	8.33%
	White	18	75.00%
	Hispanic/Latino	3	12.50%
Violation of Traffic Law = 2	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	1	50.00%
	Hispanic/Latino	1	50.00%

Violation of City Ordinance = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%

Outstanding Warrant = 2	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	1	50.00%
	White	1	50.00%
	Hispanic/Latino	0	0.00%

Was physical force resulting in bodily injury used		
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Yes = 0	Alaska Native or American Indian	0	0.00%
	Asian/Pacific Islander	0	0.00%
	Black	0	0.00%
	White	0	0.00%
	Hispanic/Latino	0	0.00%

No = 1524	Alaska Native or American Indian	8	0.52%
	Asian/Pacific Islander	97	6.36%
	Black	88	5.77%
	White	1167	76.57%
	Hispanic/Latino	164	10.76%

Number of complaints of racial profiling		
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total		0	
resulted in disciplinary action		0	0.00%
did not result in disciplinary action		0	0.00%

Demographics of the Austin Metropolitan Statistical Area, per 2019 Census estimates
--

Alaska Native or American Indian		1.20%
Asian/Pacific Islander		7.02%
Black		8.26%
White		50.91%
Hispanic/Latino		32.60%

Demographics of the City of West Lake Hills, per 2019 Census estimates

Alaska Native or American Indian		0.00%
Asian/Pacific Islander		5.31%
Black		0.03%
White		81.96%
Hispanic/Latino		12.69%



TEXAS MUNICIPAL CLERKS CERTIFICATION PROGRAM

AT THE

UNIVERSITY OF NORTH TEXAS
1155 Union Circle #305067
Denton, Texas 76203-5017
(940) 565-3488 • Fax (940) 565-2012
<http://municlerks.unt.edu>

City of West Lake Hills
Received
FEB - 8

February 2, 2021

Linda Anthony
and the City Council
City of West Lake Hills
911 Westlake Dr
West Lake Hills TX 78746-4599

Dear Mayor Anthony:

I am pleased to tell you that City Secretary Stephanie Mills graduated from the Texas Municipal Clerks Certification Program on January 28, 2021.

The Texas Municipal Clerks Certification Program, located at the University of North Texas, is a professional development program. The program is comprised of four courses of study covering municipal finance, municipal law, election law, public economics, public administration, human resource management, public and press relations, communications, office administration, and municipal court administration. Completion of the program requires over 200 hours of individual study that includes submitting written work and successfully passing four examinations. In addition, the candidate must attend eight related seminars requiring over 100 contact hours of instruction.

The Certification Program is recognized and endorsed by Section 22.074 of the *Local Government Code*, Vernon's Texas Codes Annotated.

Congratulations to you and the city council as well as Stephanie for her accomplishments.

Sincerely,

Miriam Sheehan, TRMC

ORDINANCE NO. 2021-002

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WEST LAKE HILLS, DECLARING THE UNOPPOSED CANDIDATES FOR THE OFFICES OF THREE COUNCILMEMBERS AS ELECTED; PROVIDING THAT THE MAY 1, 2021, GENERAL ELECTION SHALL NOT BE HELD; PROVIDING A VALIDITY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; FINDING AND DETERMINING THAT THE MEETING AT WHICH THE ORDINANCE WAS PASSED WAS OPEN TO THE PUBLIC AS REQUIRED BY LAW; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of West Lake Hills, adopted Ordinance 2021-001 on January 27, 2021, ordering a general election to be held on May 1, 2021, for the purpose of electing a three Councilmembers: and

WHEREAS, pursuant to Sections 143.007(c) and 146.054(b) of the Texas Election Code, the deadlines for filing applications for a place on the ballot and declarations of write-in candidacy for the City's general election have expired; and

WHEREAS, the City Secretary, in accordance with Section 2.051 – 2.053 of the Texas Election Code, has certified in writing to the City Council that Rhonda McCollough is unopposed for election to the office of Councilmember Place 1, Beth South is unopposed for election to the office of Councilmember Place 3, and Gordon Bowman is unopposed for election to the office of Councilmember Place 5; and

WHEREAS, the City Council hereby finds and determines that the candidates whose names are to appear on the ballot in said election are unopposed and there are no declared write-in candidates;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST LAKE HILLS:

SECTION 1. That, the facts and matters set forth in the preamble of this ordinance are hereby found to be true and correct.

SECTION 2. That, in accordance with Section 2.053(a), Texas Election Code, the following unopposed candidates are hereby declared duly elected to the respective offices shown and shall be issued a certificate of election following the date on which the regular municipal election for Councilmembers was to have been held:

Rhonda McCollough	Councilmember, Place 1
Beth South	Councilmember, Place 3
Gordon Bowman	Councilmember, Place 5

SECTION 3. That, pursuant to Section 2.053 of the Texas Election Code, the general election for Mayor and two Councilmembers called and ordered by Ordinance 2021-001 on January 27, 2021 shall not be held and is hereby cancelled.

SECTION 4. That, pursuant to Section 2.053 of the Texas Election Code, the City Secretary is hereby directed to cause a copy of this Ordinance to be posted on Election Day, the same being May 1, 2021, at all polling places that would have been used in such election.

SECTION 5. Validity. That, all ordinances of the City of West Lake Hills in conflict with the provisions of this ordinance be, and the same are hereby superseded and all other provisions of the ordinances of the City of West Lake Hills not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. Severability. That should any paragraph, sentence, clause, phrase, or word of this ordinance be declared unconstitutional or invalid for any reason, the remainder of this ordinance shall not be affected.

SECTION 7. That, it is hereby found and determined that the meeting at which this ordinance was passed was open to the public, as required by Section 551.001 et seq, of the Texas Government Code, and that advance public notice of the time, place and purpose of said meeting was given.

SECTION 8. Effective Date. That, this ordinance shall take effect immediately upon its passage, approval, and publication as provided by law, and it is accordingly so ordained.

PASSED AND APPROVED this 10th day of March 2021.

LINDA ANTHONY, MAYOR

ATTEST:

Stephanie Mills, City Secretary



UTILITY EASEMENT REQUEST STAFF REPORT

MARCH 10, 2021

Project Address: 604/606 Rocky River

Project Number: 16386

Agenda Item: 606 Rocky River Road: Discuss and Consider Action on the Approval of a 4,175 SF Wastewater Utility Easement Located on Tract A, Ben Jones Subdivision (0.872 Acre). Owners Philip and Mindy Vescovo/Applicant Blair Langlinais.

Applicant Information: Owners Philip and Mindy Vescovo/Applicant Blair Langlinais

Hearing Dates:

March 10, 2021 City Council

Requested Action: Creation of a utility easement to provide utility access to 604 Rocky River Road located adjacent to and behind 606 Rocky River Road.

Location:

The subject properties are located east of Westlake Drive, north of Bee Cave Road, and west of Westbrook Drive.

Zoning & Site Characteristics:

The subject properties and surrounding neighborhood are zoned R-1 – One-Family Residential. 606 Rocky River Road is approximately 0.872 acre, and 604 Rocky River Road is approximately 2 acres.

Background & Analysis:

604 Rocky River Road is located directly behind 606 Rocky River and does not have direct street frontage. The applicants are seeking approval of a utility easement that runs through 606 Rocky River to 604 Rocky River to have utility extensions including wastewater. The applicants working with City staff to connect to the City's wastewater system. This is the first step in the development process for 604 Rocky River Road. Upon approval of the easement, staff will file it for recordation with the Travis County Clerk's Office.

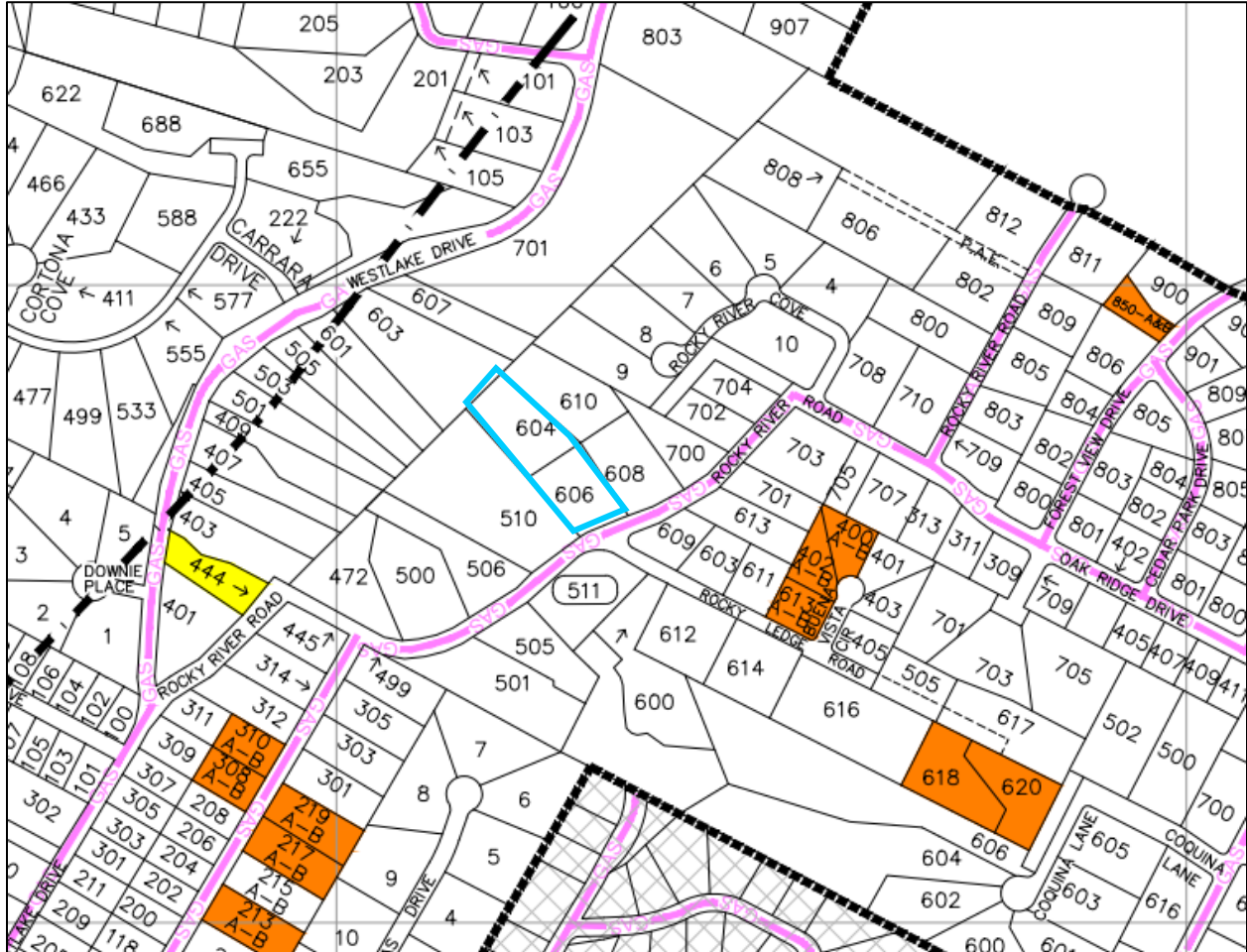
Staff Recommendation:

Staff recommends approval of the requested easement.

Links to Relevant Code:

- [Sec. 18.03.114 New connection fees and conditions](#)

Location Map:



§

§

COUNTY OF TRAVIS

§

§

DATE: February 24, 2021

GRANTOR: George Robert Blich and Mary B. Blich, Trustees

GRANTOR'S MAILING ADDRESS: 606 Rocky River Road
West Lake Hills, Texas 78746

GRANTEE: CITY OF WEST LAKE HILLS, TEXAS, a Texas general law municipal corporation

GRANTEE'S MAILING ADDRESS: 911 Westlake Drive
West Lake Hills, Texas 78746-4509

CONSIDERATION: Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

EASEMENT PROPERTY: A tract of land consisting of 0.872 acre, more particularly described in Exhibit A attached hereto and incorporated herein for all purposes.

PROJECT: Underground wastewater line and all necessary appurtenances thereto including, without limitation, cleanouts, valves, meters, and manholes. The wastewater line will service the new residential construction at 604 Rocky River Road, West Lake Hills, Texas 78746 – property of Philip G. Vescovo and Melinda B. Vescovo. No above ground or surface use is granted by this easement except as allowed to build the wastewater line, and ingress and egress on and across the Easement Property for the purposes of maintaining, replacing, upgrading, inspecting and repairing the underground wastewater line and appurtenances thereto as granted herein.

GRANTOR, for the CONSIDERATION paid to GRANTOR, hereby grants, sells, and conveys to GRANTEE an easement and right-of-way in, under and across the EASEMENT PROPERTY, for the purposes of the Project for the right to use the EASEMENT PROPERTY for the purposes stated below, with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold to GRANTEE and GRANTEE's successors and assigns forever. The easement, right-of-way, rights, and privileges herein granted shall be used for the

purposes of excavating for, laying, constructing, placing, operating, maintaining, replacing, upgrading, inspecting, and repairing the PROJECT, or any part of the PROJECT, and making connections therewith as depicted in Exhibit A.

GRANTEE shall have the right of ingress and egress at all times upon and across the EASEMENT PROPERTY for the above stated purposes. In the event that immediate access to the EASEMENT PROPERTY is not reasonably available over the EASEMENT PROPERTY, and only in that event, then GRANTEE shall have the right of ingress and egress over existing roads across the adjacent or remainder property of GRANTOR for the purpose of obtaining such access. In the event that such access is not reasonably available over the EASEMENT PROPERTY and not available over existing roads, and only in that event, GRANTEE shall have the right of reasonable ingress and egress over the adjacent property of GRANTOR along any route that is reasonable and appropriate under the circumstances then existing in order to obtain such access. In the event that a fence(s) is constructed on, across or around the EASEMENT PROPERTY, GRANTEE shall have the right to construct and install gates as necessary to ensure adequate access to the EASEMENT PROPERTY for the purposes of the PROJECT.

GRANTEE shall have the right to license, permit, or otherwise agree to the joint use or occupancy of the EASEMENT PROPERTY by any other person or entity only for the purposes set out herein. GRANTEE shall have the right to conduct archeological, historical, environmental, and other studies as required by the State of Texas on the EASEMENT PROPERTY but only in connection with the exercise of the rights granted herein.

GRANTOR agrees that it shall not place any structure or materials in or on the EASEMENT PROPERTY that would endanger or interfere with the safe, efficient, or convenient operation, or maintenance of the PROJECT or the rights of ingress and egress granted herein. GRANTOR, its successors or assigns, shall not place or store any material upon or cover, bury, pave over, or otherwise obstruct, any clean out, valve, meter, or manhole located within the EASEMENT PROPERTY. GRANTOR shall not plant trees or shrubs of any kind within the boundaries of the EASEMENT PROPERTY. In the event that GRANTOR shall place any unpermitted structure or materials within the boundaries of the EASEMENT PROPERTY and fails to remove same within three days of receipt of written notice delivered certified mail, return receipt requested by GRANTEE, GRANTEE shall have the right, but not the obligation, to remove such structure or material. In the event, GRANTEE removes such unpermitted structure or materials from the EASEMENT PROPERTY, GRANTOR shall reimburse GRANTEE for any and all costs connected with such removal including, but not limited to, contractors' fees, equipment costs, and notification costs, within 30 days after receipt of written notice of such costs from GRANTEE.

GRANTOR reserves the rights to landscape the surface of the easement property with grass and flowers, to place, locate maintain and operate driveways and parking facilities on the EASEMENT PROPERTY. GRANTOR reserves the right to use the surface of the EASEMENT PROPERTY, subject to the restrictions set out herein.

GRANTEE at all times after completing any work in connection with operating, maintaining, reconstructing, replacing, rebuilding, upgrading, renewing, removing, inspecting,

patrolling, changing, modifying, or repairing of the PROJECT, or any part of the PROJECT will restore the portion(s) of the surface of the EASEMENT PROPERTY that was disturbed as nearly as possible, to the condition in which the EASEMENT PROPERTY was found immediately before such work was undertaken; however, GRANTOR understands and agrees that vegetation cleared from the EASEMENT PROPERTY will be replaced with grass seed. All PROJECT work commenced by GRANTEE or its successors or assigns within the EASEMENT PROPERTY shall be diligently pursued to completion and completed as soon as reasonably practicable after commencement, and shall not unreasonably interfere with the use of the EASEMENT PROPERTY.

It is understood and agreed that the CONSIDERATION herein paid includes payment for ordinary operation and maintenance of the PROJECT but does not include damages, if any, to GRANTOR'S remainder property which may occur in the future directly resulting from the reconstruction or repair of the PROJECT. All parts of the PROJECT installed on the EASEMENT PROPERTY shall remain the exclusive property of GRANTEE.

GRANTOR expressly reserves all oil, gas, and other minerals owned by GRANTOR, in, on, and under the EASEMENT PROPERTY, provided that GRANTOR shall not be permitted to drill or excavate for minerals on the surface of the EASEMENT PROPERTY, but GRANTOR may extract oil, gas, or other minerals from and under the EASEMENT PROPERTY by directional drilling or other means which do not interfere with or disturb GRANTEE's use of the EASEMENT PROPERTY.

The rights granted to GRANTEE in this EASEMENT shall be and are assignable in whole or in part by the City of West Lake Hills to any successor or assignee of its wastewater system. This instrument, and the terms and conditions contained herein, shall inure to the benefit of and be binding upon GRANTEE and GRANTOR, and their successors and assigns.

GRANTOR warrants and shall forever defend the easement to GRANTEE against anyone lawfully claiming or to claim the easement or any part thereof.

This instrument is made and is subject to all encumbrances and other matters of record in the Official Public Records of Travis County, Texas.

When the context requires, singular nouns and pronouns include the plural. When appropriate, the term "GRANTEE" includes the employees, agents, subsidiaries, officers, servants, contractors, successors and assigns of GRANTEE.

This instrument may be executed in duplicate originals, and each counterpart shall be deemed an original and all such counterparts together shall constitute one and the same instrument.

GRANTOR:

By: _____
George Robert Blitch and Mary B. Blitch, Trustees

ACKNOWLEDGEMENT

STATE OF TEXAS §
 §
COUNTY OF TRAVIS §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN under my hand and seal of office this, the ____ day of _____, 2021.

NOTARY PUBLIC, STATE OF TEXAS
Printed Name of Notary

MY COMMISSION EXPIRES:

(SEAL)

GRANTEE:

CITY OF WEST LAKE HILLS

By: _____
Its _____

ACKNOWLEDGEMENT

STATE OF TEXAS §
 §
COUNTY OF TRAVIS §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN under my hand and seal of office this, the ____ day of _____, 2021.

NOTARY PUBLIC, STATE OF TEXAS
Printed Name of Notary

MY COMMISSION EXPIRES:

(SEAL)

AFTER RECORDING RETURN TO:

**The City of West Lake Hills
Attn: Travis Askey
911 Westlake Drive
West Lake Hills, Texas 78746-4509**

Exhibit "A"

WASTEWATER EASEMENT

HOLT CARSON, INC.

1904 FORTVIEW ROAD
AUSTIN, TX 78704
TELEPHONE: (512) 442-0990
hci@austin.rr.com

December 7, 2020

FIELD NOTE DESCRIPTION FOR A 15 FOOT WIDE WASTEWATER EASEMENT OVER AND ACROSS A PORTION OF THAT (0.872 ACRE) TRACT OUT OF TRACT A, BEN JONES SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 18 PAGE 72 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, WHICH WAS CONVEYED TO THE GEORGE ROBERT BLITCH AND MARY B. BLITCH LIVING TRUST AS RECORDED IN DOCUMENT NO. 2011182367 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING FOR REFERENCE at a ½ inch iron pipe found in the north right-of-way line of Rocky River Road, and being at the south common corner of Tract A and Tract B, Ben Jones Subdivision, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 18 Page 72 of the Plat Records of Travis County, Texas, and being at the southeast corner of that certain (0.872 Acre) tract conveyed to the George Robert Blitch and Mary B. Blitch Living Trust by deed recorded in Document No. 2011182367 of the Official Public Records of Travis County, Texas;

THENCE with the north right-of-way line of Rocky River Road, the following two courses:

- 1) S 70 deg. 55' 00" W 25.29 ft. to a ½ inch iron pipe found;
- 2) S 68 deg. 21' 55" W 77.01 ft. to a calculated point at the southeast corner and PLACE OF BEGINNING of the herein described wastewater easement;

THENCE continuing with the north right-of-way line of Rocky River Road, S 68 deg. 21' 55" W 18.41 ft. to a calculated point at the southwest corner of this easement, and from which a ½ inch iron pipe found bears S 68 deg. 21' 55" W 4.51 ft.;

Page 2 of 2

4,175 sq. ft wastewater easement

THENCE crossing the interior of said Tract A, the following four courses:

- 1) N 13 deg. 47' 32" E 98.96 ft. to a calculated point;
- 2) N 15 deg. 37' 57" W 113.72 ft. to a calculated point;
- 3) N 31 deg. 51' 00" W 4.13 ft. to a calculated point
- 4) N 79 deg. 51' 20" W 61.86 ft. to a calculated point in the north line of said (0.872 Acre) tract, and being at the northwest corner of this easement;

THENCE with the north line of said (0.872 Acre) tract, N 57 deg. 33' 12" E 22.16 ft. to a calculated point at the northeast corner of this easement, and from which an axle found at the northeast corner of said (0.872 Acre) tract, being the northwest corner of said Tract B bears N 57 deg. 33' 12" E 39.32 ft.

THENCE crossing the interior of said (0.872 Acre) tract, S 79 deg. 51' 20" E 53.01 ft. to a calculated point in the common line of said Tract A and said Tract B, and being at an angle corner of this easement;

THENCE with the common line of said Tract A and said Tract B, S 31 deg. 58' 42" E 10.32 ft. to a calculated point at an angle corner of this easement;

THENCE crossing the interior of said Tract A, the following two courses:

- 1) S 15 deg. 37' 57" E 121.98 ft. to a calculated point;
- 2) S 13 deg. 47' 32" W 92.22 ft. to the Place of Beginning, containing 4,175 sq. ft. of land.

PREPARED: December 7, 2020

BY:

Anne Thayer

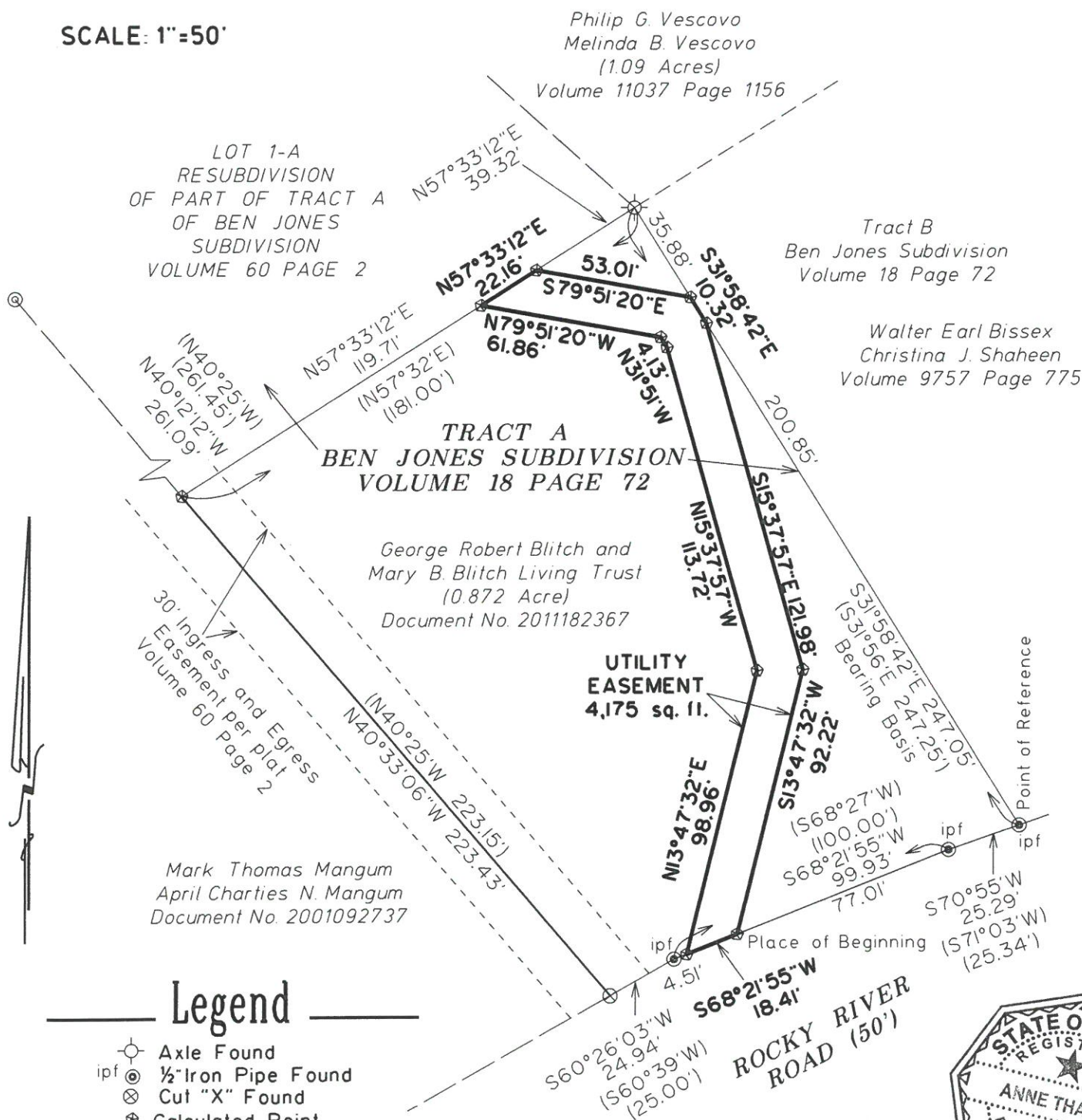
Registered Professional Land Surveyor No. 5850

See sketch 1054126



SKETCH TO ACCOMPANY FIELD NOTE DESCRIPTION FOR A 15 FOOT WIDE UTILITY EASEMENT OVER AND ACROSS A PORTION OF THAT (0.872 ACRE) TRACT OUT OF TRACT A, BEN JONES SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 18 PAGE 72 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, WHICH WAS CONVEYED TO THE GEORGE ROBERT BLITCH AND MARY B. BLITCH LIVING TRUST AS RECORDED IN DOCUMENT NO.2011182367 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

SCALE: 1"=50'



Legend

- ⊙ Axle Found
- ipf ⊙ 1/2" Iron Pipe Found
- ⊗ Cut "X" Found
- ⊕ Calculated Point
- (Record Bearing and Distance)

PREPARED: December 7, 2020
BY:

Anne Thayer



HOLT CARSON, INC.
1904 FORTVIEW ROAD
AUSTIN, TX 78704
(512) 442-0990



SMALL PROJECT APPLICATION

Date Application Received: _____ Received By: _____
Amount Due: \$ _____ Amount Recd \$ _____ Date: _____
Permit No: _____ Admin Complete Date: _____

APPLICATION TYPE

This permit application is only for small projects that can be quickly approved. For projects involving remodels, additions, new construction, drainage, swimming pools, sport courts, additional impervious cover, etc. the Residential or Commercial Building Permit Application must be completed.

Please check the applicable boxes for your application submittal:

Residential ☐ or **Commercial** ☐

☐ Roof ☐ Driveway ☐ HVAC ☐ Plumbing ☐ Electrical ☐ Water Heater

☐ Window Replacement ☐ Irrigation ☐ Solar Panels ☐ Other: _____

PROJECT INFORMATION

Project Name: _____

Property Address: _____

Block: _____ Lot: _____ Tax Parcel ID: _____

Zoning Classification: _____ Total Lot Area: _____ acres

City Limits: ☐ Yes ☐ No

Brief description of proposed project:

Please complete the following section if any site/flat work is proposed:

Additional Impervious Cover: _____ sf Total Impervious Cover: _____ %

Edwards Aquifer: ☐ Recharge Zone ☐ Contributing Zone ☐ Transition Zone

FEMA Floodplain: ☐ Yes ☐ No



SMALL PROJECT APPLICATION

APPLICANT INFORMATION*

The agent is the official contact person for this project and the single point of contact. All correspondence and communication will be conducted with the agent. If no agent is listed, the owner will be considered the agent.

Billing Contact (please check one): Owner ☒ Agent ☐ General Contractor ☐

Property Owner: PHILIP AND MINDY VESCO Phone: 512-917-2926

Email: [REDACTED]

Address: 604 ROCKY RIVER ROAD City: WEST LAKE HILLS State: TX Zip: 78746

Agent: BLAIR LANGLINAIS Phone: 512-577-1615

Email: [REDACTED]

Address: 1009 W 6TH STREET; SUITE 201 City: AUSTIN State: TX Zip: 78703

Engineer/Surveyor/Architect: CUDE ENGINEERS Phone: 972-822-1682

Email: [REDACTED]

Address: 1620 LA JAITA DR; #250 City: CEDAR PARK State: TX Zip: 78613

Contractor: RISHER + MARTIN Phone: 512-495-9090

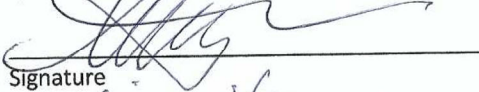
Email: [REDACTED]

Address: 3904 MEDICAL PARKWAY; SUITE A City: AUSTIN State: TX Zip: 78756

*For projects valued at \$25,000 or greater, General Contractor registration is required and subject to City of West Lake Hills Code, Section 22.03.130. A separate Contractor Registration Form must be completed unless the contractor already has one on file.

AUTHORIZATION & ACKNOWLEDGEMENT

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant of said property, the signature of the property owner must be included below or consent must be attached.


Signature

4 Feb 2021
Date

Mindy Vesco
Printed Name



SIGN AGREEMENT AMENDMENT APPLICATION STAFF REPORT

MARCH 10, 2021

Project Address: 3300 Bee Cave Road, Suite 795

Project Number: 16063

Agenda Item: Ordinance: 3300 Bee Cave Road, Ste 795: Discuss and consider Action on the Approval of an Ordinance to Amend the Westbank Market Uniform Sign Agreement to Establish Uniform Signage for Bank of America. Applicant Liberty Signs, Inc.

Applicant Information: Liberty Signs, Inc

Hearing Date:

March 10, 2021 City Council

Requested Action: The applicant is requesting approval of a Uniform Sign Agreement Amendment to replace the existing signage at Bank of America.

Location: The property is located east of Bulian Lane, north of Bee Cave Road, and west of Las Lomas Drive.

Zoning & Site Characteristics:

The property is zoned B – 3 – Business 3 District. The property is subject to the Westbank Market Uniform Sign Agreement.

Background/Analysis:

The applicant would like to replace all existing signage at Bank of America. No additional signs are proposed. The property is subject to a Uniform Sign Agreement, but it does not have provisions for many of the sign types, including the directional signage and drive-up teller signage. Overall, the sign and letter sizes comply with the provisions in the Uniform Sign Agreement, and the colors mostly match with the exception of the proposed silver/white.

The City's Sign Ordinance has provisions for directional signage on commercial property, which the proposed signs complies with, but the Code requires that directional signage should be approved as part of an overall sign program for the entire site. Therefore, it is necessary to amend the existing Uniform Sign Agreement to include specific provisions for the entire sign

program for Bank of America. The Westbank Market Uniform Sign Agreement is included in the agenda packet and links to relevant sections of the City's Sign Ordinance can be found below.

Lighting

Several of the signs, such as directional and drive-up teller signs, will not have any lighting. The primary wall sign at the storefront will include illumination.

Staff Recommendation:

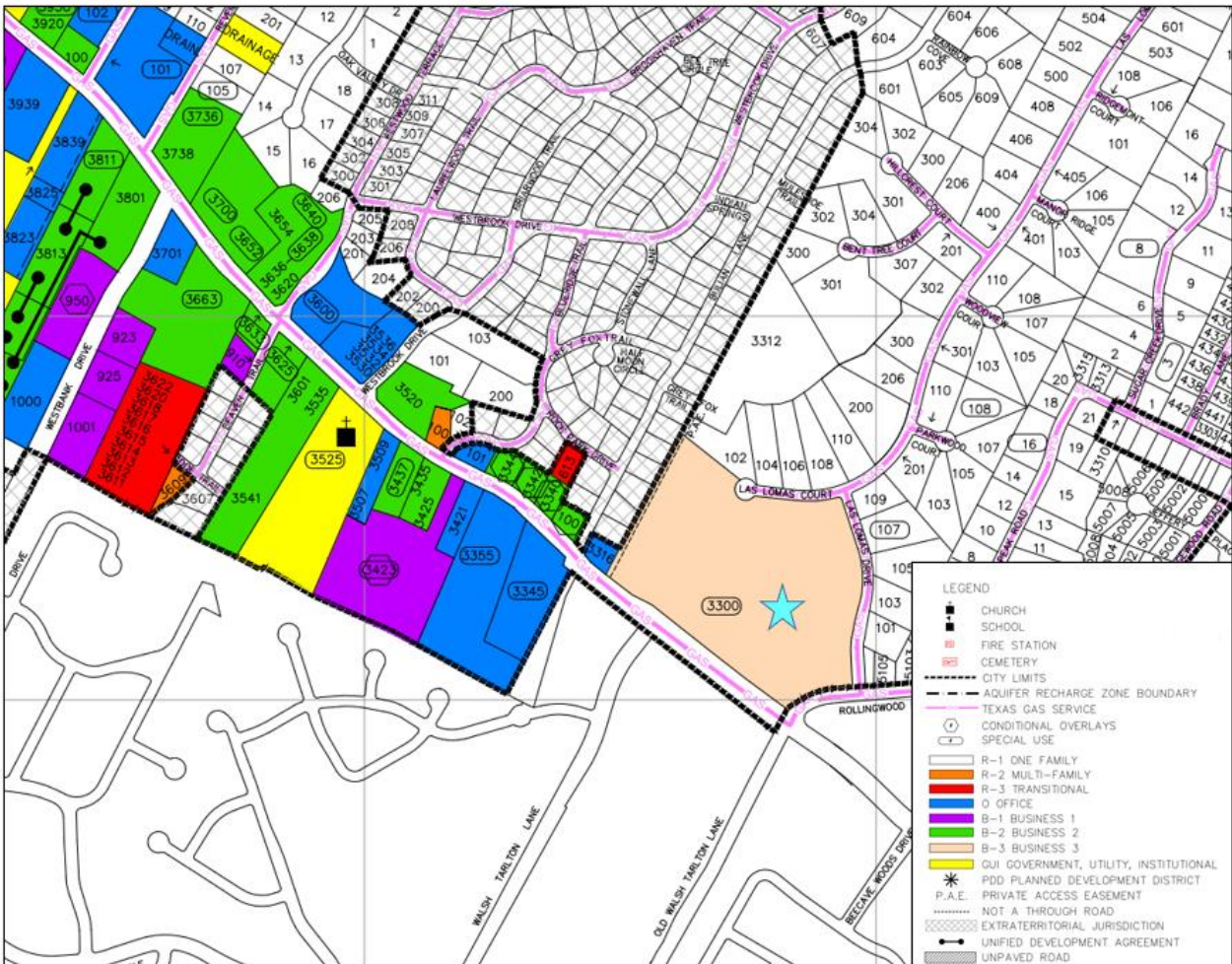
Staff recommends approval of the requested amendment.

Links to Code:

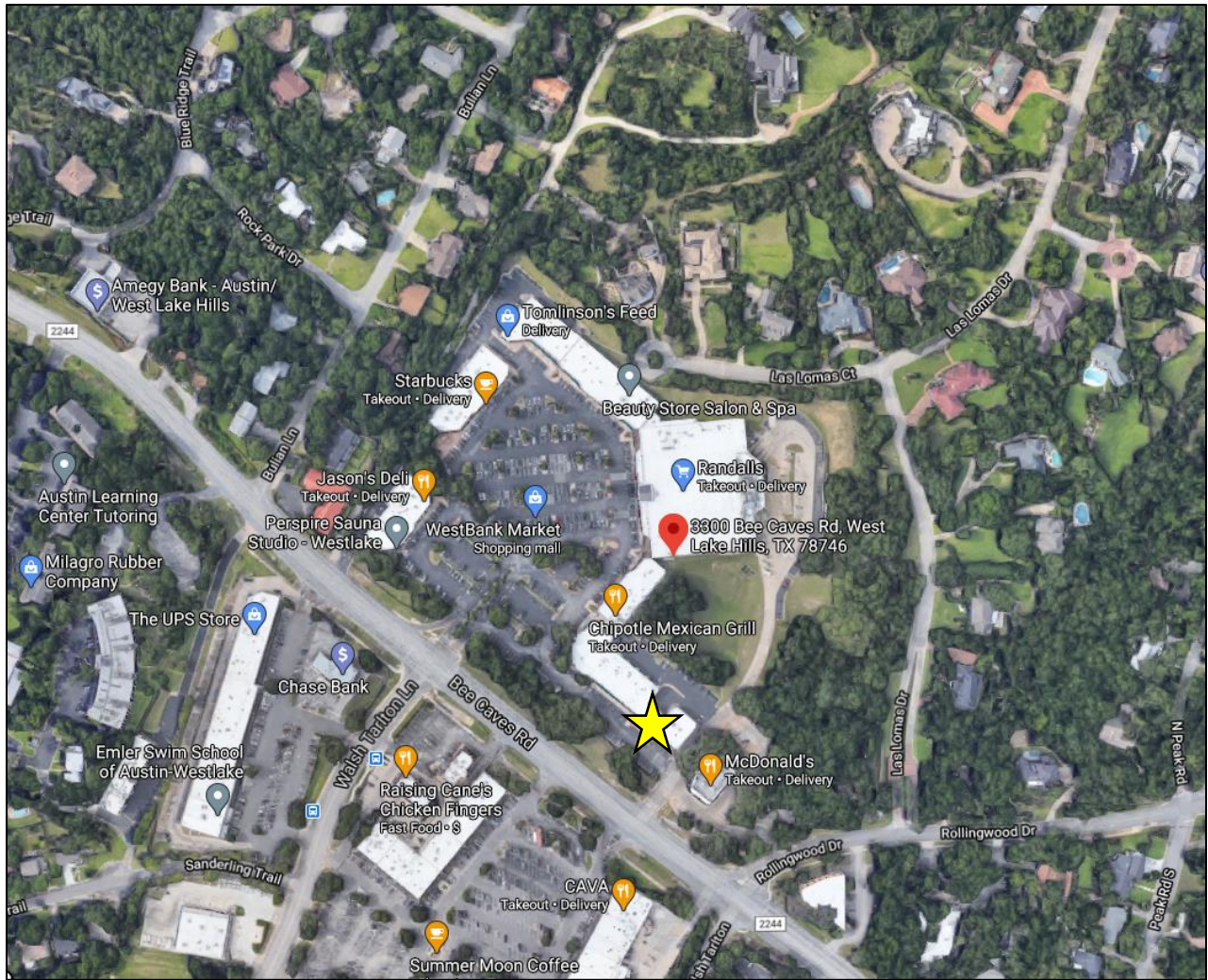
- [Sec. 32.03.004 Traffic-control signs upon private commercial property](#)
- [Sec. 32.03.016 Uniform signage agreements](#)

(Maps to follow)

Zoning:



Aerial:



ORDINANCE NO. _____

CITY OF WEST LAKE HILLS

SIGNS-UNIFORM SIGNAGE AGREEMENT

AN ORDINANCE AMENDING THE WESTBANK MARKET UNIFORM SIGNAGE AGREEMENT – UNIFORM SIGNAGE CRITERIA PURSUANT TO SECTION 32.03.016, CHAPTER 32 SIGNS OF THE WEST LAKE HILLS CODE OF ORDINANCES; UPDATING REGULATIONS; PROVIDING FOR THE FOLLOWING: FINDINGS OF FACT; AMENDMENT; REPEALER; SEVERABILITY; EFFECTIVE DATE; AND PROPER NOTICE AND MEETING.

WHEREAS, the City Council of the City of West Lake Hills (“City Council”) seeks to provide for the public health, safety, and welfare of its citizens; and

WHEREAS, the City Council seeks to promote orderly and safe use of property within the City of West Lake Hills, Texas (“City”); and

WHEREAS, the City Council desires to update the uniform signage agreement for the Village at Westlake to meet the changing conditions in the City and at the location; and

WHEREAS, uncontrolled placement of signs has a negative impact on the health, safety, and welfare of local residents; and

WHEREAS, regulation of signs through uniform signage agreements in the City will substantially promote the City’s interest in preserving the aesthetic beauty of the City; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an Ordinance or police regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, pursuant to Chapter 216 of the Texas Local Government Code, the City has the authority to regulate signs within the City Limits and the extraterritorial jurisdiction (ETJ); and

WHEREAS, the City Council held discussion on the proposed amendments and held a public hearing on March 10, 2021; and

WHEREAS, the City Council finds that the amendment proposed is reasonable, necessary, and proper for the good government of the City of West Lake Hills.

**NOW, THEREFORE, BE IT ORDAINED by the City Council of West Lake Hills,
Texas:**

1. FINDINGS OF FACT

The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

2. AMENDMENT

The Westbank Market Uniform Sign Agreement as listed in Section 32.03.016 is hereby amended to read in accordance with *Attachment A and Attachment B*, which are attached hereto and incorporated into this Ordinance for all intents and purposes. *Attachment A and Attachment B* shall be appended to the Uniform Signage Agreement.

3. REPEALER

All ordinances, resolutions, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated, herein.

4. SEVERABILITY

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

5. EFFECTIVE DATE

This Ordinance shall be effective immediately after passage.

6. PROPER NOTICE & MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551.

PASSED & APPROVED this, the _____ day of _____, 2021, by a vote of _____(ayes) to _____ (nays) to _____ (abstentions) of the City Council of West Lake Hills, Texas.

CITY OF WEST LAKE HILLS:

by: _____
Linda Anthony, Mayor

ATTEST:

Stephanie Mills, City Secretary

Amendment # 1

WESTBANK MARKET – 3300 Bee Cave Road, Suite 795 UNIFORM SIGNAGE CRITERIA

WHEREAS, on February 24, 2011, the West Lake Hills City Council approved an agreement (commonly referred to as the “Uniform Sign Agreement”, hereafter referred to as the “Agreement”) with Westlake Market, LP, the owners/operators of the Westbank Market located at 3300 Bee Cave Road establishing Uniform Sign Criteria applying to the individual tenants of that shopping center; and

WHEREAS, a tenant located at Suite 795, Bank of America, has requested an amendment to the Agreement to allow for its own uniform sign regulations in order to replace all of the existing signage; and

WHEREAS, having considered the evidence and public comment presented, the City Council finds this amendment to be reasonable and within the spirit of the Agreement.

NOW, THEREFORE, shall the Agreement be amended as follows:

- (1) This Amendment shall apply only to Bank of America located in Suite 795, 3300 Bee Cave Road (hereafter referred to as “Bank of America”); and
- (2) Bank of America is hereby permitted to replace all existing signage as detailed below and in the attached specifications (*Attachment “B”*); and
- (3) Bank of America is permitted to have the following signs:
 - a. One (1) Wall Sign totaling 22sf with lettering 9” in height and colors to be Blue PMS 540C with accent color Red PMS 1801C; sign will be reverse lit illuminated (see Sign Ext-001 details in *Attachment “B”*); and
 - b. One (1) Door/Window Sign (see Sign EXT-002 details in *Attachment “B”*); and
 - c. Two (2) Wall/Directional Do Not Enter Signs, size is 2sf, colors to be Garbo Siler, Blue 3M 680-75, and Red MP 49696; no illumination (refer to Signs EXT-003a; EXT-003b details in *Attachment “B”*); and
 - d. Four (4) Wall/Directional Drive-up Teller Signs, size is 2sf, colors to be Garbo Siler, Blue 3M 680-75, and Red MP 49696; no illumination (refer to Signs EXT-004; EXT-004a; EXT-004b; EXT-004c in *Attachment “B”*); and
 - e. Two (2) Wall/Directional Clearance Signs, size is 2sf, colors to be Garbo Siler, Blue 3M 680-75, and Red MP 49696; no illumination (refer to Signs EXT-004e; EXT-004f in *Attachment “B”*); and
 - f. One (1) Drive-Up Window Sign (refer to Sign EXT-005 in *Attachment “B”*); and
 - g. One (1) Directional Sign (in parking lot), size is 2sf, colors to be Garbo Siler, Blue 3M 680-75, and Red MP 49696; no illumination (refer to Sign EXT-006 in *Attachment “B”*); and
 - h. One (1) Wall/Directional Sign – Drive-up Tellers at Rear of Bank, size is 2sf; colors to be colors to be Garbo Siler, Blue 3M 680-75, and Red MP 49696; no illumination (refer to Sign EXT-008 in *Attachment “B”*); and

- (4) Except as otherwise stated in this Amendment, all signage design details shall comply with the Westbank Market Uniform Sign Agreement, including signage lighting.
- (5) Signage design and location shall conform to the specifications shown in *Attachment "B"*.

CITY OF WEST LAKE HILLS:

Westbank Market LP:

By: _____
Linda Anthony, Mayor

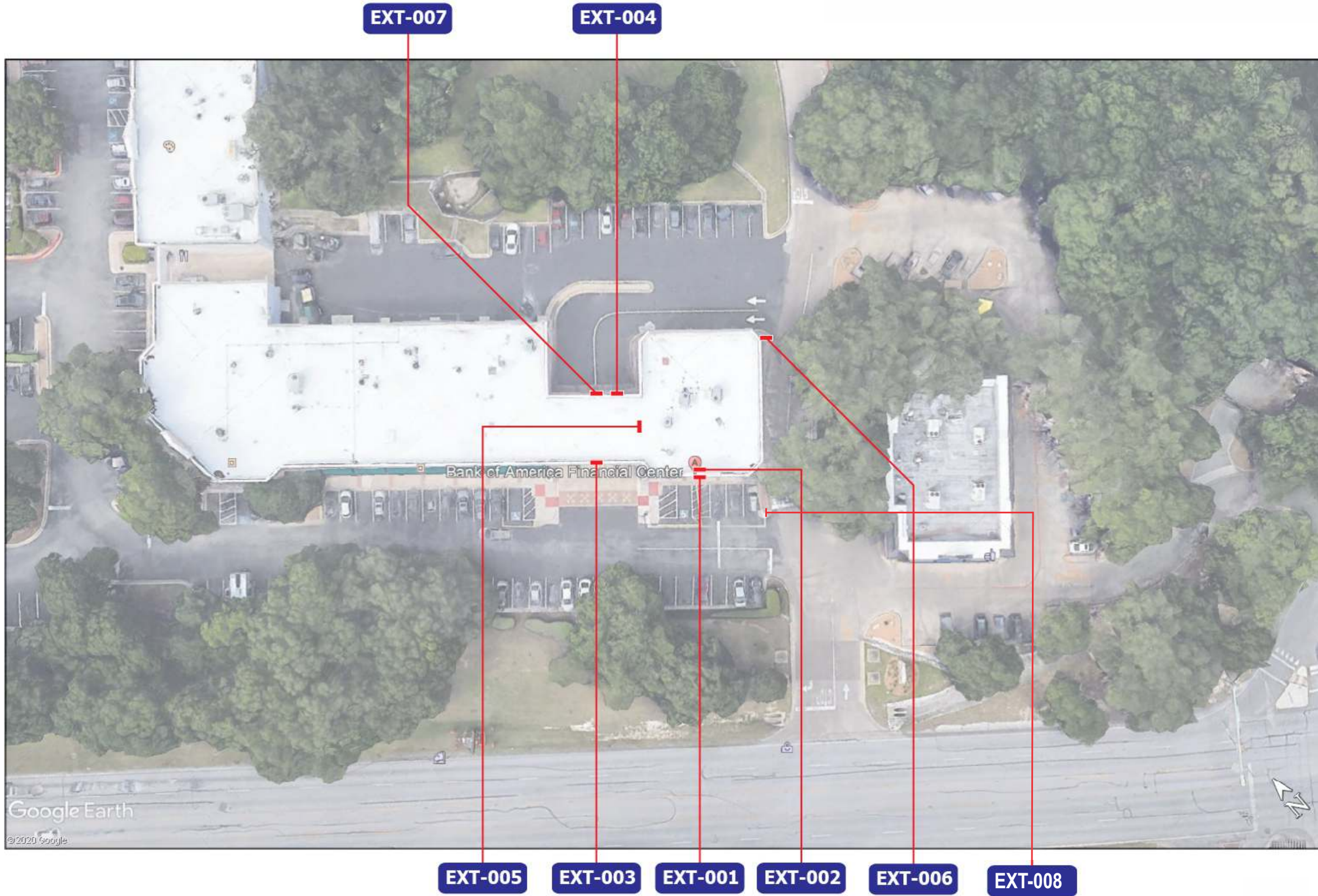
By: _____

Date: March 10, 2021

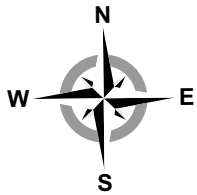
Date: _____

BANK OF AMERICA

3300 BEE CAVES ROAD, SUITE 795
AUSTIN, TX 78746



- EXT-001 KCH-CUSTOM COLORED REVERSE LIT LETTERS
- EXT-002 DOOR GRAPHICS
- EXT-002a REMOVE ONLY
- EXT-003a SS-Custom-ng DO NOT ENTER SIGN
- EXT-003b SS-Custom-ng DO NOT ENTER SIGN
- EXT-004 SS-Custom-ng DRIVE-UP TELLER SIGN
- EXT-004a SS-Custom-ng DRIVE-UP TELLER SIGN
- EXT-004b SS-Custom-ng DRIVE-UP TELLER SIGN
- EXT-004c SS-Custom-ng DRIVE-UP TELLER SIGN
- EXT-004d REMOVE ONLY
- EXT-004e SS-Custom-ng CLEARANCE
- EXT-004f SS-Custom-ng CLEARANCE
- EXT-005 DRIVE UP WINDOW
- EXT-006 P2ng DIRECTIONAL SIGNS
- EXT-007 BY OTHERS
- EXT-008 RW1ng PLAQUE SIGN
- F01-001 INTERIOR DISTRACTION VINYL
- ATM-1 BY OTHERS



NOTE:
ALL EXISTING SIGNS ARE TO BE
REMOVED AND DISPOSED OF PROPERLY

AERIAL VIEW

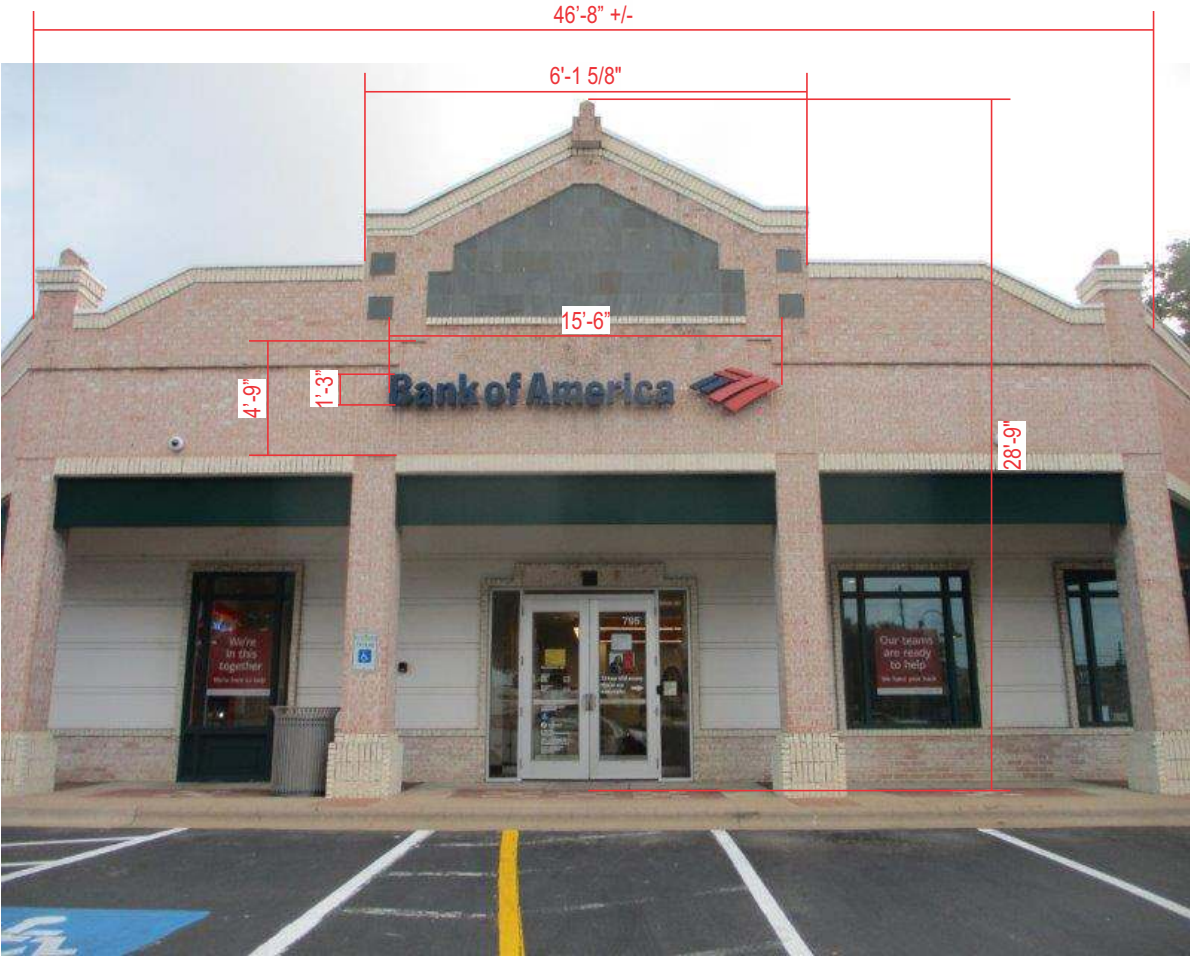
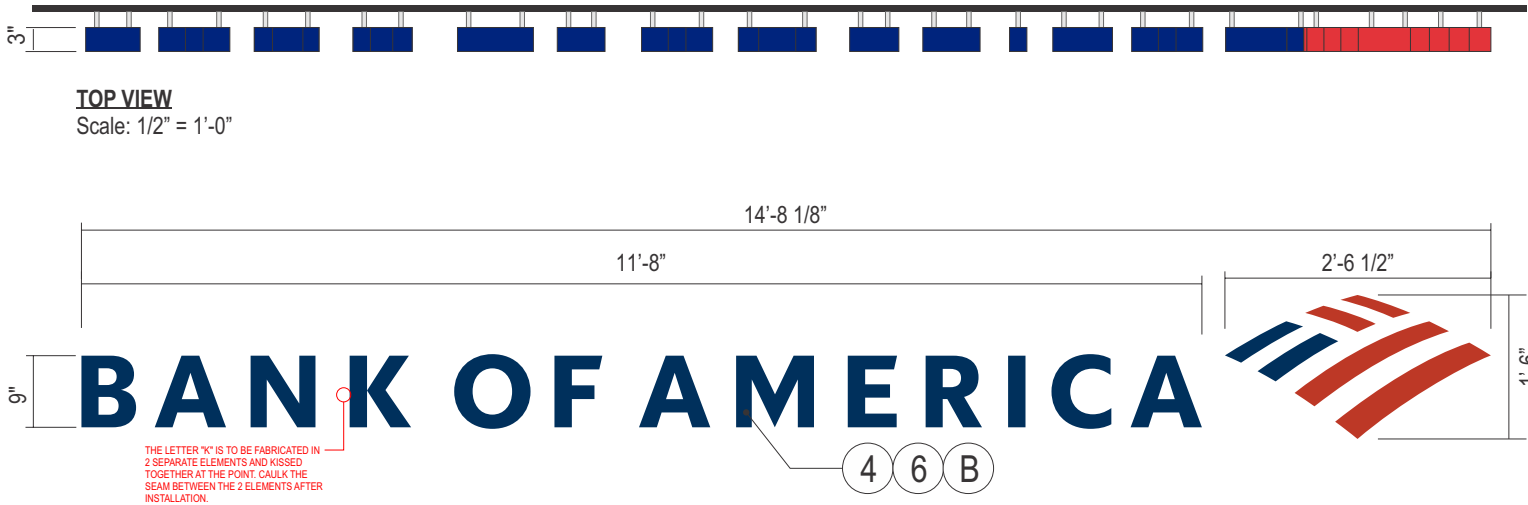


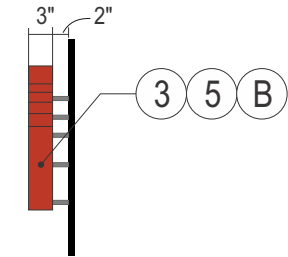
PHOTO SURVEY OF EXISTING
Scale: 1/8" = 1'-0"



EXT-001 PHOTO SURVEY OF PROPOSED
Scale: 1/8"= 1'-0"



TOP VIEW
Scale: 1/2" = 1'-0"



SIDE VIEW
Scale: 1/2" = 1'-0"

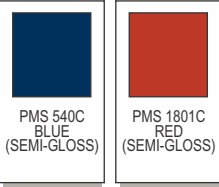
EXT-001 KCH-Custom HALO- FULL COLOR - 8 1/4" CHANNEL LETTERS - 22 SQ. FT.
Scale: 1/2" = 1'-0"

MATERIALS:

#	DESCRIPTION
1	.150 CLEAR GE LEXAN #SG-100
2	.090 ALUMINUM INTERMITTEN CLIPS
3	.050" ALUM. LETTER RETURNS PAINTED BLUE SEMI-GLOSS FINISH
4	.125 ALUM. FACE LETTER PAINTED BLUE SEMI-GLOSS FINISH
5	.050" ALUM. LETTER RETURNS PAINTED RED SEMI-GLOSS FINISH
6	.125 ALUM. FACE LETTER PAINTED RED SEMI-GLOSS FINISH
7	PAIGE WALL BUSTER #980014 OR APPROVED EQUAL
8	LED MODULES - SLOAN LED (6500k)
9	WEEP HOLES W/ COVERS
10	TRANSFORMER BOX WITH POWER SUPPLY
11	1/4" Ø ATTACHMENT HARDWARE

NOTES:
A. POP RIVET TO LEXAN BACKS
B. PAINT INTERIOR WITH LIGHT ENHANCEMENT PAINT
C. SEE SCHEDULE
D. ONE UL LABEL VISIBLE FROM GROUND, OTHERS ON TOP

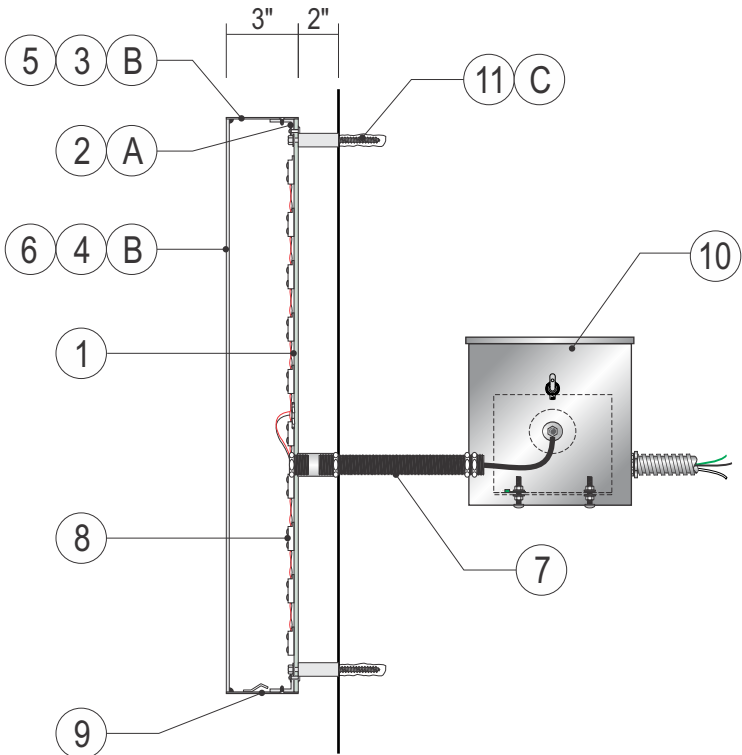
FINISHES:



ELECTRICAL REQUIREMENTS:

1)ONE 120/20 amp CIRCUIT REQ'D
TOTAL 2.2 AMPS U.L. LABELS REQ'D

UL LABEL LOCATION
☐ STD. LEFT CORNER
☐ TOP OF LETTERS/ NOT VISIBLE
☒ SEE NOTE



TYPICAL SECTION
Scale: Not to Scale

FASTENER SCHEDULE

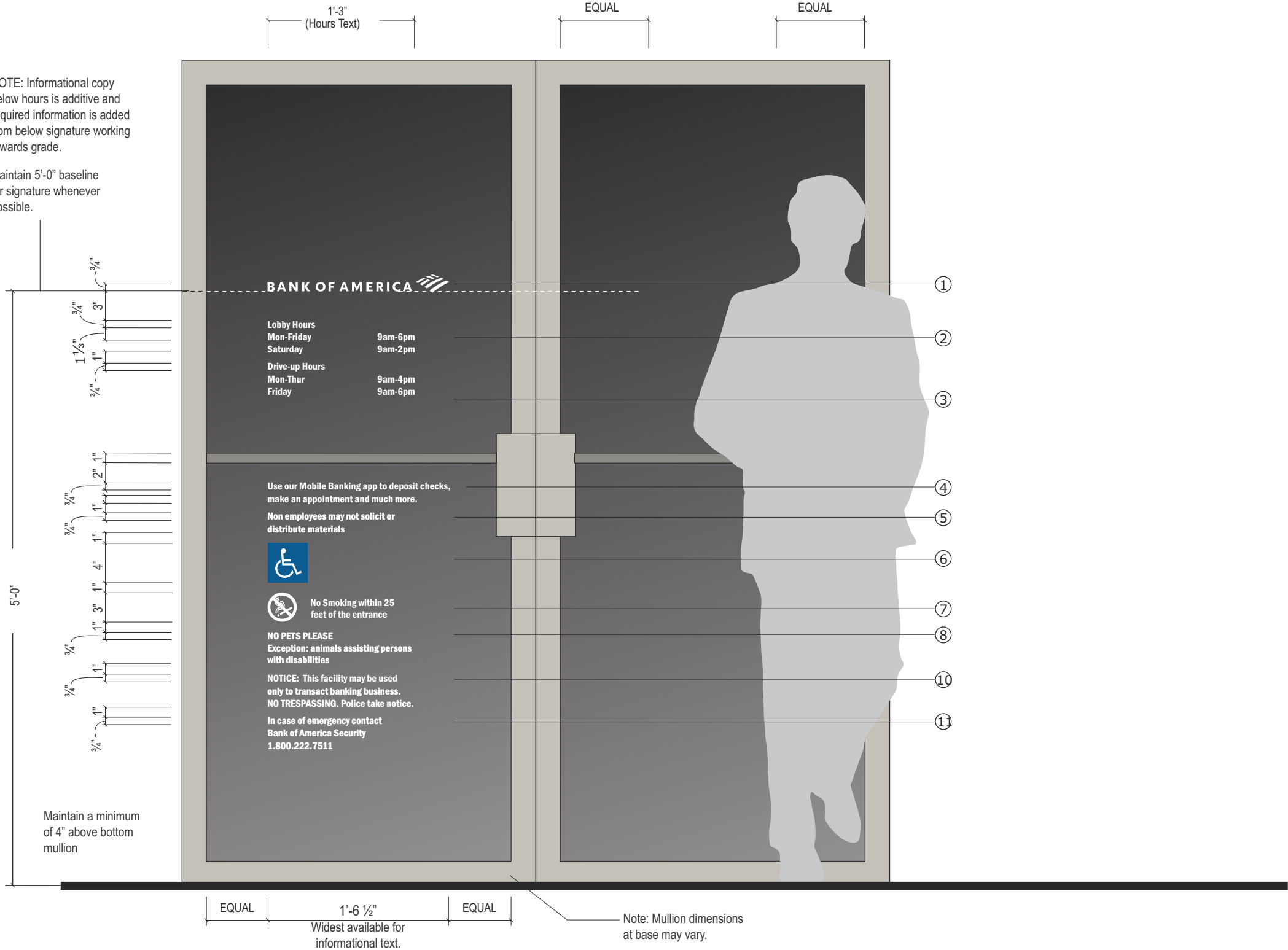
	1/4" BLUE & LAG SCREW	FOR USE WITH WOOD OR STUCCO WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	1/4" SNAP TOGGLE	FOR USE WITH WOOD OR STUCCO WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	1/4" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	1/4" LAG & SHIELD	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	1/4" DIA. THREADED ROD & BEARING PLATES	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	1/4" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	1/4" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE, EMBED A MIN OF 2 1/2"
	1/4" DIA. HILTI HIT ROD WITH Hy150 MAX ADHESIVE	FOR USE WITH CONCRETE, EMBED A MIN. OF 2"
	1/4" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH MASONRY AND BRICK EMBED A MIN. OF 3 3/8"
	1/4" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH CONCRETE BLOCK, EMBED A MIN. OF 2"
	1/4" DIA. HILTI HLC SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK EMBED A MIN. OF 3 3/8"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

NOTE: Informational copy below hours is additive and required information is added from below signature working towards grade.

Maintain 5'-0" baseline for signature whenever possible.



EXT-002 ENTRANCE DOOR GRAPHICS

Scale: 1" = 1'-0"

MATERIALS/APPLICATION

- White 3M #7725-10 vinyl graphics.
- Apply all vinyl with the exception of the handicapped symbol of accessibility on second surface when glass is clear to medium tint.
- Apply vinyls on the first surface when glass is dark tinted.
- Typeface is to be Franklin Gothic Demi Condensed. Use only this font. Substitute fonts are not allowed.
- Note: Hours information to be verified with the Branch Manager. All optional information must be provided through inspection of the site from technical audit.
- Preferred position of 13" x 12" Acrylic Holder. Holder by others on second surface of opposite door across from hours decals, as shown.
- Handicap symbol to be 3M IJ180c white digitally printed with a blue background to match PMS 7462C. Symbol to reverse out white. Overlamine with 3M 8520 matte overlamine. Finish to meet 70% gloss ADA compliance requirements. When required, always apply handicap vinyl to exterior of glass.

VINYLS: (Always refer to State-specific pages to check for regional layouts or copy.)

- Inline Signature format - Always use Master Brand.
- Lobby Hours - Always use. Maintain flush left alignment of days and flush right alignment of hours information as shown.
- Drive-Up Hours - Always use if applicable. Maintain flush left alignment of days and flush right alignment of hours information as shown.
- Mobile banking app.
- Non-employees may not solicit or distribute materials - Always use.
- Handicap symbol - Use only on accessible entrance doors. For non-accessible entrances, see sheets 19 and 20. Single handicap symbol alone should be used to denote a handicap entrance.
- No Smoking symbol - Always use.
- 'NO PETS PLEASE' - Always use.
- ATM location information - If ATM redirect copy exists remove only- do not replace.
- 'NOTICE: This facility may be used only to transact banking business. NO TRESPASSING. Police take notice.' - Always use.
- 'In case of emergency, contact Bank of America Security 1-800-222-7511' - Always use.

NOTE: If entry door crash bar or other obstructions are on the front of the door, space copy above or below as required. Provide a minimum space of 1" above and 2" below the obstruction or crash bar. Maintain a minimum of 4" above bottom mullion. If there is not enough space to apply necessary copy, convert to a door plaque. Placement of crash bar and dimensions of bottom mullion are shown in example only, field verify exact conditions prior to fabrication.

NOTE: VINYL NOT TO BE INSTALLED OVER HORIZONTAL CROSS BAR.



EXT-002a **PHOTO SURVEY OF EXISTING**
Scale: NTS

- “24 hour ATM access Please use card reader” VINYL TO BE REMOVED



EXT-003a

EXT-003b

PHOTO SURVEY OF PROPOSED



10101 Reunion Place
Suite 500
San Antonio, TX 78216

P 210. 886. 0644
waltonsignage.com

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Client: BANK OF AMERICA
Address: 3300 BEE CAVES ROAD, SUITE 795
City/State: AUSTIN, TX 78746
Sales: HOUSE Designer: IP
Date: 07.16.20 PM SD

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Revision:
R1) revision to door graphics - IP
R2) revise channel letters / resize directional - RH
R3) revision per notes - IP
R4) added details to EXT-008 - IP

H:\Bank of America\Locations\TX\TX - Austin, 3300 Bee Caves Rd Ste 795\Design

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

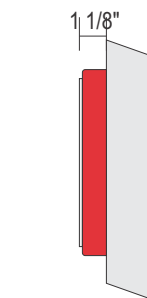
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

PAGE SIZE: 11" x 17"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

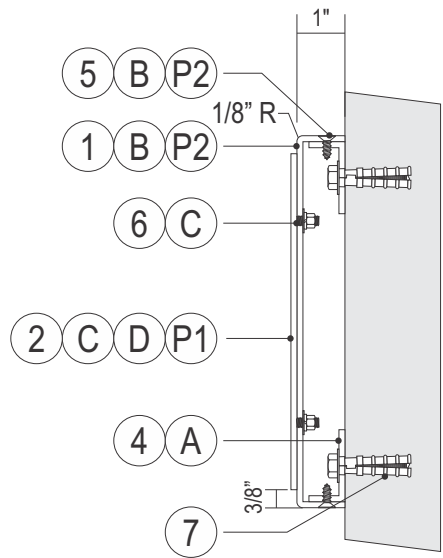
CID309416



Side View
Scale: 1 1/2" = 1'-0"

EXT-003a Ss-Custom-ng - Bank Parking Sign (2.0 Sq. Ft.)
Scale: 1 1/2" = 1'-0"

EXT-003b



SIDE SECTION
Scale: 3" = 1'-0"

MATERIALS:

#	DESCRIPTION
1	.125" BRAKE FORMED ALUMINUM PAN
2	.125" ALUMINUM SIGN FACE
3	REFLECTIVE COPY
4	3/4" x 1 1/2" x .125" ALUMINUM ANGLE
5	C.S. SCREW
6	THREADED STUD, WASHER & NUT
7	ANCHOR T.B.D. IN THE FIELD

NOTES:
A. - ANCHORED FLUSH TO WALL
B. - MOUNTED TO ANGLE W/SCREW
C. - STUD WELDED TO BACK OF FACE
D. - MOUNTED FLUSH TO PAN
E. - FONT: FRANKLIN GOTHIC DEMI CONDENSED

FINISHES:



Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:



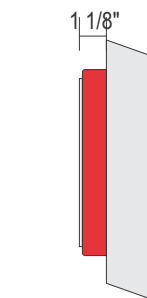
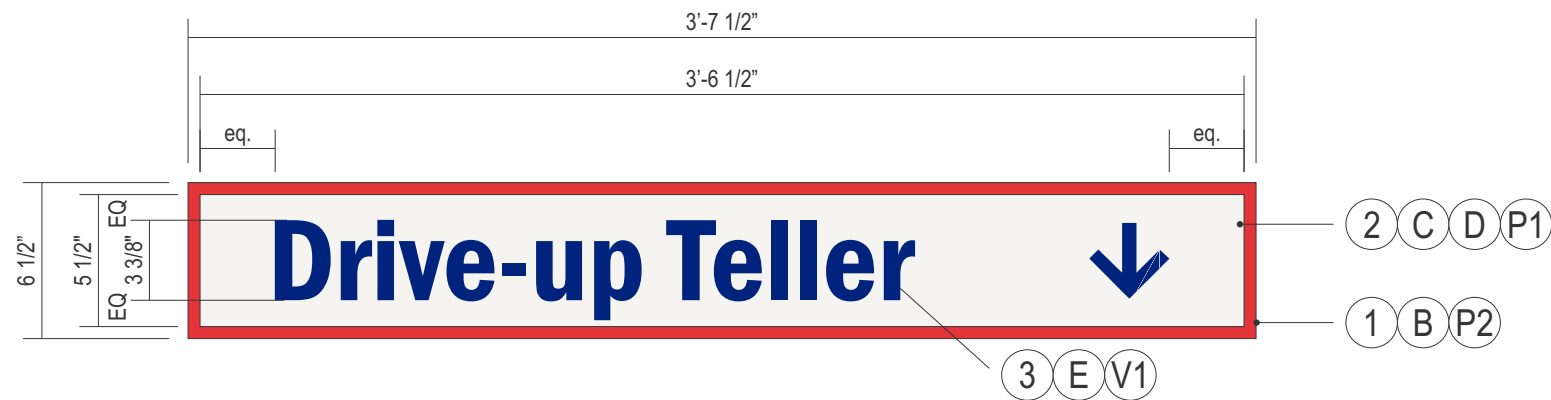
EXT-004
EXT-004a

EXT-004b
EXT-004c

EXT-004e
EXT-004f

PHOTO SURVEY OF PROPOSED

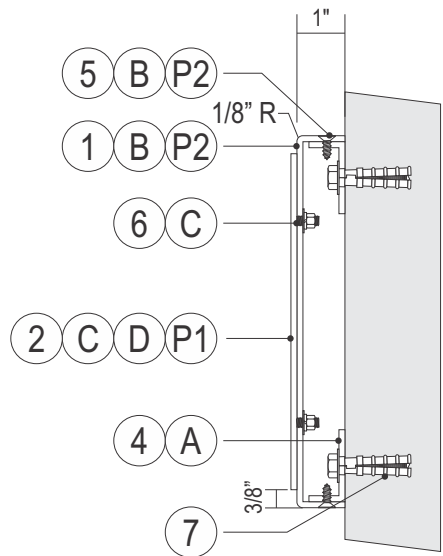
Approvals:



Side View
Scale: 1 1/2" = 1'-0"

- EXT-004
- EXT-004a
- EXT-004b
- EXT-004c

Ss-Custom-ng - Bank Parking Sign (2.0 Sq. Ft.)
Scale: 1 1/2" = 1'-0"



SIDE SECTION
Scale: 3" = 1'-0"

MATERIALS:

#	DESCRIPTION
1	.125" BRAKE FORMED ALUMINUM PAN
2	.125" ALUMINUM SIGN FACE
3	REFLECTIVE COPY
4	3/4" x 1 1/2" x .125" ALUMINUM ANGLE
5	C.S. SCREW
6	THREADED STUD, WASHER & NUT
7	ANCHOR T.B.D. IN THE FIELD

NOTES:
A. - ANCHORED FLUSH TO WALL
B. - MOUNTED TO ANGLE W/SCREW
C. - STUD WELDED TO BACK OF FACE
D. - MOUNTED FLUSH TO PAN
E. - FONT: FRANKLIN GOTHIC DEMI CONDENSED

FINISHES:





EXT-004d

PHOTO SURVEY OF EXISTING

- NON-BRANDED CLEARANCE SIGN TO BE REMOVED



10101 Reunion Place
Suite 500
San Antonio, TX 78216

P 210. 886. 0644
waltonsignage.com

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Client: BANK OF AMERICA
Address: 3300 BEE CAVES ROAD, SUITE 795
City/State: AUSTIN, TX 78746
Sales: HOUSE Designer: IP
Date: 07.16.20 PM SD

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Revision:
R1) revision to door graphics - IP
R2) revise channel letters / resize directional - RH
R3) revision per notes - IP
R4) added details to EXT-008 - IP

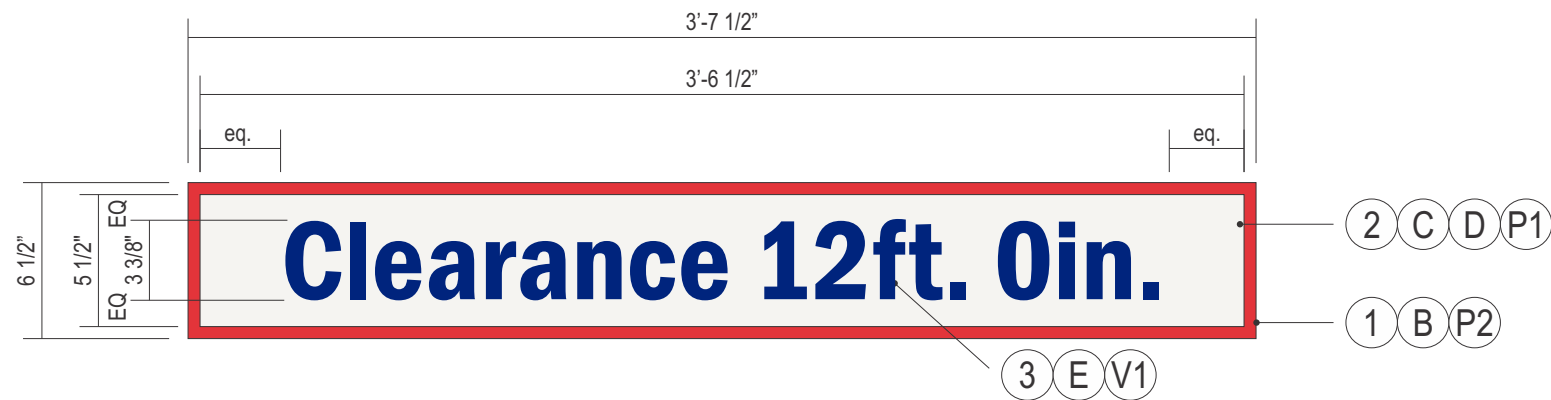
H:\Bank of America\Locations\TX\TX - Austin, 3300 Bee Caves Rd Ste 795\Design

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

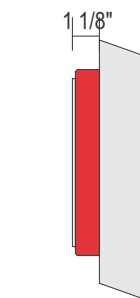
PAGE SIZE: 11" x 17"

Approvals:	
Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

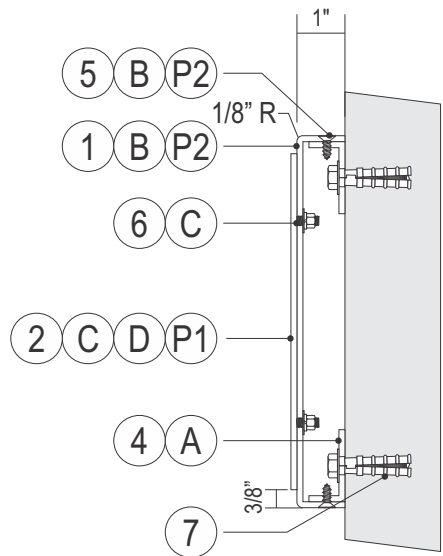


EXT-004e **Ss-Custom-ng - Bank Parking Sign (2.0 Sq. Ft.)**
Scale: 1 1/2" = 1'-0"

EXT-004f



Side View
Scale: 1 1/2" = 1'-0"



SIDE SECTION
Scale: 3" = 1'-0"

MATERIALS:

#	DESCRIPTION
1	.125" BRAKE FORMED ALUMINUM PAN
2	.125" ALUMINUM SIGN FACE
3	REFLECTIVE COPY
4	3/4" x 1 1/2" x .125" ALUMINUM ANGLE
5	C.S. SCREW
6	THREADED STUD, WASHER & NUT
7	ANCHOR T.B.D. IN THE FIELD

NOTES:

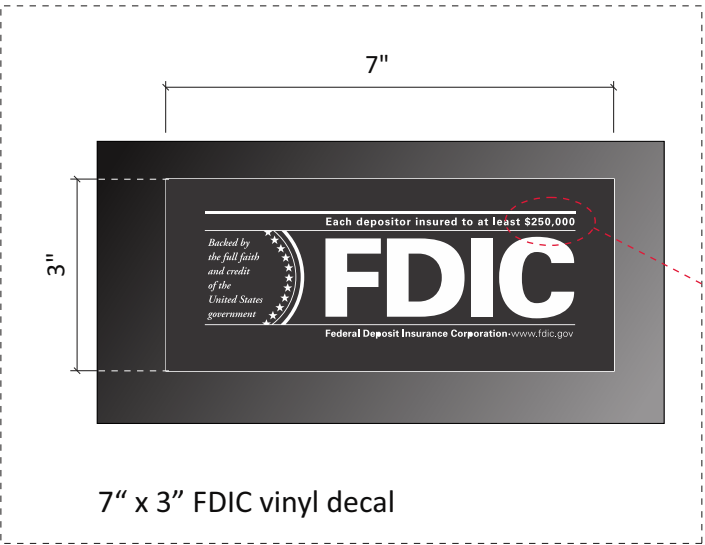
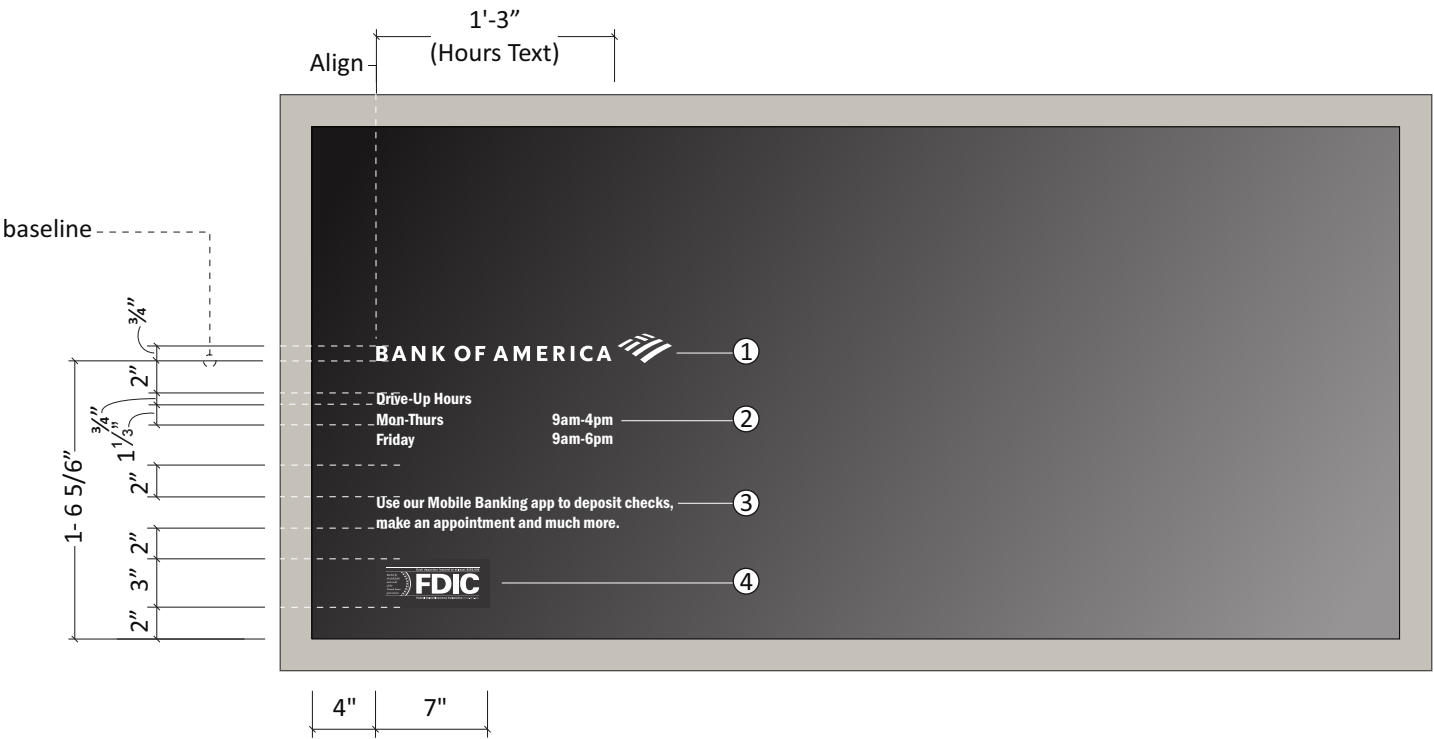
- A. - ANCHORED FLUSH TO WALL
B. - MOUNTED TO ANGLE W/SCREW
C. - STUD WELDED TO BACK OF FACE
D. - MOUNTED FLUSH TO PAN
E. - FONT: FRANKLIN GOTHIC DEMI CONDENSED

FINISHES:



Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:



Note: Dollar amount changed to \$250,000
Discard and do not install decals displaying other dollar amounts.

MATERIALS/APPLICATION

- A. WHITE 3M #7725-10 vinyl graphics.
- B. Apply vinyl on first surface only.
- C. Install only where there already exists a similar message or where specifically requested.
- D. Typeface is to be Franklin Gothic Demi Condensed. Use only this font. Substitute fonts are not allowed.
- E. Note: Hours information to be verified with the Branch Manager. All optional information must be provided though inspection of site from technical audit.
- F. 'FDIC' sticker. Black background. White copy. Applied to first surface of glass. Exact manufacturing specifications or resource for purchase to be provided by bank. **Stickers to be provided by the Bank (Corporate Workplace)**

VINYLS:

- 1. Inline Signature format - Always use Master Brand.
- 2. Drive-Up Hours - Always use. Maintain flush left alignment of days and flush right alignment of hours information as shown.
- 3. Mobile banking app.
- 4. 7" x 3" 'FDIC' symbol sticker.

SCALE: 1" = 1'-0"

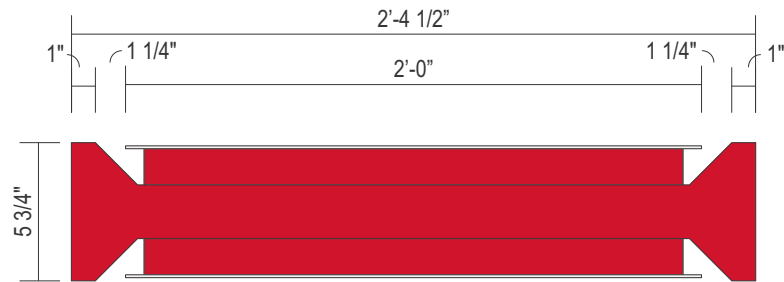
EXT-005 DRIVE-UP WINDOW GRAPHICS
Scale: 1" = 1'-0"



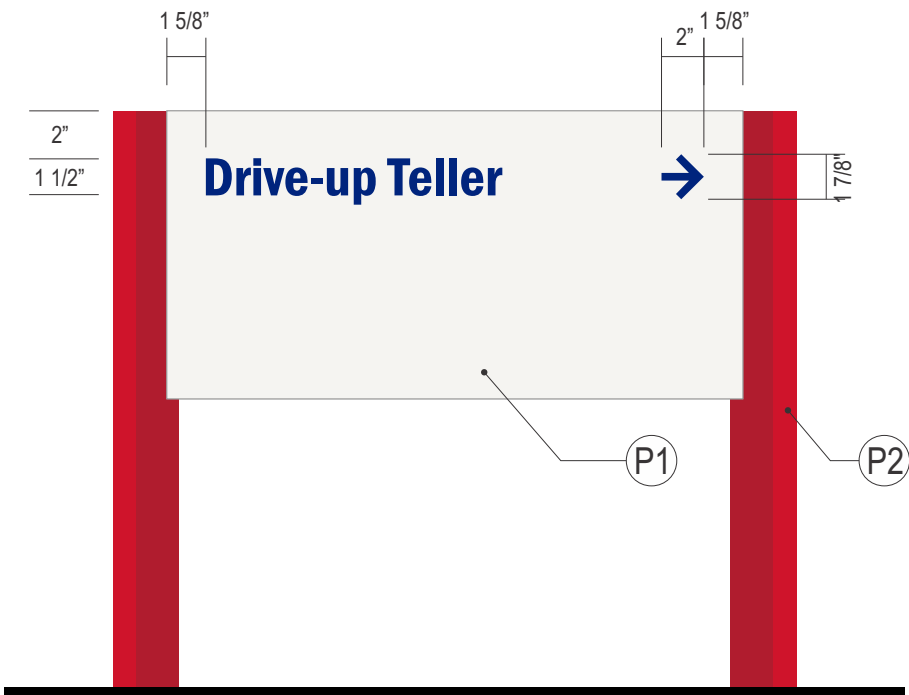
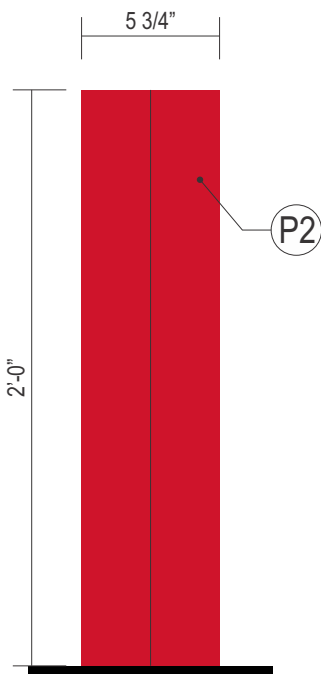
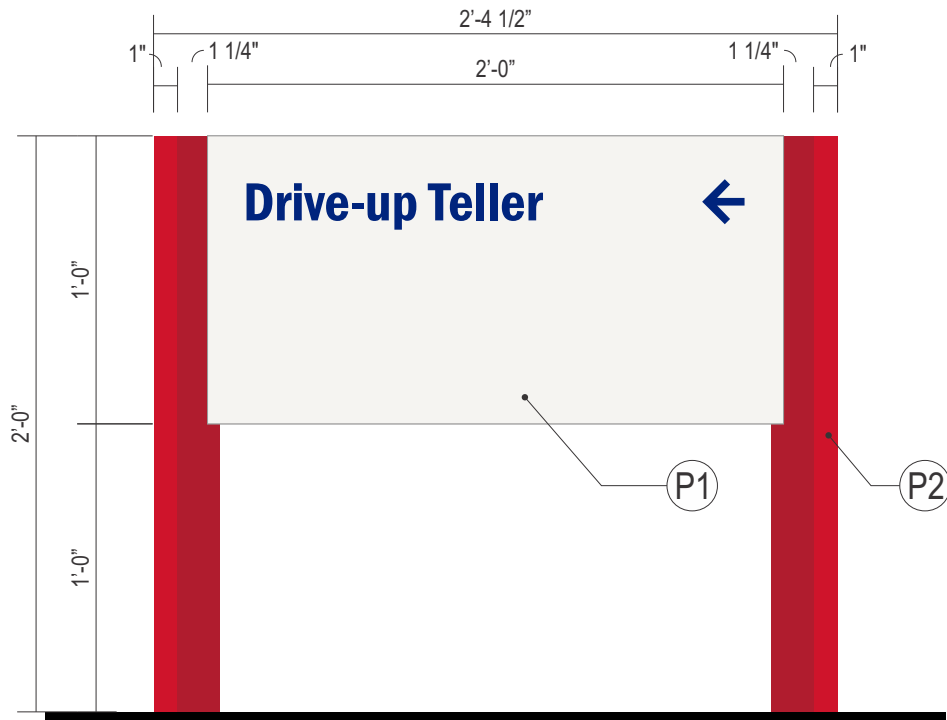
PHOTO SURVEY OF EXISTING
Scale: Not to Scale



EXT-006 PHOTO SURVEY OF PROPOSED
Scale: Not to Scale



TOP VIEW
Scale: 1 1/2" = 1'-0"

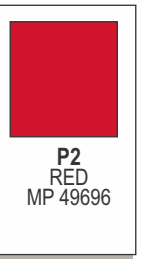
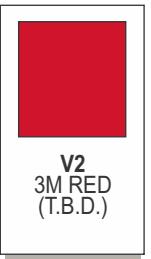


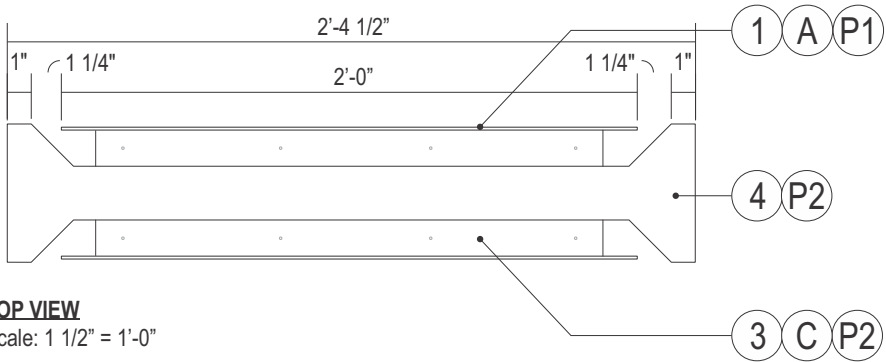
EXT-006 P2ng - DIRECTIONAL SIGN - 2 SQ. FT.
Scale: 1 1/2" = 1'-0"

SIDE VIEW
Scale: 1 1/2" = 1'-0"

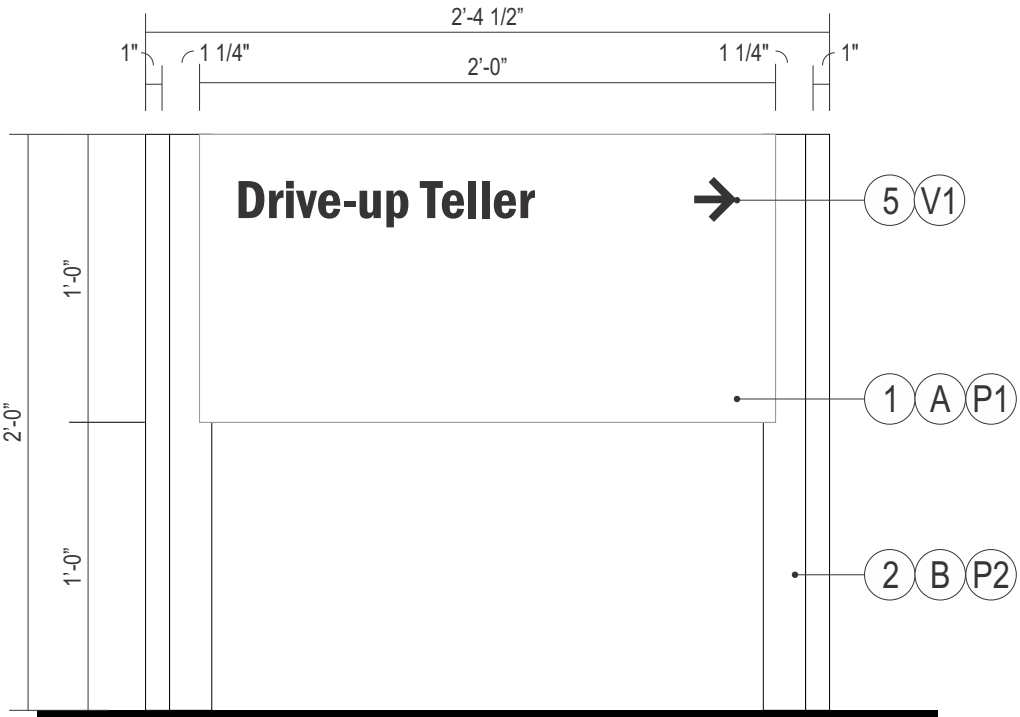
BACK VIEW
Scale: 1 1/2" = 1'-0"

FINISHES:

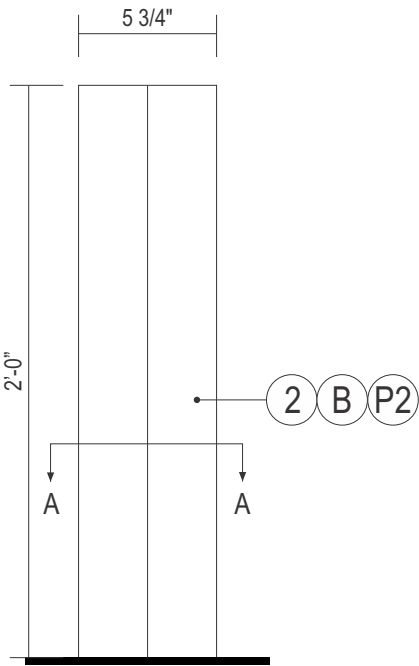




TOP VIEW
Scale: 1 1/2" = 1'-0"



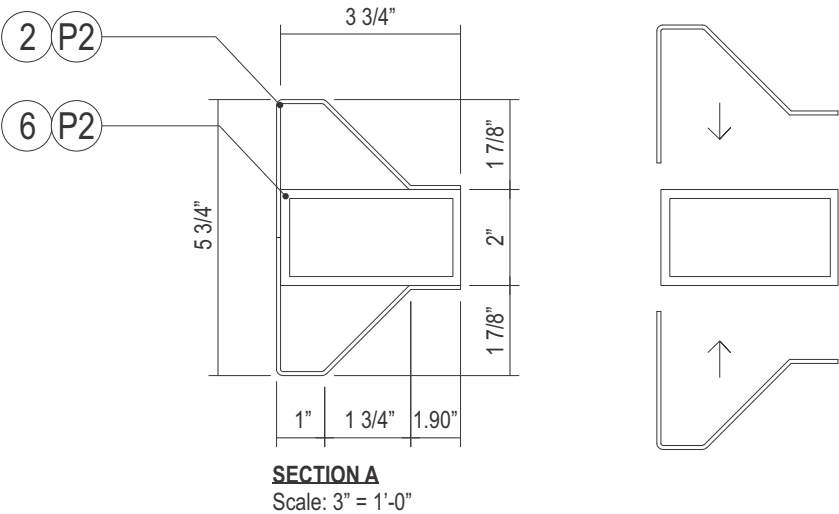
P2ng - DIRECTIONAL SIGN
Scale: 1 1/2" = 1'-0"



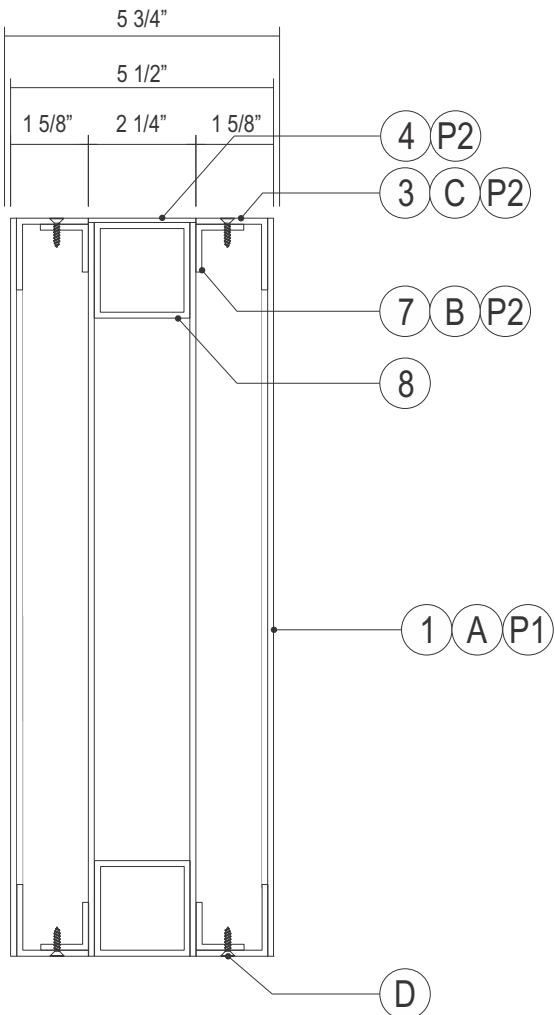
SIDE VIEW
Scale: 1 1/2" = 1'-0"

#	DESCRIPTION
1	.125" ALUMINUM SIGN FACE
2	.090 BREAK FORMED ALUMINUM CLADDING
3	1 1/2" x 1 1/2" ANGLE FRAME
4	.090 ALUMINUM CAP
5	REFLECTIVE COPY
6	2" x 3 3/4" x .125 ALUMINUM TUBE

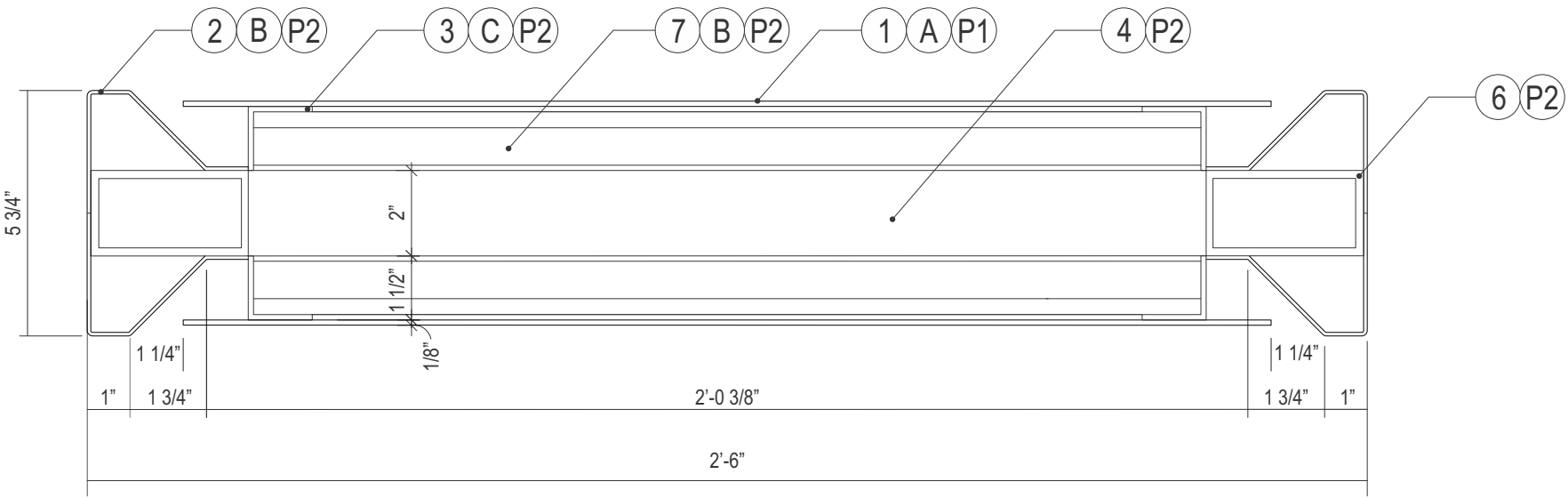
NOTES:
A. - WELD TO ALUMINUM ANGLE
B. - WELD TO TUBE SUPPORT
C. - WELD AND GROUND SMOOTH AT CORNERS
D. - COUNTER SUNK SS FLAT HEAD SCREWS
E. - FONT: FRANKLIN GOTHIC DEMI CONDENSED



FINISHES:			
			
V1 3M 680-75 REFLECTIVE BLUE	V2 3M RED (T.B.D.)	P1 GARBO SILVER GLOSS FINISH	P2 RED MP 49696



SECTION SIDE VIEW
Scale: 3" = 1'-0"



PLAN SECTION VIEW
Scale: 3" = 1'-0"

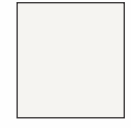
MATERIALS:

#	DESCRIPTION
1	.125" ALUMINUM SIGN FACE
2	.090 BREAK FORMED ALUMINUM CLADDING
3	1 1/2" x 1 1/2" ANGLE FRAME
4	.090 ALUMINUM CAP
5	REFLECTIVE COPY
6	2" x 3 3/4" x .125 ALUMINUM TUBE
7	1" x 1" x .125 ALUMINUM TUBE
8	2" x 2" x .125 ALUMINUM TUBE

NOTES:

- A. - WELD TO ALUMINUM ANGLE
B. - WELD TO TUBE SUPPORT
C. - WELD AND GROUND SMOOTH AT CORNERS
D. - COUNTER SUNK SS FLAT HEAD SCREWS
E. - FONT: FRANKLIN GOTHIC DEMI CONDENSED

FINISHES:

 V1 3M 680-75 REFLECTIVE BLUE	 V2 3M RED (T.B.D.)	 P1 GARBO SILVER GLOSS FINISH	 P2 RED MP 49696
---	--	---	---



10101 Reunion Place
Suite 500
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com

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Client: BANK OF AMERICA
Address: 3300 BEE CAVES ROAD, SUITE 795
City/State: AUSTIN, TX 78746
Sales: HOUSE Designer: IP
Date: 07.16.20 PM SD

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision:

- R1) revision to door graphics - IP
R2) revise channel letters / resize directional - RH
R3) revision per notes - IP
R4) added details to EXT-008 - IP

H:\Bank of America_Locations\TX\TX - Austin, 3300 Bee Caves Rd Ste 795\Design

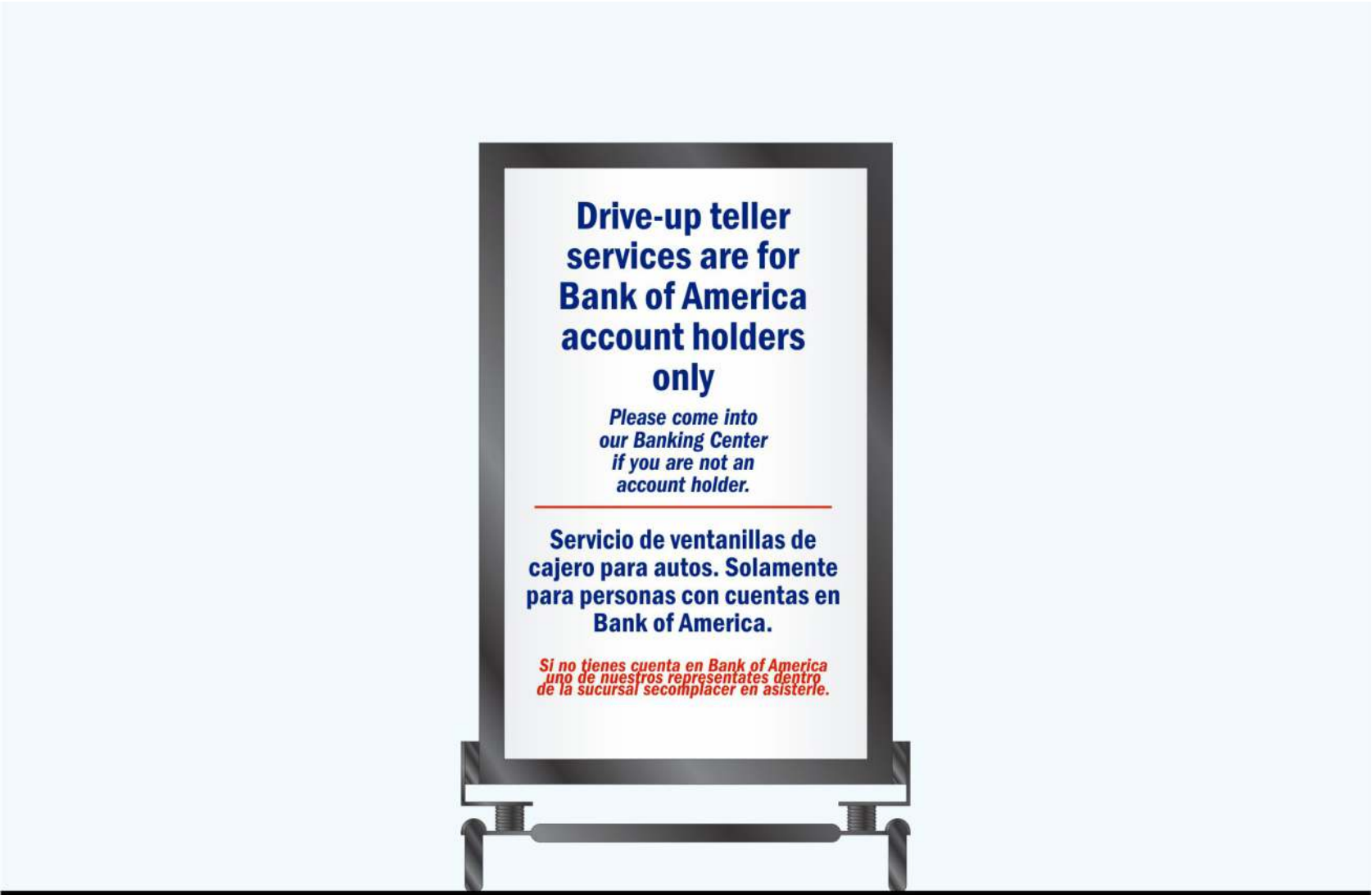
Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

PAGE SIZE: 11" x 17"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:



EXT-007

PHOTO SURVEY OF EXISTING
Scale: NTS

- SIGNAGE TO BE REPLACED BY OTHERS



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City/State: AUSTIN, TX 78746
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H:\Bank of America_Locations\TX\TX - Austin, 3300 Bee Caves Rd Ste 795\Design

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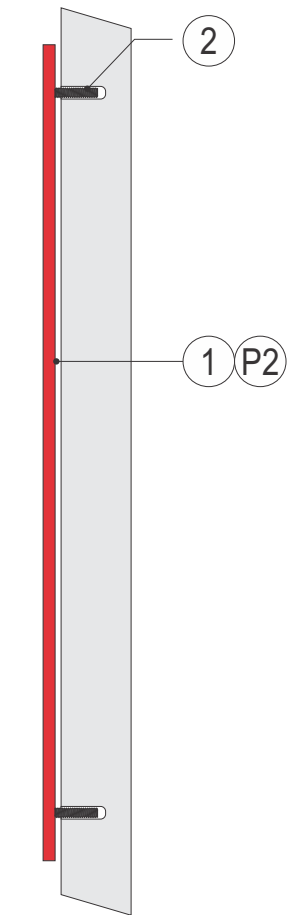
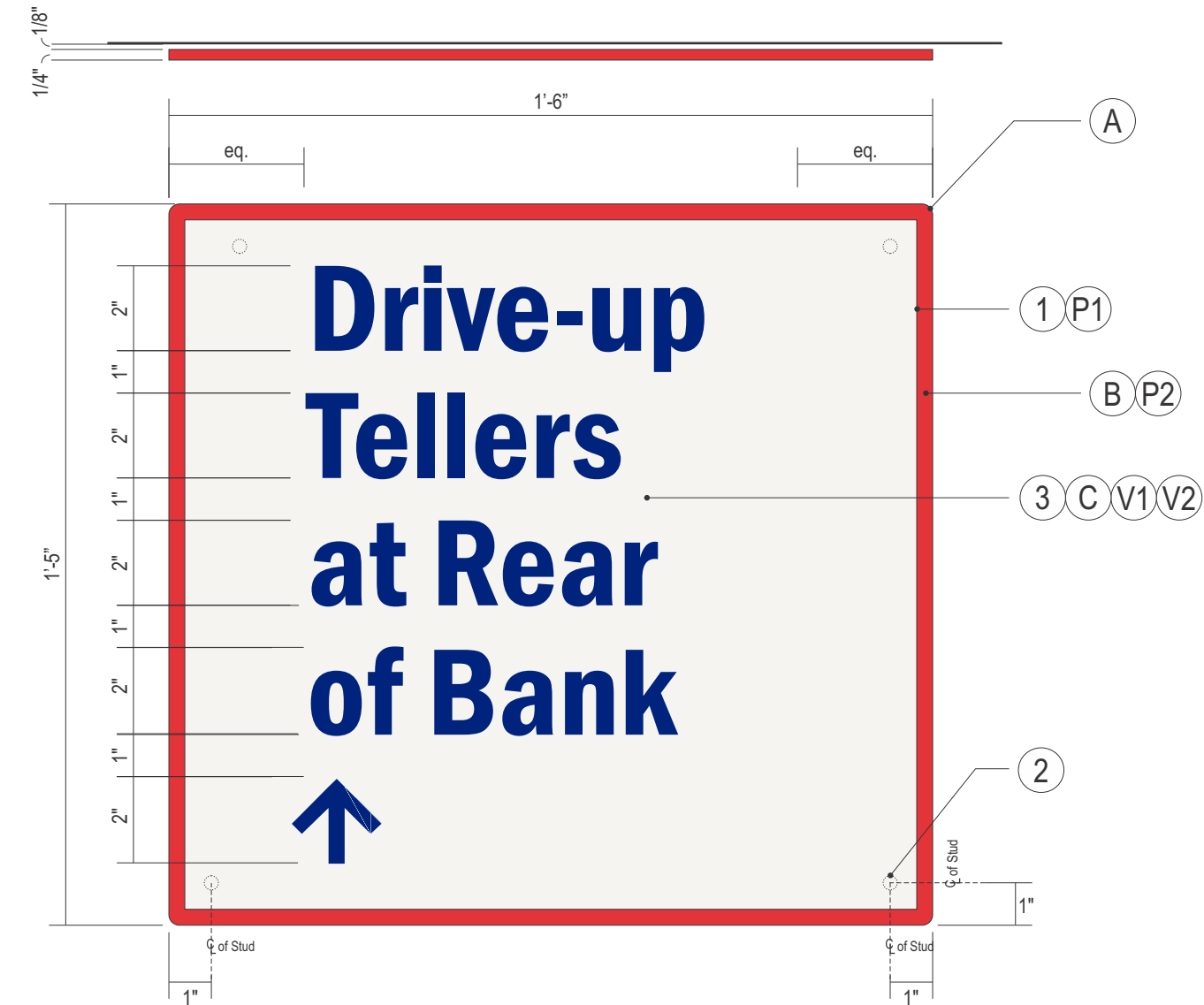
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PAGE SIZE: 11" x 17"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID309416
Sheet: 18 of 21
Page 64 of 76



Side Section
Scale: 3" = 1'-0"



PHOTO SURVEY OF PROPOSED
Scale: Not to Scale

EXT-008 S5ng - Wall Plaque (2 Sq. Ft.)
Scale: 3" = 1'-0"

NOTE:
RECOMMEND ADDING DIRECTIONAL PLAQUE TO LIGHT POLE TO HELP
DIRECT TRAFFIC TO DU LANES. THERE IS NO DIRECTIONAL SIGNAGE PRESENT
AT THE MOMENT AND DU ENTRANCE IS NOT OBVIOUS.

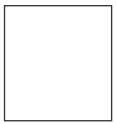
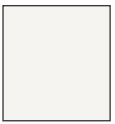
MATERIALS:

#	DESCRIPTION
1	1/4" ALUMINUM SIGN FACE
2	THREADED STUD WELDED TO BACK OF FACE
3	VINYL COPY

NOTES:

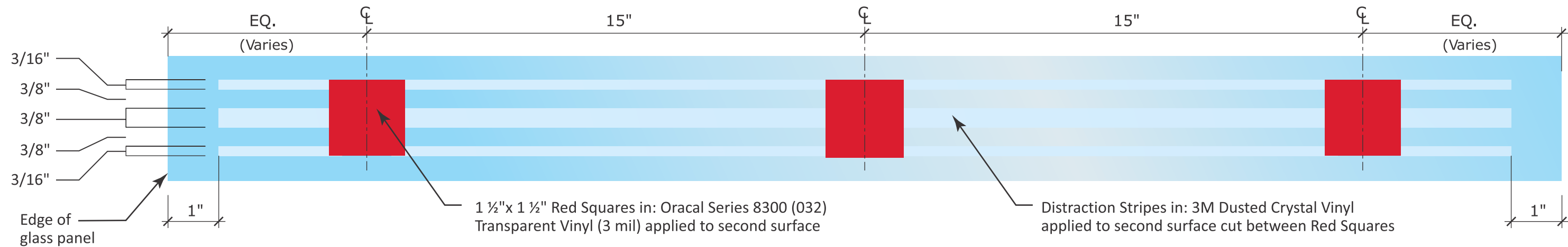
A. - 1/4" RADIUS CORNERS
B. - 3/8" BORDER
C. - FONT: FRANKLIN GOTHIC DEMI CONDENSED

FINISHES:

 V1 3M 3630-8530 BLUE	 V2 3M 7725-10 WHITE	 P1 GARBO SILVER GLOSS FINISH	 P2 RED MP 49696
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Approvals:

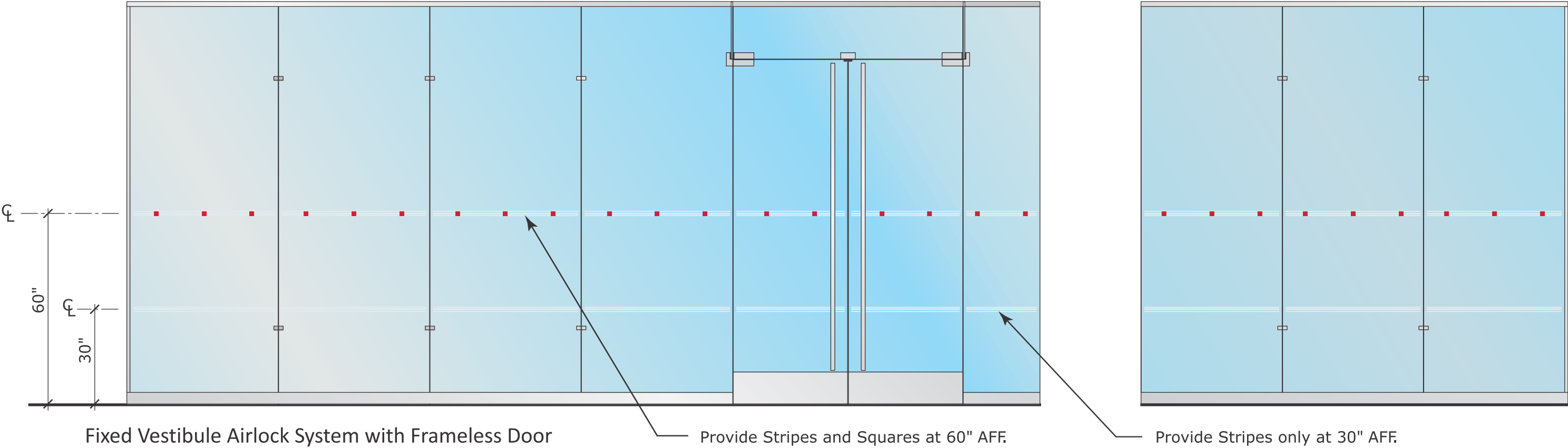
Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:



DETAIL - DISTRACTION STRIPES & SQUARES

SQUARE QUANTITIES:

- Glass panel widths up to 24" shall receive one (1) square.
- Glass panel widths from 24" to 38" shall receive two (2) squares.
- Glass panel widths from 38" and wider shall receive three (3) squares.



F01-001 **DISTRACTION VINYL**
Scale: NTS

• DISTRACTION VINYL TO BE INSTALLED BY OTHERS.

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID309416



ATM1

ATM RETROFIT (QTY:1)
Scale: Not to Scale

GENERAL SPECIFICATIONS

- ATM TO BE RETROFITED BY OTHERS



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Address: 3300 BEE CAVES ROAD, SUITE 795
City/State: AUSTIN, TX 78746
Sales: HOUSE Designer: IP
Date: 07.16.20 PM SD

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H:\Bank of America_Locations\TX\TX - Austin, 3300 Bee Caves Rd Ste 795\Design

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

PAGE SIZE: 11" x 17"

Approvals:	
Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

From: [Deborah Hornickel](#)
To: [Penick, Dan](#)
Cc: [Wilson, John](#); [Reyes, Carlos](#); [Jim Rice](#)
Subject: [EXTERNAL] LANDLORD APPROVAL OF NEW SIGN PACKAGE JLL / BofA Tier 2 Rebrand Program: TX9-796-FC
(3300 Bee Cave Rd, Austin, TX.) - PART 2
Date: Thursday, May 21, 2020 3:19:15 PM
Attachments: [2020-05-20 - Bank of America sign package.pdf](#)

The purpose of this email is to approve in writing your exterior signage plans for the above-referenced Premises. The Landlord's approval is subject to and conditional upon each of the following:

- 1) All work must be performed in accordance with the sign plans submitted to the Landlord dated "Approved May 19, 2020 and drawn by Monigle pages 1-22", subject to the Landlord's comments below (hereinafter referred to as the "Approved Plans". Please contact the Landlord for prior written approval before performing any work that does not fall within the scope of the Approved Plans. Notwithstanding the above, in no event shall Tenant make any structural alterations to the Premises or make any alterations that weaken the structural integrity of the Premises.
- 2) All work must be performed by a licensed sign contractor who possess insurance as follows: Comprehensive General Liability of \$2,000,000 general aggregate and \$1,000,000 per occurrence, Builder's Risk, Worker's Compensation and Hired Auto.
- 3) All sign installation work must be performed in compliance with all city codes and ordinances and must be permitted accordingly. All costs of permitting shall be at the Tenant's expense.
- 4) All signage shall be at the Tenant's sole cost and expense. All signage shall be fabricated in accordance with the sign criteria contained within the Lease Agreement, and as noted and/or conditioned by this letter.
- 5) **NO PENETRATIONS SHALL BE MADE IN ANY BRICK OR STONE ON THE SHOPPING CENTER BUILDINGS. PENETRATIONS SHALL BE MADE IN MORTAR JOINTS ONLY.**
- 6) All utility connections for permanent services to the signage are the responsibility of the Tenant.
- 7) Any alterations to the roof or roof membrane of the building or the Premises shall be made by the Landlord's roofing contractor at the Tenant's expense (after receiving written approval from the Landlord to perform such work). The Landlord's roofing contractor is Fifth Wall Roofing Systems. Please contact at (512) 926-3940.
- 8) The Tenant shall notify the Landlord in writing prior to the actual commencement of the sign installation work and upon written request shall provide the Landlord a construction schedule with updates (if applicable) upon request as the work progresses.

- 9) All sign installation vehicles shall be parked in a location approved by the Landlord. The Tenant shall require its sign contractor and employees to park only in areas designated by the Landlord.
- 10) Safety is a concern. All sign contractors and/or subcontractors who perform work at the Premises and Shopping Center should follow all OSHA rules and regulations at all times.

Please do not hesitate to contact me if you have any questions regarding the above items. Jim Rice, who is copied on this email, is the operations manager for this center and can be reached at 512.748-9828 with questions.

Thank you.

Deborah Hornickel, CPM

Director of Real Estate Management | Barshop & Oles Company

901 S. Mopac Expwy. | Barton Oaks Plaza II, Suite 550 | Austin, Texas 78746

Direct: [\(512\) 637.0487](tel:5126370487) | Main: [\(512\) 477.1212](tel:5124771212) | Fax: [\(512\) 495.9875](tel:5124959875)

 | www.barshop-oles.com

UNIFORM SIGN AND STOREFRONT AGREEMENT

WESTBANK MARKET
3300 BEE CAVE ROAD
Updated and Approved 2011

I. GENERAL

- A. Tenant shall be required to identify tenant's demised premises by signage. Tenant shall furnish and install all signs at his cost. Each tenant will be allowed one sign. Corner tenants may have two signs if they have two perpendicular sign bands and if permitted by the City of West Lake Hills. All proposed sign drawings and signs are subject to landlord's written approval.
- B. If tenant installs any sign without landlord's prior written approval, tenant shall remove such sign within five (5) days from the receipt of written notice from landlord demanding removal of such sign. In the event tenant fails to remove any such sign within a five (5) day period, landlord may remove such without further notice to tenant, and tenant shall reimburse landlord the amount of expenses incurred by landlord in removing such signs.
- C. Each tenant is responsible for its sign conforming to the ordinances and codes of the City of West Lake Hills. Each tenant shall be responsible for obtaining all required permits prior to the commencement of installation.
- D. The advertising of informative content of all exterior signs shall be limited to letters designating the store name. The use of a crest, shield, logo or other established incorporate insignia which has been customarily displayed or associated with the store name, shall not be used without the prior written consent of landlord. In no case shall a logo, if permitted, exceed 18" in height.
- E. No exposed ballast boxes, sign cabinets, or electrical transformers shall be permitted. Sign company names or stamps shall be concealed. Internal sign illumination shall not be permitted.
- F. Tenant shall submit for landlord's approval two (2) copies of shop drawings for tenant's proposed sign which shall show (a) complete sign layout at a scale not less than 1-1/2"=1'; (b) typical cross sections of letters at a scale of 3"=1'; (c) mounting details at a scale of 3"=1'; and (d) all dimensions, materials and colors.
- G. Any deviations from this Sign and Storefront Agreement are subject to prior written approval by the landlord. Upon receipt of written consent from the City, landlord has the right to change or waive any provisions listed herein. Waiver in

a single instance shall not necessarily constitute a waiver to any other store. Tenants requesting a *Consent for Waiver* from the City of West Lake Hills shall follow the same procedures and satisfy the same criteria as applicable to sign variances under the City's Code of Ordinances.

- H. Tenant is to provide access from lease space to soffit attic for sign repair, such access to be either through removable ceiling tiles or access door to be approved by landlord.

II. DESIGN

A. General Requirements:

1. Exterior signs shall be limited to individual metal, back illuminated letters as indicated on the attached drawing. All faces of letters shall be metal fabricated with welded and finished seams and shall be painted with an enamel as specified herein.
2. The internal sign framework shall be adequate to support the weight of the sign.
3. The vertical height of all signs shall be a maximum of 18" on one horizontal line of lettering. If necessary to use two horizontal lines of lettering, tenant's signs shall not exceed 24" in height inclusive of lettering and spacing.
4. The maximum overall length of signs shall not exceed 75% if the storefront width. In no case shall any sign or portion of any sign extend beyond the tenant's lease line, unless approved by landlord. Where allotted fascia length is less than the storefront width (as at corners), the sign shall be no longer than 90% of the allotted space or 75% of the storefront width, whichever is less. The maximum area of the sign is limited to 24 square feet. The method for calculating the area and length of the rectangular "block" is measured from the outside edge of the letters both horizontally and vertically.

5. Each tenant is encouraged to use individualized style of lettering. Any strokes which exceed the height limitations as set forth in Item #3 above shall be approved in writing by landlord and City.

Sign finishes in all instances shall be as follows: All signs must be made of non-corrosive materials throughout.

Sign Faces and Sides:

Paint to match Pantone PMS color formula:

- Green 330C
- Rustic Brown 477
- Blue 540 C
- Red 180 C

6. Back illumination of lettering shall be limited to clear white 6500 degrees neon. No deviation from these colors will be allowed and color intensity shall be indicated on all sign drawings.
7. Signage depth shall be 3-1/2" not including mounting brackets.
8. Sign letters are to be attached to masonry surfaces as shown on attached mounting detail A. No mounting brackets will be allowed to penetrate the brick surfaces. Flexibility of the design as shown allows all letters, no matter what style, to be mounted with anchor bolts in mortar joints only.
9. Removable transformers behind wall are required. All writing, ballasts, lighting and reinforcing shall be in a remote transformer located in building as shown on attached drawing A. No signage should have fastening bolts or exposed fasteners which are visible from bottom, or sides of letter enclosures. Only with written permission of landlord should transformers be built concealed in letters.

B. Construction:

1. All signs shall be in the form of individual face channel letters, back wall illuminated with neon tubing of colors as specified above. All signs shall fully comply with the City of West Lake Hills sign ordinance and sign installer shall be on the approved list of sign manufacturers as maintained by the landlord.

2. Materials of construction
 - a. Metal portions of letters shall be of baked enamel, painted or pre-finished with color as specified above.
 - b. Letter faces and enclosures are to be constructed so that seams are not visible and shall either be butt jointed with adhesive or welded and ground smooth before receiving finish coat.
 - c. Neon tubing to 6500 degrees.
3. All sign support shall be painted to match brick.
 - a. Sign support brackets and anchor bolts shall all be galvanized to prevent rusting and rust staining on brick surfaces.

III. MOUNTING

- A. All signs are to be electrified using tenant's power, but must be wired to switch on/off concurrently with landlord's sign/soffit light circuit. This ensures that all tenant signs will become illuminated at the same time.
- B. All signs and connections shall be soundly constructed securely attached and be weather tight. All signs should be mounted with good quality.
Workmanship – landlord reserves the right to be the sole judge of whether quality workmanship has been achieved. Sign mounting must comply with the City of West Lake Hills sign ordinance.
- C. All fasteners, screws, bolts, etc. used in the fabrication and mounting of the sign shall be rustproof.
- D. Any damage done to any part of the building during the mounting or removal of signs shall be promptly repairs to "like new condition" by the tenant at tenant's expense.

IV. SECONDARY SIGNS

- A. No secondary signs are to be placed on building wall elevations. Landlord will allow letters not to exceed 5" to be placed on the rear door for identification purposes. Color to be black.
- B. No "sandwich" or easel/portable signs are allowed.

- C. No window signs are permitted without the prior written approval of the landlord and the City of West Lake Hills.
- D. Standard address numerals for postal identification of premise will be permitted. Numeral height shall be 4". Color to be white.
- E. "Grand Opening" signs in moderation and good taste shall be permitted at the landlord's discretion. Such signs will be permitted for a period of ten (10) working days only. Such signs must be located so as not to obstruct access either visually or physically to any other tenant space or common area. Tenant must obtain written approval prior to erecting any such sign from both landlord and the City of West Lake Hills.
- F. Mounting: Signs are to be mounted as shown on attached sign detail. In no case are any mounting elements, including bolts, shields, or brackets to be constructed of any materials that are not rustproof.
- G. Design Approval: All signs shall be approved as to design and construction type by landlord.

V. STOREFRONTS

- A. In cases of wood storefronts, all storefront paint colors to match DeVoe paint color formula:
 - Stitchery 2D56C
 - Congo Red 2D50C
 - Amhert 2D43C
 - Reed Green 1D59C
 - October Storm 1D53C

Storefront color for each lease space to be designated by landlord and to be one of the above-referenced colors.

In cases of non-wood storefronts, storefront design to be subject to the prior written approval of landlord and the City of West Lake Hills.

- B. No murals or other applications to a storefront shall be permitted without the prior written approval of the landlord and the City of West Lake Hills. Tenants requesting approval for murals from the City of West Lake Hills shall follow the same procedures and satisfy the same criteria as applicable to sign variances under the City's Code of Ordinances.

City of West Lake Hills
Received
MAR 04 2011

Approved:

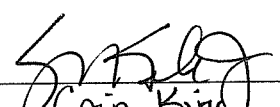
CITY OF WEST LAKE HILLS

By: 
Name: Dave Claunch
Title: Mayor

Date: 2/24/11

WESTBANK MARKET, LP,
a Delaware limited partnership

By: Westbank Market GP, LLC
A Delaware limited liability company,
Its general partner

By: 
Name: Cain King
Title: Vice President

Date: 3/3/2011

WEST LAKE HILLS CODE, CHAPTER 6, ARTICLE II
SIGN PERMIT APPLICATION

16063

DATE: 8/10/20 SUBDIVISION NAME AND LOT NUMBER: _____
APPLICANT: Liberty Signs, Inc. ADDRESS: PO Box 1259 Liberty Hill, TX 78642 PHONE: 512-255-3887
ADDRESS LOCATION OF SIGN: 3300 Bee Caves Rd., Ste. 795 SIGN CATEGORY NUMBER: _____
(Refer to Chapter 6, Division 3, Sign Categories.)
POSITION OF SIGN: ON BUILDING: X IN GROUND: _____ ACROSS STREET BANNER: _____ OTHER: _____
SPECIFICATIONS OF SIGN: (NOTE: Submit Material and Color Samples.)
SIZE: 17' 25/8" x 1 TOTAL SQUARE FOOTAGE: 29.6 COLORS: 3M 3630-8530 3M 3630-2413 LIGHTING: Face-lit LED
TYPE OF MATERIAL: Aluminum METHOD OF ATTACHMENT: Thru-bolt
MESSAGE: Bank of America with logo
DID YOU ATTACH SCALE DRAWING OF PLAN, ELEVATION VIEWS & REQUIRED LANDSCAPING? _____
YES NO
COLOR SKETCH OR COLOR PHOTOS ATTACHED: _____ LINEAR FRONTAGE OF BUSINESS: 101' 8"
(To include contiguous streets and buildings.)
PROPERTY OWNER NAME & ADDRESS: Barshop & Oles Company 901 S. Mopac Expwy. Austin, TX 78746
(NOTE: Attach written approval for sign from property owner.)
BEGINNING DATE OF DISPLAY: _____ **ENDING DATE OF DISPLAY: _____
(**To be completed only for temporary & banner signs.)
SIGN REQUIRES REVIEW BY: BDC _____ ZAPCO _____ COUNCIL _____ FOR MONTH OF: _____
IF REQUEST INVOLVES A VARIANCE TO ARTICLE II, LIST THE REFERENCED SECTION(S) AND GIVE A BRIEF DESCRIPTION: _____

(NOTE: Attach separate page with reasons for requesting variance.)

Jennifer Garcia
APPLICANT SIGNATURE

7/10/2020

DATE

(THIS SECTION TO BE COMPLETED BY OFFICE STAFF ONLY)

SIGN MEETS GENERAL REQUIREMENTS: _____
YES NO CITY ADMINISTRATOR DATE

STAFF COMMENTS: _____

PERMIT FEE PAID: 75.00

ACTION TAKEN BY BDC: _____

ACTION TAKEN BY ZAPCO: _____

CITY COUNCIL RESULTS: _____

CERTIFICATE OF SIGN INSPECTION COMPLETED ON: _____ BY: _____

DATE

NAME/TITLE

(CITY OF WEST LAKE HILLS 911 WESTLAKE DRIVE WEST LAKE HILLS TX 78746-4599) PHONE (512) 327-3628 FAX (512) 327-1863

JRMISC\FORMS\SIGNPERMIT