



CITY OF WEST LAKE HILLS, TEXAS  
NOTICE OF BOARD OF ADJUSTMENT (BOA) REGULAR MEETING  
Wednesday, June 10, 2026 at 7:00 PM

Notice is hereby given that the Board of Adjustment (BOA) of the City of West Lake Hills, Texas, will hold a Regular Meeting on the June 10, 2026 at 7:00 p.m., in the Council Chamber, Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas, at which time the following items will be discussed, to-wit:

**REMOTE ACCESS** - Join Zoom Meeting at <https://us02web.zoom.us/j/3499549035>  
Or via telephone: Dial (346) 248-7799 - Meeting ID: 349 954 9035

If you wish to speak during the meeting or provide written comments, please email your name, phone number, comments, and the item number you wish to speak on to [citysec@westlakehills.gov](mailto:citysec@westlakehills.gov) by 1:00 P.M. on June 10, 2026.

1. **Call to Order**
2. **Citizen Communications** The Board welcomes public comments at this point on any issue. If the issue is listed on the agenda, the speaker may choose to comment during the Public Comment period or when the specific agenda item is taken up by the Board later in the meeting. The Board cannot respond to or discuss matters not listed on the agenda. The Board may provide factual information, refer the item to a staff member, or request the item be added to a future meeting agenda. Speakers shall limit their comments to five (5) minutes each.
3. **Administration** Discuss and consider the approval of the May 13, 2026 regular meeting minutes.
4. **Administration** Discuss and consider action on the selection of a Vice Chair.
5. **Public Hearing**

**614 Westbrook Dr:** Discuss and consider action on a recommendation from ZAPCO on a proposed variance to allow a four-foot encroachment into the 30-foot rear setback (Section 22.03.276 & Section 22.03.281).

Applicant: Steven Campos, Contemporary Tile Design LLC

6. Public Hearing

**406 Redbud Trl:** Discuss and consider action on a recommendation from ZAPCO on proposed variances:

- a. To allow grading up to 6 feet on slopes of greater than 35%, where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1).

Applicant: Bhavani Singal, Workshop No 5

7. Adjournment

Approved by: James Vaughan, Chair

Certificate

I certify that the above Notice of the June 10, 2026 Board of Adjustment Regular Meeting was posted on the bulletin board at the Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas on Thursday, June 4, 2026 by 5:00 pm. and will remain posted continuously until said meeting is convened.

Signed by: Makayla Rodriguez, City Secretary

*The City of West Lake Hills is committed to compliance with the Americans with Disabilities Act. Reasonable accommodation and equal access to communications will be provided upon request.*

*All items on the agenda are for discussion and/or action. City Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development).*



CITY OF WEST LAKE HILLS, TEXAS  
BOARD OF ADJUSTMENT (BOA) REGULAR MINUTES  
Wednesday, May 13, 2026 at 7:00 PM

1. Call to Order

**Chair James Vaughan called the meeting to order at 7:01 p.m.**

**CITY COUNCIL PRESENT:** Chair James Vaughan, Vice Chair Brian Plunkett, Board Member Gordon Bowman, Board Member Dana Harmon, Board Member Beth South, and Board Member Darin Walker.

**CITY STAFF PRESENT:** Interim City Administrator Jennifer Bills, City Secretary Makayla Rodriguez, Public Works Director Evan Groeschel, Police Chief Scott Gerdes, and City Attorney Charles Zech.

2. Citizen Communications The Board welcomes public comments at this point on any issue. If the issue is listed on the agenda, the speaker may choose to comment during the Public Comment period or when the specific agenda item is taken up by the Board later in the meeting. The Board cannot respond to or discuss matters not listed on the agenda. The Board may provide factual information, refer the item to a staff member, or request the item be added to a future meeting agenda. Speakers shall limit their comments to five (5) minutes each.

**Chair James Vaughan opened the meeting for public comment. Hearing none, the public comment section was closed.**

3. Consent Agenda All Consent Agenda items listed are considered to be routine by the Board and will be enacted by one (1) motion. No separate discussion or action on any of the items is necessary unless requested by a Board Member.

- a. Approval of the April 8, 2026 Regular Meeting Minutes.

**MOTION: Upon a motion made by Vice Chair Brian Plunkett and seconded by Board Member Dana Harmon, the Board of Adjustment voted 6-0 to approve the Consent Agenda.**

4. Public Hearing

**507 Konstanty Circle:** Discuss and consider action on Special Use Permit 157-2026-E for a guest quarters (Section 38.03.032 of the West Lake Hills Code).

Applicant: Mark Lakins, Dahlin Group

Interim City Administrator Jennifer Bills briefed City Council on the request for a Special Use Permit for a guest house and that staff recommended approval.

Michael Padavic shared details regarding the property plans and special use permit request.

There was discussion regarding the permitting process and guest house requirements.

**MOTION: Upon a motion made by Vice Chair Brian Plunkett and seconded by Board Member Darin Walker, the Board of Adjustment voted 6-0 to approve the Special Use Permit for the guest house.**

5. Public Hearing 1906 Yaupon Valley Rd.: Discuss and consider action on a recommendation from ZAPCO on the following variances:

- a. Allow grading greater than 18 inches in the building setbacks (Section 22.03.170 (f))
- b. Allow construction of retaining walls greater than 6 feet in height above natural grade (Section 22.03.170(g))
- c. Allow construction of retaining walls greater than 3 feet in height without vegetative screening (Section 22.03.170(i))
- d. Allow for fill of over 6 feet on a slope of less than 35% (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Linda Sullivan, CleanTag Permits

Interim City Administrator Jennfier Bills briefed City Council on the variance requests and that the Zoning and Planning Commission recommended approval. She continued to share inconsistencies within drainage, architectural plans, and survey.

Board Member Gordon Bowman shared frustrations regarding following the Code of Ordinances and the building process.

Linda Sullivan explained that the homeowners inherited the architect and engineer through the purchase of the property and want to work with staff to complete the project.

City Council deliberated the variance requests and discussed discrepancies.

**MOTION: Upon a motion made by Vice Chair Brian Plunkett and seconded by Board Member Darin Walker, the Board of Adjustment voted to approve these variances.**

**AMENDMENT: Chair James Vaughan moved to amend the motion to approve the variances contingent on remediation of the over grading and septic being woven through**

**the trees instead of cutting trees down. Vice Chair Brian Plunkett seconded the motion to amend, and the Board of Adjustment voted 6-0 to approve the amendment.**

**AMENDED MOTION: The Board of Adjustment voted 6-0-1 (Bowman) to approve the motion as amended.**

6. Adjournment

**Chair James Vaughan adjourned the meeting at 7:44 p.m.**

Respectfully submitted:

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James Vaughan, Chair

ATTEST:

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City Secretary, Makayla Rodriguez

The minutes were approved on the 10<sup>th</sup> day of June, 2026.



City of West Lake Hills  
Board of Adjustment

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# AGENDA REPORT

<b>Meeting Date:</b>	June 10, 2026	<b>Item Number:</b>	4
	Building & Development		
<b>Department:</b>	Services		
<b>Prepared By:</b>	Jennifer C. Bills	<b>Cost / Budget:</b>	None
<b>Exhibits:</b>	N/A	<b>Source of Funds:</b>	N/A

### Subject

Discuss and consider action on the selection of a Vice Chair.

### Discussion

Per Section 38.02.003 Organization

(a) The chairperson of the board shall be the mayor of the city and shall preside over all board meetings. The board shall elect a vice chairperson from the board's membership.

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Addressed to

Robert Meisel-ZAPCO Chairperson

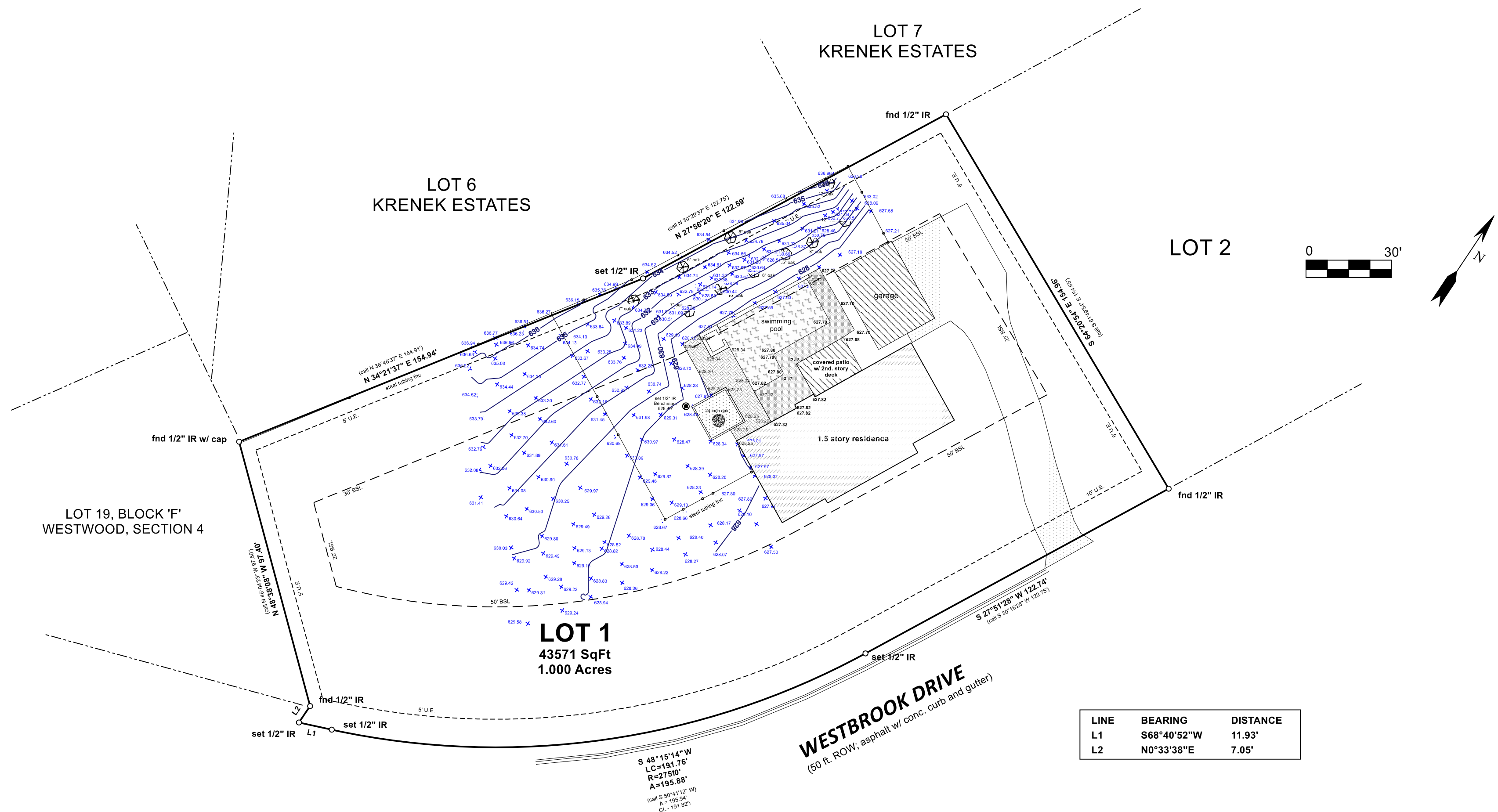
Dear Mr Meisel,

I am writing to request a variance to city code 22.03.276/22.03.281. The rear building setback of 30ft. We are building an outdoor kitchen attached to our existing pool patio. Due to the large oak tree located in the planter in the approximate area of the building site, we need to push the structure as far back towards the rear building setback as possible. This way we will not impact the tree's CRZ in any way. To accommodate the design and amenities we desire in this build, we are requesting a 4 ft variance be granted on the rear setback. But is in the central rear part of the property so well within any side and front setback points. We plan to stop the new structure on the existing plane of the pool side wall, which runs parallel to the rear of the property. We are doing this for aesthetic and functional purposes, as well as to not exceed the point to which a previous variance was already granted when we built the pool. The location of the outdoor kitchen sits inside an existing drainage berm we constructed during the building of the house and in a natural location where we will not need to disrupt the terrain or remove any existing trees. This was always a plan of ours to finish this area out with an outdoor kitchen. We believe this will be a beautiful addition to the property, and will not negatively affect any of the surrounding neighbors, or diminish the beauty of our neighborhood.

Sincerely,

**Rachel Schuler-Owner**

614 Westbrook Dr.  
West Lake Hills, TX 78746  
(512) 626-3702



According to FEMA FIRM PANEL No. 48453C0445K, Effective Date of 1/22/2020, this property lies in Zone "X", an area outside of the 0.2% chance flood plain (500 year flood plain).

- NOTES:
1. Property Address: 614 Westbrook Drive, Westlake Hills, Texas 78748.
  2. Deed of Record: Rachel Riggins Schuler to the Schuler Family Revocable Trust, Instrument No. 2025073502, Official Public Records, 7/2/2025.
  3. Plat of Record: Volume 87, Page 74A and 74B, Plat Records.
  4. Restrictions: Volume 10489, Page 652, Deed Records.
  5. All monuments set are 1/2 inch iron rods with orange plastic caps marked "STARRSURV RPLS 6706".
  6. All bearings shown hereon are referenced to the Texas Coordinate System of 1983 (NAD83 2011), Central Zone.
  7. All distances shown hereon are surface horizontal distances.

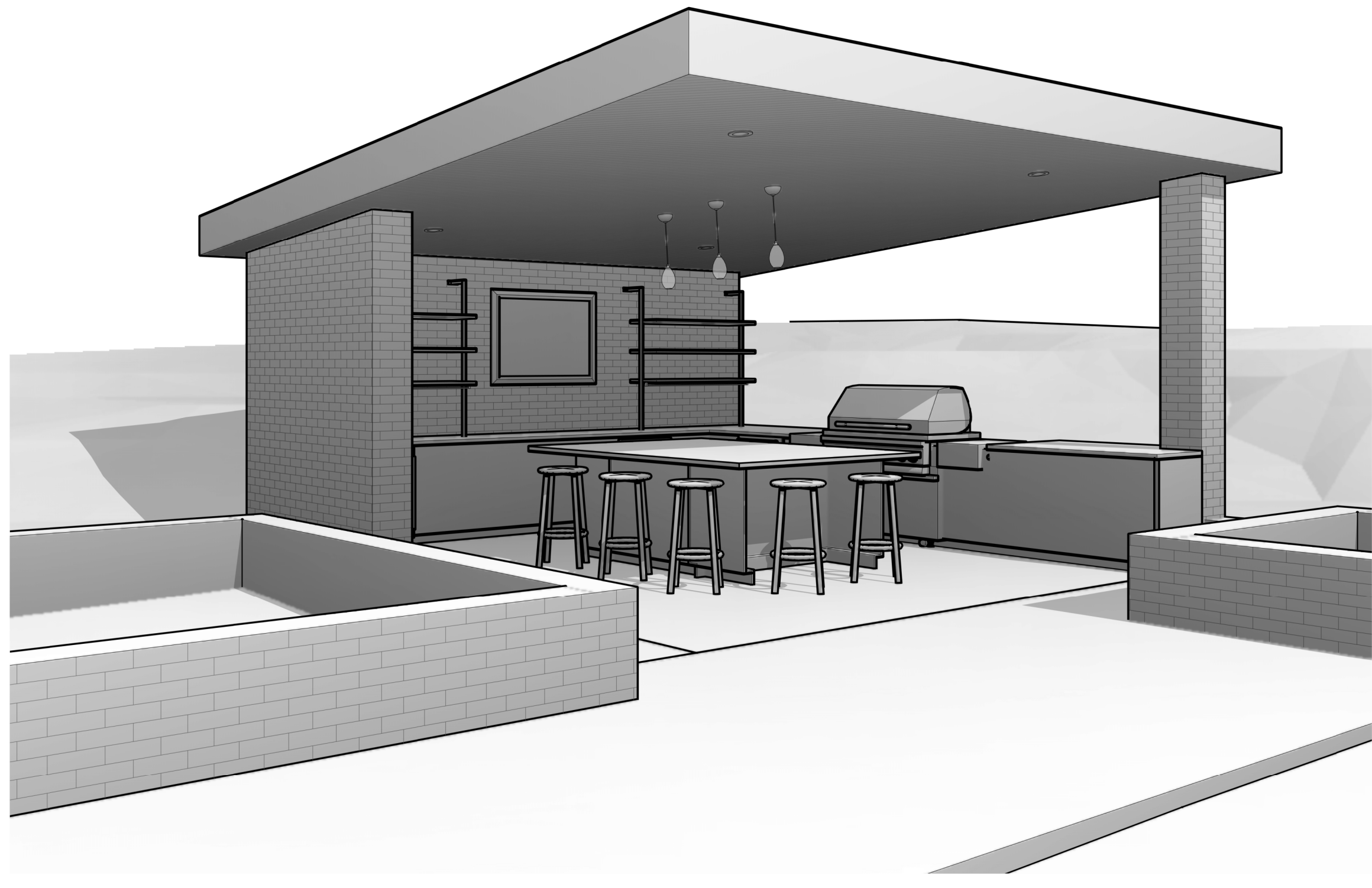


I, Henry S. Maddux III, Registered Professional Land Surveyor No. 6706, do certify that this plat represents a survey made on the ground under my supervision and that the improvements shown hereon were present at the time of survey and that the elevations shown hereon represent accurately the conditions on the ground. Time of Survey: Wednesday, March 4, 2026 and March 6, 2026.

*Henry S. Maddux III*  
 Henry S. Maddux III  
 03/09/2026  
 Date

TOPOGRAPHIC SURVEY PLAT OF  
**LOT 1, SECTION 1**  
**RAINBOW'S END ESTATES**  
 ALEXANDER EANES SURV. FIRM NO. 507  
 ABSTRACT NO. 272, TRAVIS COUNTY TEXAS  
**STARR SURVEYING**  
 TEXAS LICENSED SURV. FIRM NO. 10193754  
 3779 W. FM 436  
 BELTON, TEXAS 76513  
 936-662-0077  
 JOB NO. 26021 CUSTOMER: STEVE CAMPOS  
 DRWN: HSM DATE: 03/08/2026

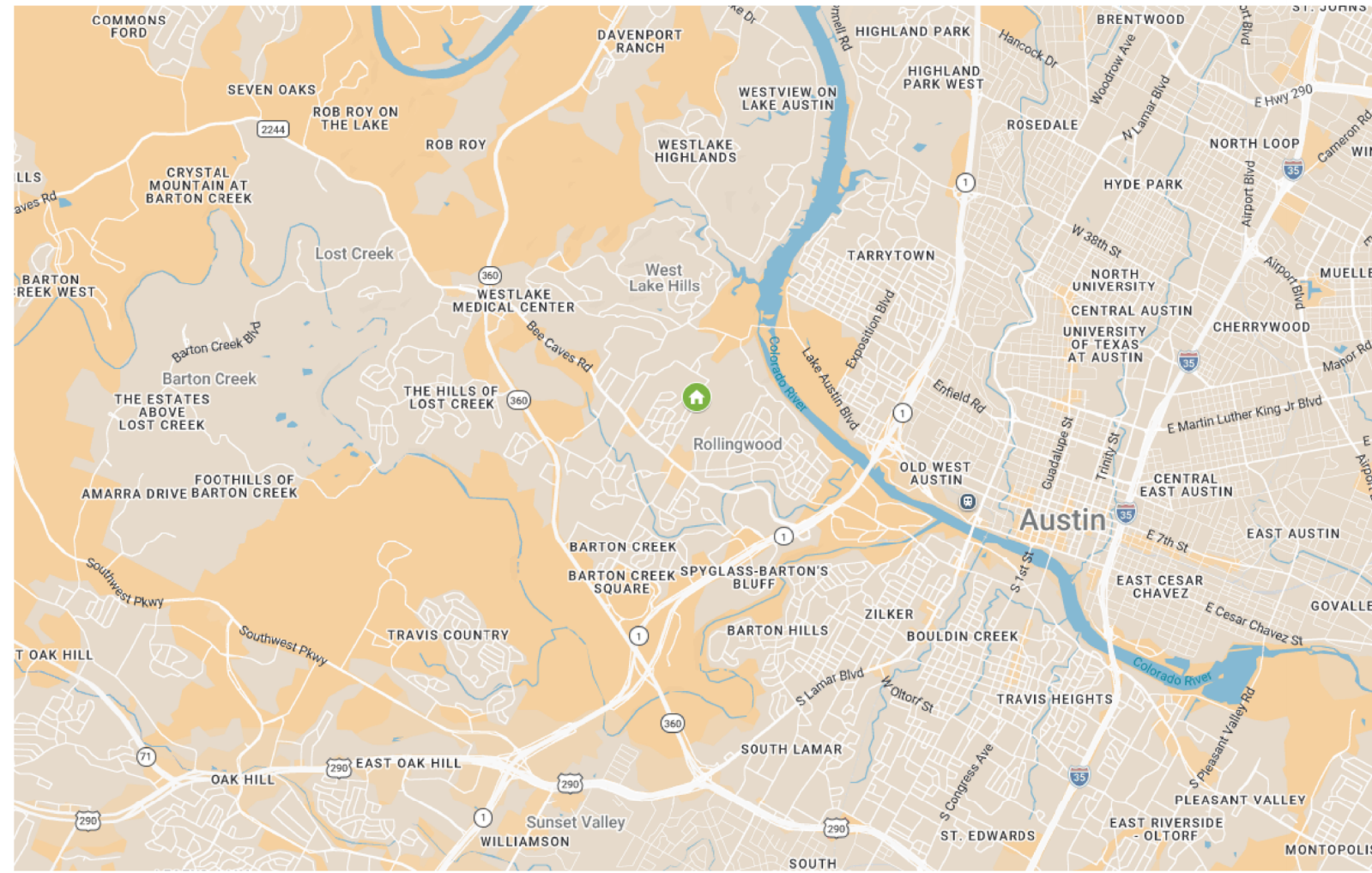
# NEW CONSTRUCTION - POOLHOUSE



VIRTUAL RENDERING LINK:

<https://cloud.chaos.com/collaboration/file/PPv37twVNVknLF71q9jimpS>

## LOCATION MAP



## GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
- ALL CONSTRUCTION SHALL CONFORM TO CONSTRUCTION AS REQUIRED BY APPLICABLE CODES.
- ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATIONS OF INSPECTION AND OCCUPANCY, AND THE FILING OF ALL WORK WITH GOVERNMENT AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VISIT AND INSPECT THE PREMISES TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE PROPOSAL SUBMISSION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO THE PROPOSAL SUBMISSION, OTHERWISE, THE CONTRACTOR SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED ON THE DRAWINGS.
- IF ANY CONDITION ARISES THAT WOULD IMPEDE THE PROGRESS OR THE INTENT OF THE WORK, THE G.C. IS TO NOTIFY THE DESIGNER IMMEDIATELY. THE G.C. WILL FULLY EXPLAIN THE PROBLEM AND ALL RELEVANT TIME CONSTRAINTS.
- CONTRACTOR SHALL CLARIFY WITH DESIGNER ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS OR BETWEEN THE CONSTRUCTION DOCUMENTS THEMSELVES, PRIOR TO PROPOSAL SUBMISSION.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN, DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. PLEASE NOTIFY DESIGNER IMMEDIATELY FOR A RESOLUTION OF ANY DISCREPANCY THAT MAY EXIST IN THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE DESIGNER.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS MUTUALLY AGREED UPON OR DIRECTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.

## CONSTRUCTION NOTES

- REFER TO STRUCTURAL DRAWINGS FOR GENERAL NOTES REGARDING FRAMING REQUIREMENTS.
- PANEL WOOD USED FOR STRUCTURAL ELEMENTS SHALL BE IDENTIFIED AS TO GRADE MARK AND SHALL BE OF AN IDENTIFYING MARK OF AN APPROVED GRADING BUREAU OR AGENCY, AFFIXED PRIOR TO DELIVERY.
- ADJUST ALL FRAMING CONNECTORS AND THE MEMBERS THEY CONNECT, TO PROVIDE LEVEL, TRUE, PLUMB, ALIGNED, SMOOTH AND OTHERWISE UNIFORM SUBSTRATE SURFACES TO WHICH TO APPLY TO ALL FINISHES
- ALL VENT PIPES SHALL BE CONSOLIDATED BELOW THE ROOF. PROTRUSIONS IN ROOF AREAS ARE TO BE PROPERLY FLASHED WITH BASE AND CAP FLASHING OR EQUAL.
- INSTALL ALL FLASHING REQUIRED TO MAKE BUILDING WATERTIGHT.
- ALL NAILS AND FASTENERS SHALL BE APPLIED TO PRODUCTS OR ASSEMBLIES PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES
- FIRE STOP IN THE FOLLOWING SPECIFIC LOCATIONS.
  - ALL STUD BEARING AND EXTERIOR WALLS AT CEILING AND FLOOR LEVELS.
  - ALL OTHER LOCATIONS WHERE OPENING COULD AFFORD PASSAGE FOR FLAMES.
  - AS REQUIRED BY LOCAL GOVERNING AGENCIES.
- THE CONTRACTOR SHALL PATCH AS REQUIRED FOR A FLUSH APPEARANCE OF ALL FLOORS, WALLS & CEILINGS.
- ALL INTERIOR PARTITIONS TO BE FRAMED AS DESIGNATED IN STRUCTURAL PLANS WITH 5/8" GYPSUM WALL BOARD OR 1/2" DUROCK WHERE THERE'S TILE OR STONE FINISH.
- ALL CEILINGS TO BE 1/2" GYPSUM WALL BOARD. TAPE AND SPACKLE ALL GYB JOINTS FOR PAINTING. ALL SHEET ROCK SURFACES SHALL RECEIVE 3 COATS OF SPACKLE, A PRIME COAT & 2 FINISH COATS OF PAINT.
- ALL INTERIOR WALL AREAS OF CONSTRUCTION SHALL RECEIVE TRIM AT BASE AND AT OPENINGS APPROVED BY THE OWNER, UNLESS OTHERWISE NOTED IN ROOM FINISH SCHEDULE.

## APPLICABLE CODES & REGULATIONS

- 2024 INTERNATIONAL BUILDING CODE\*
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE\*
- 2024 INTERNATIONAL EXISTING BUILDING CODE\*
- 2024 INTERNATIONAL FIRE CODE\*
- 2024 INTERNATIONAL RESIDENTIAL CODE\*
- 2024 INTERNATIONAL SWIMMING POOL AND SPA CODE\*
- 2024 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE\*
- 2023 NATIONAL ELECTRICAL CODE\*
- 2024 UNIFORM MECHANICAL CODE\*
- 2024 UNIFORM PLUMBING CODE\*

\*AS AMENDED BY GOVERNING JURISDICTION

## PROJECT DESCRIPTION

TYPE: NEW CONSTRUCTION  
 USE: POOLHOUSE CASITA AND OUTDOOR KITCHEN  
 BASE ZONING: R-1 ONE FAMILY  
 ASHRAE CLIMATE ZONE: 2A  
 ZONING OVERLAYS:  
 EDWARDS AQUIFER RECHARGE ZONE: SOUTH  
 MAXIMUM IMPERVIOUS COVER: 25%

SCOPE:  
 NEW OUTDOOR KITCHEN ADJACENT TO POOL

DESCRIPTION:  
 SLAB ON GRADE FOUNDATION  
 CONCRETE, STEEL AND LIGHT WOOD FRAMED STRUCTURE  
 MASONRY CLADDING  
 STANDING SEAM METAL ROOF

## PROJECT TEAM

**OWNER**  
 RACHEL SCHULER  
 614 WESTBROOK DR  
 WESTLAKE HILLS, TX 78746

**BUILDING DESIGNER**  
 ÖKEM DESIGN  
 AUSTIN, TEXAS  
 CONTACT: CHRISTOPHER CLIFTON  
 PHONE: 512-894-9222  
 EMAIL: CHRIS@OKKEMDESIGN.COM

**STRUCTURAL ENGINEER**  
 ÖKEM DESIGN  
 AUSTIN, TEXAS  
 CONTACT: CHRISTOPHER CLIFTON  
 PHONE: 512-894-9222  
 EMAIL: CHRIS@OKKEMDESIGN.COM

## STANDARD ABBREVIATIONS

A - AND	E - EAST	HR - HOUR HANDRAIL	REIN - REINFORCE
EX - EXISTING	ED - EXHAUST	HT - HEIGHT	REQD - REQUIRED
AC - AIR CONDITIONING	EA - EACH	HR - HEATING, VENTILATING & AIR CONDITIONING	RF - REVISION
ACOUS - ACOUSTICAL	E.F.S - EXHAUST FAN	I.B.C. - INTERNATIONAL BUILDING CODE	RM - ROOM
AD - AREA DRAIN	E.I.S - EXTERIOR INSULATION AND FINISH SYSTEM	I.D. - INSIDE DIAMETER	R.O. - ROUGH OPENING
ADA - AMERICANS WITH DISABILITIES ACT	EJ - EXPANSION JOINT	I.E. - INSULATING GLASS	S - SCHEDULE
AE - ARCHITECT AND ENGINEERS	EL - ELEVATION	IN - INCH	SCHED - SCHEDULE
A.F.F. - ABOVE FINISH FLOOR	ELEC - ELECTRICAL	INT - INTERIOR	SOP - SCOPPER
A.F.F. - ABOVE FINISH GRADE	ENC - ENCLOSURE	INSUL - INSULATION	S.S. - STAINLESS STEEL
AGR - AGGREGATE	E.P. - ELECTRICAL PANEL	INT - INTERIOR	SEA - SEALER
A.H.J. - AUTHORITY HAVING JURISDICTION	EQ - EQUAL	INW - INVERT	SECT - SECTION
A.H.U. - AIR HANDLING UNIT	EQIP - EQUIPMENT	I.T.G. - INSULATED TEMPERED GLASS	S.F. - SQUARE FOOT
ALT - ALTERNATIVE	E.W.C. - ELECTRIC WATER COOLER	JAW - JAW	SHWR - SHOWER
ALUM - ALUMINUM	ENH - ENHANCE	JBOX - JUNCTION BOX	SH - SHEET
ANOD - ANODIZED	EXIST - EXISTING	JT - JOINT	SHG - SHEATHING
APPROX - APPROXIMATE	EXP - EXPANSION	KIT - KITCHEN	SM - SLAB
ARCH - ARCHITECTURAL	EXT - EXTERIOR	K.O. - KNOCK OUT	SL - SLOPE
ASH - ASPHALT	F.A. - FIRE ALARM	KW - KILOWATT	SPEC - SPECIFICATION
AVG - AVERAGE	F.A.P. - FIRE ALARM MANUICATOR PANEL	KWH - KILOWATT HOUR	SQ - SQUARE
B.D. - BOARD	F.A.C.P. - FIRE ALARM CONTROL PANEL	LAV - LAVATORY	S.S. - STAINLESS STEEL
B.T.M. - BRTMINOUS	F.C.U. - FAN COIL UNIT	LBS - POUNDS	S.T.C. - SOUND TRANSMISSION CLASS
BUILD - BUILDING	F.D. - FLOOR DRAIN	L.F. - LINEAL FEET	STD - STANDARD
BLKG - BLOCKING	FN - FOUNDATION	LT - LIGHT	STL - STEEL
BM - BEAM	FE - FIRE EXTINGUISHER	LVR - LOUVER	STOR - STORAGE
BO - BOTTOM OF	F.E.C. - FIRE EXTINGUISHER CABINET	MAINT - MAINTENANCE	STRUC - STRUCTURAL
CAB - CABINET	FF - FINISH FLOOR	MATL - MATERIAL	SUSP - SUSPENDED
C.B.B. - GEMBITRIOUS BACKER BOARD	F.F.A. - FINISH FLOOR FINISHES	MAX - MAXIMUM	SW - SIMMETRICAL
C.F. - CURB FEET	FN - FINISH	MB - MARKER BOARD	T&G - TONGUE AND GROOVE
C.F.M. - CUBIC FEET PER MINUTE	FMT - FRONT	MEN - MECHANICAL	T&D - TO BE DETERMINED
C.G. - CORNER GUARD CEILING GRILLE	F.L. - FLOW LINE	MEP - MECHANICAL ELECTRICAL PLUMBING	TEMP - TEMPERATURE
C.I. - CAST IRON	FLR - FLOOR	M.P. - MECHANICAL PROTECTION (CONDUIT)	T.G. - TEMPERED GLASS, TONGUE & GROOVE
C.I.P. - CAST IN PLACE	FLOOR - FLUORESCENT	MTL - METAL	THK - THICK
C.J. - CONTROL JOINT	F.O. - FRESH OPENING	MR - MANUFACTURER	THR - THRESHOLD
C.L. - CENTERLINE	F.O.F. - FACE OF FINISH	MA - MAINKLE	THRU - THROUGH
C.L.G. - CEILING	F.O.S. - FACE OF STUD	MIN - MINIMUM	T.O. - TOP OF
CLR - CLEAR	F.R. - FIRE RATED	MM - MINIMUM	T.S. - TUBE STEEL
C.M.U. - CONCRETE MASONRY UNITS	F.S.P. - FIRE STANDPIPE	MISC - MISCELLANEOUS	TV - TELEVISION
CO - CLEANOUT(S)	FT - FOOT FEET	M.O. - MASONRY OPENING	TYP - TYPICAL
COL - COLUMN	FTG - FOOTING	MTO - MOUNTED	UGND - UNDERGROUND
CONC - CONCRETE	FUR - FURRING	MTL - METAL	ULL - UNDERWATERS LABORATORY
CONT - CONTINUOUS	F.V. - FIRE VALVE	N - NORTH	UN - UNFINISHED
COORD - COORDINATE	F.V.C. - FIRE VALVE CABINET	N.A. - NOT APPLICABLE	UN.O. - UNLESS NOTED OTHERWISE
CT - CERAMIC TILE	F.W. - FIRE WALL/LOWERING	N.C. - NOT IN CONTRACT	V&V - VIBRATION TILE
CTR - CENTER	GA - GAUGE	NOM - NOMINAL	V.C.T. - VINYL COMPOSITION TILE
CURT - CURB FEET	GALV - GALVANIZED	N.T.S. - NOT TO SCALE	VERT - VERTICAL
DBL - DOUBLE	GB - GIBB BAR	O.C. - ON CENTER	V.F.R. - VENT THROUGH ROOF
DES - DEGREE	G.C. - GENERAL CONTRACTOR	G.D. - OUTSIDE DIMETER OVERFLOW DRAIN	W - WEST
DEPT - DEPARTMENT	G.D. - DAMAGE DISPOSAL	G.F.C.I. - OWNER FURNISHED CONTRACTOR RETALLED	W.F. - WITH
DEPT - DEPARTMENT	G.F. - GROUND FLOOR/FACE (G)	G.F.C.I. - OWNER FURNISHED CONTRACTOR RETALLED	W/O - WITHOUT
DET - DETAIL	G.L. - GALVANIZED IRON	G.F.C.I. - OWNER FURNISHED CONTRACTOR RETALLED	W/ - WITH
D.F. - DRAINING FOUNTAIN	GL - GLASS	G.I. - GROUND FAULT CIRCUIT INTERRUPTER	W/OUT CLOSET
DIAM - DIAMETER	GR - GROUND	G.L. - GALVANIZED IRON	W/ - WITH
DIMS - DIMENSIONAL	GRD - GROUND	GR - GROUND	W/ - WIDE FLANGE
DM - DIMENSION	GRD - GROUND	GR - GROUND	W/ - WATER HEATER
DSP - DISPENSER	GRD - GROUND	GR - GROUND	W/ - WEIGHT
DW - DOWN	GRD - GROUND	GR - GROUND	Y - CURB YARD
DD - DOOR OPENING	GRD - GROUND	GR - GROUND	Y - YARD
DO - DOOR	GRD - GROUND	GR - GROUND	YR - YEAR
DS - DOWNSPOUT	GRD - GROUND	GR - GROUND	
DW - DOWN	GRD - GROUND	GR - GROUND	
DWG - DRAWING	GRD - GROUND	GR - GROUND	

## SHEET LIST

Sheet Number	Sheet Name
A000	TITLE SHEET
A001	SITE PLAN
A002	TREE PRESERVATION
A100	FLOOR PLAN
A101	ROOF PLAN
A103	RCP & ELECTRICAL PLAN
A200	BUILDING ELEVATIONS
A800	BUILDING 3D VIEWS

**ÖKEM**  
 DESIGN + ENGINEERING

NEW CONSTRUCTION - POOLHOUSE  
 614 WESTBROOK DR  
 WESTLAKE HILLS, TX 78746

NO. REVISION DATE

1 PERMIT TBD

Building Designer CLC



ISSUE DATE 2/9/25

TITLE SHEET

A000

NO.	REVISION	DATE
1	PERMIT	TBD

Building Designer: CLC



ISSUE DATE: 2/8/25

TREE CRITICAL ROOT ZONE			
TREE #	TREE SIZE	DESCRIPTION (* INDICATES R.O.W)	HERITAGE TREE
1	24"	LIVE OAK	Yes
2	28"	LIVE OAK	Yes
3	10"	LIVE OAK	No
4	20"	LIVE OAK	No
5	14"	CHINESE PISTACHE	No
6	10"	LIVE OAK	No
7	8"	LIVE OAK	No
8	14"	LIVE OAK	No
9	8"	LIVE OAK	No
10	10"	LIVE OAK	No
11	8"	LIVE OAK	No
12	34"	LIVE OAK	Yes
13	14"	PECAN	No
14	20"	LIVE OAK	No

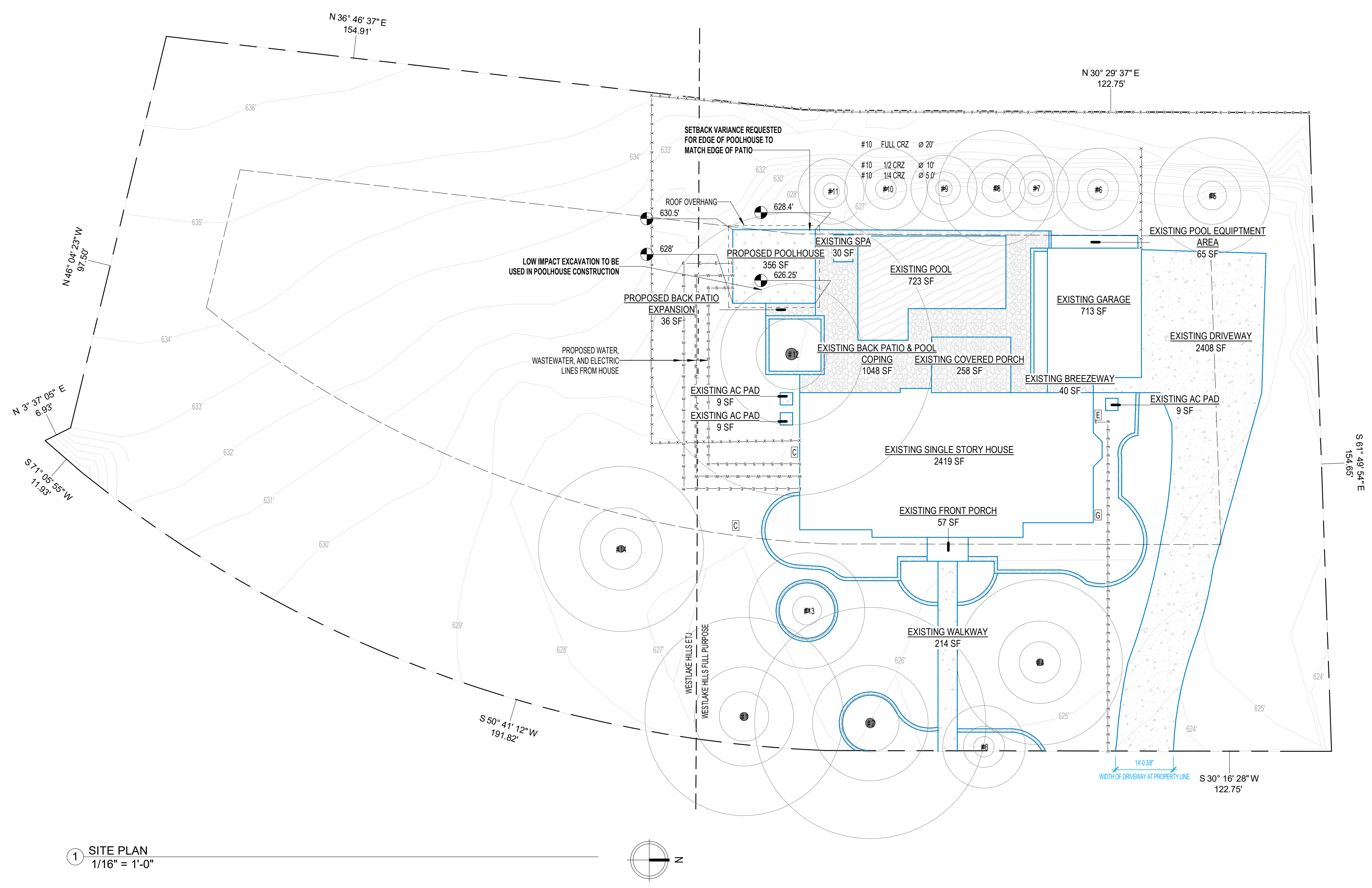
- SITE GENERAL NOTES**
- UTILITIES ARE SHOWN FOR INFORMATION ONLY.
  - CONTRACTOR PROVIDE AND MAINTAIN A PORTABLE TOILET.
  - CONTRACTOR SHALL NOT STORE ANY MATERIAL WITHIN THE DRIP EDGE OF TREE TO REMAIN.
  - CONTRACTOR TO VERIFY SIDE UTILITIES LOCATIONS PRIOR TO EXCAVATION.

**ZONING INFORMATION**

LEGAL DESCRIPTION: LOT 1 RAINBOW'S END ESTATES SEC 1  
 PROPERTY ID: 110825  
 ZONING: R-1 ONE FAMILY  
 LOT SIZE: 43323.91

DEVELOPMENT LIMITS:  
 IMPERVIOUS COVER: 25%  
 MAX. BUILDING HEIGHT: 30 FT

- SITE LEGEND**
- [Symbol] ADDITION / NEW CONSTRUCTION
  - [Symbol] CONCRETE
  - [Symbol] EXISTING HOUSE
  - [Symbol] GRASS
  - [Symbol] GRAVEL
  - [Symbol] STONE / MASONRY
  - [Symbol] WOOD PLANKS
  - [Symbol] WATER
  - [C] CLEAN OUT
  - [E] ELECTRIC METER
  - [G] GAS METER
  - [M] MAILBOX
  - [PP] POWER POLE
  - [W] WATER METER
  - UNDERGROUND WASTE
  - UNDERGROUND WATER
  - NATURAL GAS MAIN SERVICE LINE
  - OVERHEAD ELECTRICAL
  - FENCE
  - CONTOUR LINES
  - ROOF OVERHANG
  - SETBACK
  - PROPERTY LINE
  - [Symbol] TREE CRZ
  - [Symbol] TREE TO BE REMOVED



1 SITE PLAN  
1/16" = 1'-0"

DEVELOPMENT TABLE														
NAME	DESCRIPTION	AREA	IMP FACTOR	BLDG FACTOR	LIV FACTOR	LIV EXEMPTION	IMP AREA	BLDG AREA	LIV AREA	% IMP	% BLDG	% LIV	COUNT	COMMENTS
EXISTING AC PAD	FLATWORK	27 SF	1	0	0	0 SF	27.00 SF	0.00 SF	0.00 SF	0.06%	0.00%	0.00%	3	
EXISTING BACK PATIO & POOL COPING	FLATWORK	1048 SF	1	0	0	0 SF	1047.77 SF	0.00 SF	0.00 SF	2.42%	0.00%	0.00%	1	
EXISTING BREEZEWAY	COVERED PATIO	40 SF	1	1	0	0 SF	40.38 SF	40.38 SF	0.00 SF	0.09%	0.09%	0.00%	1	
EXISTING BRICK LANDSCAPE WALL	LANDSCAPING	312 SF	1	0	0	0 SF	311.66 SF	0.00 SF	0.00 SF	0.72%	0.00%	0.00%	10	
EXISTING COVERED PORCH	COVERED PATIO	258 SF	1	1	0	0 SF	258.09 SF	258.09 SF	0.00 SF	0.60%	0.60%	0.00%	1	
EXISTING DRIVEWAY	FLATWORK	2408 SF	1	0	0	0 SF	2408.27 SF	0.00 SF	0.00 SF	5.56%	0.00%	0.00%	1	
EXISTING FRONT PORCH	COVERED PORCH	57 SF	1	1	1	0 SF	57.36 SF	57.36 SF	57.36 SF	0.13%	0.13%	0.13%	1	
EXISTING GARAGE	UNCONDITIONED	713 SF	1	1	1	0 SF	712.83 SF	712.83 SF	712.83 SF	1.65%	1.65%	1.65%	1	
EXISTING POOL	POOL	723 SF	0	0	0	0 SF	0.00 SF	0.00 SF	0.00 SF	0.00%	0.00%	0.00%	1	
EXISTING POOL EQUIPMENT AREA	FLATWORK	65 SF	1	0	0	0 SF	65.01 SF	0.00 SF	0.00 SF	0.15%	0.00%	0.00%	1	
EXISTING SINGLE STORY HOUSE	CONDITIONED	2419 SF	1	1	1	0 SF	2419.16 SF	2419.16 SF	2419.16 SF	5.58%	5.58%	5.58%	1	
EXISTING SPA	POOL	30 SF	0	0	0	0 SF	0.00 SF	0.00 SF	0.00 SF	0.00%	0.00%	0.00%	1	
EXISTING WALKWAY	FLATWORK	214 SF	1	0	0	0 SF	213.96 SF	0.00 SF	0.00 SF	0.49%	0.00%	0.00%	1	
GRASS	GRASS	34612 SF	0	0	0	0 SF	0.00 SF	0.00 SF	0.00 SF	0.00%	0.00%	0.00%	11	
PROPOSED BACK PATIO EXPANSION	FLATWORK	36 SF	1	0	0	0 SF	36.02 SF	0.00 SF	0.00 SF	0.08%	0.00%	0.00%	1	
PROPOSED POOLHOUSE	COVERED PATIO	356 SF	1	1	0	0 SF	356.02 SF	356.02 SF	0.00 SF	0.82%	0.82%	0.00%	1	
<b>TOTAL</b>		<b>4319 SF</b>					<b>7953.53 SF</b>	<b>3843.84 SF</b>	<b>3189.35 SF</b>	<b>18.36%</b>	<b>8.87%</b>	<b>7.36%</b>		

ECM - 3.6.1 - TREE PROTECTION REQUIREMENTS

A. DURATION OF TREE PROTECTION

1. INSTALLATION

TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK, INCLUDING DEMOLITION OR SITE PREPARATION, AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PROJECT.

2. REMOVAL

TREE PROTECTION SHALL BE REMOVED AT THE END OF THE PROJECT AFTER ALL CONSTRUCTION AND FINAL GRADING IS COMPLETE, BUT BEFORE FINAL INSPECTION. ANY PREMATURE REMOVAL OR FAILURE OF TREE PROTECTION CAN LEAD TO CRITICAL ROOT ZONE IMPACTS AS DESCRIBED IN ECM 3.5.2 AND MAY REQUIRE REMEDIAL TREE CARE. IT IS THE PERMIT HOLDER'S RESPONSIBILITY TO AVOID DAMAGE TO PRESERVED TREES WHERE TREE PROTECTION HAS BEEN REMOVED OR NOT INSTALLED.

B. FENCING SPECIFICATIONS

1. MATERIAL REQUIREMENTS

FENCING IS THE PRIMARY METHOD OF TREE PROTECTION. FENCING IS INTENDED TO PREVENT ACCESS TO THE CRITICAL ROOT ZONE. TREE FENCING SHALL BE CHAIN-LINK MESH WITH A MINIMUM HEIGHT OF 5 FEET. FENCING SHALL BE INSTALLED ON STEEL T-POSTS WITH A MAXIMUM SPACING OF 10 FEET BETWEEN THE POSTS. MORE ROBUST OR EXISTING PERMANENT FENCING MAY BE APPROVED AS AN ALTERNATIVE TO CHAIN-LINK FENCING. PLASTIC FENCING MATERIAL SHALL NOT BE USED AS TREE PROTECTION.

2. LOCATION OF FENCING

FENCING SHALL BE INSTALLED AROUND OR BEYOND THE CRITICAL ROOT ZONE OF ALL PRESERVED TREES OR ANY NATURAL AREAS DESIGNATED FOR PRESERVATION. FENCING MUST BE CONTINUOUS AND CREATE A CLOSED, INACCESSIBLE AREA OF ROOT ZONE PROTECTION.

3. MAINTENANCE OF FENCED AREAS

FENCING SHALL NOT BE TEMPORARILY MOVED OR REMOVED DURING DEVELOPMENT WITHOUT PRIOR AUTHORIZATION. THERE SHALL BE MINIMAL SLACK OR SAGGING IN THE FENCE. THE FENCED CRITICAL ROOT ZONE SHALL NOT BE USED FOR TOOL OR MATERIAL STORAGE OF ANY KIND AND SHALL BE KEPT FREE OF LITTER.

4. EXCEPTIONS TO FENCING REQUIREMENTS

ANY SECTION OF THE CRITICAL ROOT ZONE NOT PROTECTED BY FENCING OR COVERED BY EXISTING HARDSCAPE REQUIRES MULCH (SEE ECM 3.6.1.C). EXCEPTIONS TO THE CRZ FENCING REQUIREMENT SHALL BE JUSTIFIED BY SITE-SPECIFIC CONSIDERATIONS. SOME EXCEPTIONS ARE FOR AREAS THAT HAVE BEEN APPROVED FOR IMPACTS, SUCH AS THE FOOTPRINT OF A BUILDING; (I) COVERED BY EXISTING HARDSCAPE, SUCH AS A PATIO OR DRIVEWAY (NOTE: IF HARDSCAPE IS REMOVED THE EXPOSED SOIL BENEATH BECOMES SUBJECT TO TREE PROTECTION REQUIREMENTS); (II) REQUIRED FOR ACCESS TO THE WORK AREA; AND (V) APPROVED FOR USE AS A STAGING AREA. WITHIN THE HALF CRZ, FENCING REQUIREMENTS WILL ONLY BE MODIFIED FOR EXISTING HARDSCAPE OR TO ALLOW AN ACCESS PATH ADJACENT TO APPROVED STRUCTURES (SEE ECM 3.6.1.C.3). CRZ FENCING MODIFICATIONS SHALL BE SHOWN ON THE DEVELOPMENT PLANS OR APPROVED BY THE INSPECTOR.

C. MULCH SPECIFICATIONS

1. MATERIAL REQUIREMENTS

MULCH IS REQUIRED IN ANY SECTION OF THE CRITICAL ROOT ZONE THAT IS NOT PROTECTED BY FENCING OR UNDER EXISTING HARDSCAPE AND HAS NOT BEEN APPROVED FOR IMPACTS (SUCH AS BUILDING FOOTPRINT OR DRIVEWAY). MULCH USED FOR TREE PROTECTION SHALL BE ANY NATURAL WOOD TYPE. ROUGH SINGLE GRIND MULCH, WHICH RESISTS COMPACTION BETTER THAN DOUBLE GRIND AND IS USUALLY LESS EXPENSIVE IS PREFERRED BUT ANY NATURAL WOOD TYPE IS ACCEPTABLE. DYED MULCH OR MULCH MADE FROM NON-BIOLOGICAL MATERIAL SUCH AS RUBBER OR STONE SHALL NOT BE USED AS TREE PROTECTION.

2. DEPTH OF MULCH

MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF 8 INCHES. MULCH MAY NEED TO BE PERIODICALLY REPLISHED DEPENDING ON THE DURATION OF THE PROJECT. SINCE EXCESSIVE MULCH IS HARMFUL TO TREES, MULCH SHALL NOT BE INSTALLED TO A DEPTH GREATER THAN 12 INCHES. MULCH USED FOR TREE PROTECTION SHALL BE REMOVED AT THE END OF THE PROJECT. MULCH SHALL NEVER BE PILED AGAINST TREE TRUNKS.

3. MULCH WITHIN THE HALF CRZ

WHEN MULCH IS USED AS ALTERNATIVE PROTECTION WITHIN THE HALF CRITICAL ROOT ZONE IT SHALL BE TOPPED BY DECKING TO PROVIDE ADDITIONAL PROTECTION AGAINST COMPACTION.

4. EXCEPTIONS TO MULCH REQUIREMENTS

MULCH IS NOT REQUIRED WITHIN FENCED SECTIONS OF THE CRITICAL ROOT ZONE WHERE EXISTING TURF OR GROUND COVER IS PRESENT AND UNDISTURBED. SECTIONS OF BARE OR DISTURBED DIRT WITHIN THE FENCED CRZ SHALL BE COVERED BY A THREE-INCH LAYER OF MULCH.

D. TRUNK AND BRANCH WRAPPING

1. TRUNK WRAP

WRAPPING IS NOT REQUIRED OR RECOMMENDED FOR MOST PRESERVED TREES. WHEN NECESSARY, TRUNK WRAP SHALL BE INSTALLED TO PROTECT THE FIRST 8 FEET OF TREE HEIGHT WHENEVER PROTECTIVE FENCING IS LOCATED 5 FEET OR LESS FROM THE TRUNK OR WHEN FENCING CANNOT BE PLACED AROUND THE TREE. THIS WILL USUALLY ONLY BE THE CASE WHEN EXISTING HARDSCAPE PROVIDES HALF CRITICAL ROOT ZONE PROTECTION OR A STRUCTURE HAS BEEN APPROVED FOR CONSTRUCTION WITHIN THE HALF CRZ USING AN EXISTING HISTORICAL FOOTPRINT. THESE CIRCUMSTANCES CAN RESULT IN FENCING CLOSER TO THE TRUNK THAN WOULD OTHERWISE BE ALLOWED. BECAUSE TREES VARY IN FORM, 8 FEET IS A GENERAL GUIDELINE RATHER THAN AN ABSOLUTE STANDARD. MORE OR LESS HEIGHT OF PROTECTION MAY BE APPROPRIATE.

2. BRANCH WRAP

BRANCH WRAP MAY BE REQUIRED WHEN A MAJOR LIMB IS OVER AN ACCESS ROUTE OR CLOSE TO A PROPOSED STRUCTURE. PROXIMITY OF SCAFFOLDING OR OTHER NECESSARY CONSTRUCTION EQUIPMENT NEEDS TO BE CONSIDERED.

3. MATERIAL REQUIREMENTS

DIMENSIONAL LUMBER, SUCH AS 2X4S, SHALL BE ORIENTED PARALLEL TO AND CONTINUOUSLY AROUND THE TRUNK OR BRANCH AND SECURED IN PLACE BY TIGHTENING WIRES RUN AROUND THE OUTSIDE OF THE LUMBER. WRAPPING SHALL NEVER BE SECURED DIRECTLY TO THE TREE BY SCREWS OR OTHER MEANS. WRAPPING SHALL BE LOOSENEED AND RETIGHTENED EVERY SIX MONTHS TO PREVENT THE TREE FROM BEING DAMAGED AS IT GROWS OUTWARDS.

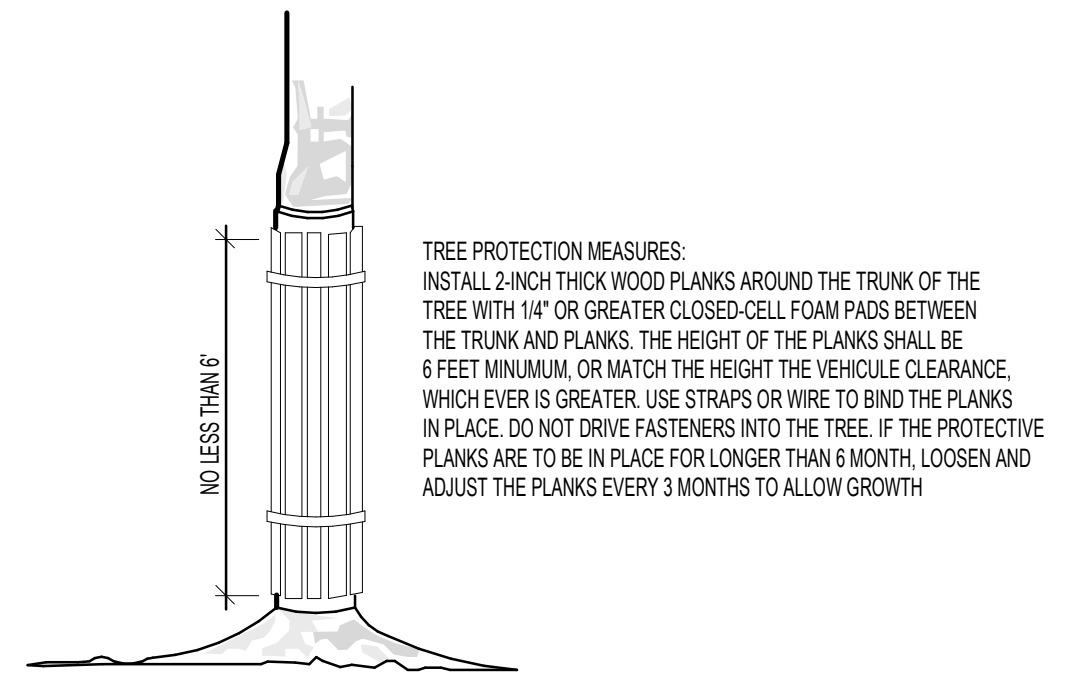
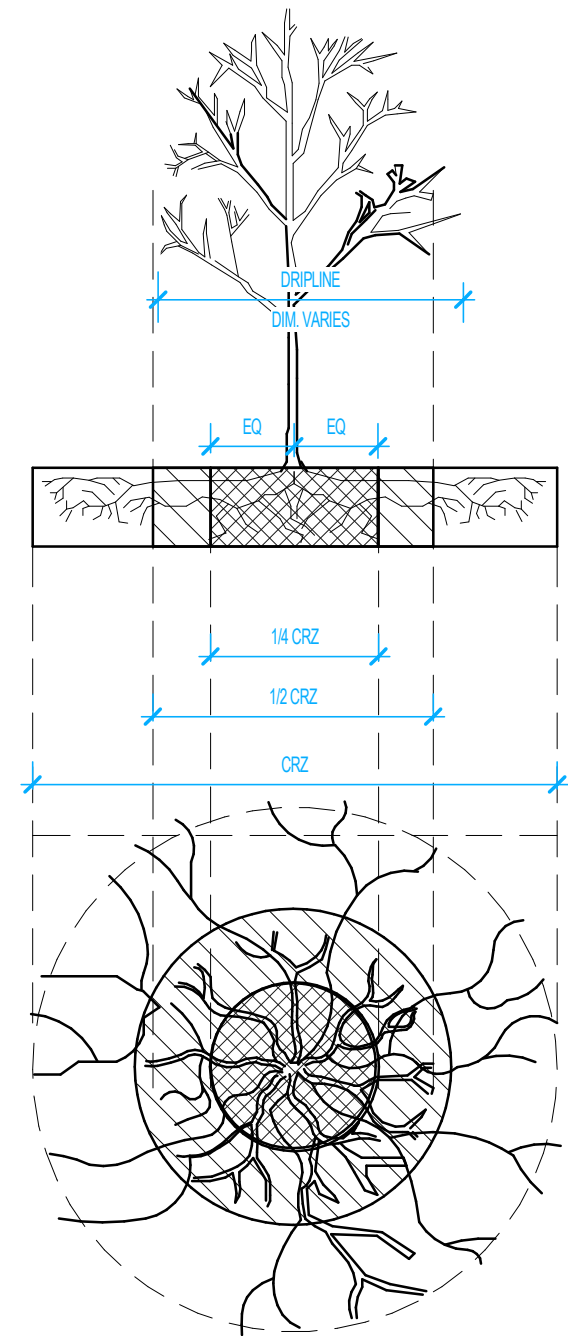
E. PROTECTION FOR NATURAL AREAS

NATURAL AREAS INDICATED FOR PRESERVATION ON PLANS SHALL BE PROTECTED BY FENCING THAT MEETS THE STANDARDS FOR TREE FENCING IN THIS SECTION. ALTERNATIVE PROTECTION ALLOWED FOR TREES IS NOT ACCEPTABLE FOR NATURAL AREA PRESERVATION. FENCING SHALL BE INSTALLED AT THE LIMIT OF CONSTRUCTION LINE SHOWN ON PLANS.

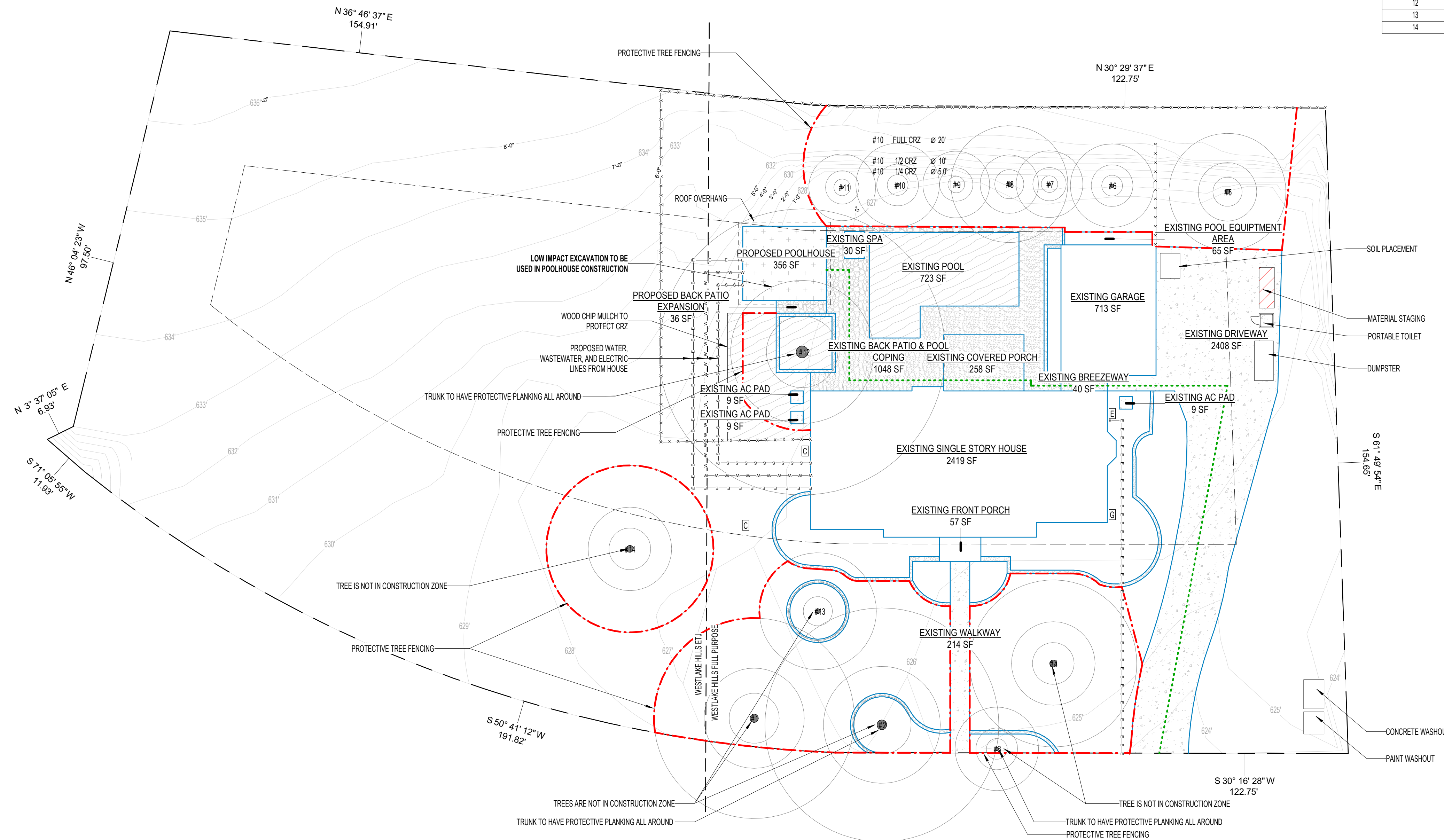
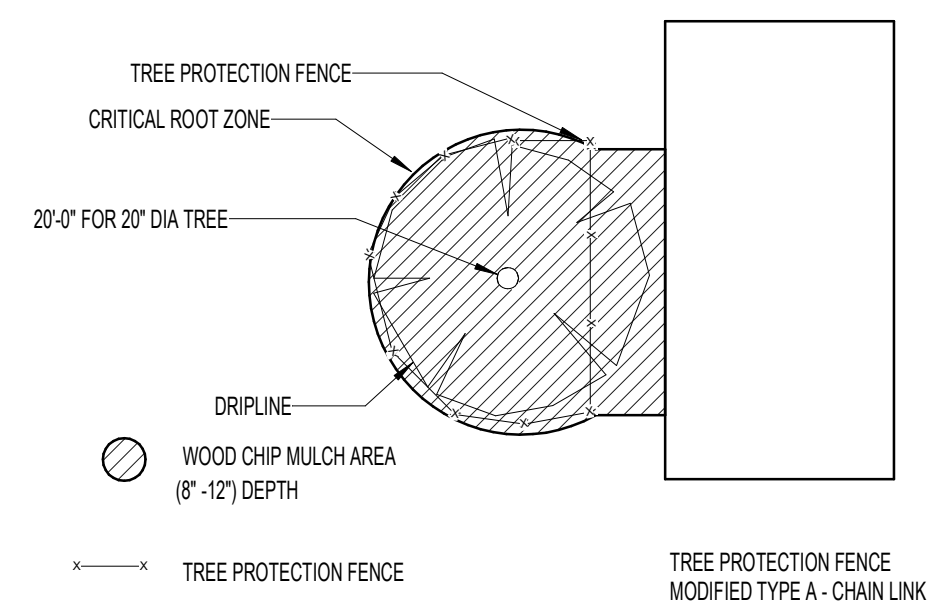
TREE CRITICAL ROOT ZONE			
TREE #	TREE SIZE	DESCRIPTION (* INDICATES R.O.W)	HERITAGE TREE
1	24"	LIVE OAK	Yes
2	28"	LIVE OAK	Yes
3	10"	LIVE OAK	No
4	20"	LIVE OAK	No
5	14"	CHINESE PISTACHE	No
6	10"	LIVE OAK	No
7	8"	LIVE OAK	No
8	14"	LIVE OAK	No
9	8"	LIVE OAK	No
10	10"	LIVE OAK	No
11	8"	LIVE OAK	No
12	34"	LIVE OAK	Yes
13	14"	PECAN	No
14	20"	LIVE OAK	No

TREE PRESERVATION LEGEND

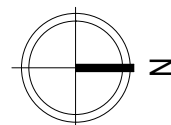
- WOOD PLANKS
- 8" MULCHING AREA
- 6" TALL CHAIN LINK FENCE
- ACCESS ROUTE
- CLEAN OUT
- ELECTRIC METER
- GAS METER
- WATER METER
- UNDERGROUND WASTE
- UNDERGROUND WATER
- NATURAL GAS MAIN SERVICE LINE
- OVERHEAD ELECTRICAL
- FENCE
- CONTOUR LINES
- ROOF OVERHANG
- SETBACK
- PROPERTY LINE
- PROTECTED TREE CRZ
- TREE TO BE REMOVED
- TREE TO BE PLANTED



\* AS NEEDED TO PROVIDE MINIMUM NECESSARY WORK SPACE. IF LESS THAN 5', THEN ADD BOARDS STRAPPED TO TRUNK.









3 TREE PROTECTION AND CONSTRUCTION STAGING  
1/16" = 1'-0"





**GENERAL FLOOR PLAN NOTES**

- ALL CONSTRUCTION SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE AND GOVERNING JURISDICTION AMENDMENTS (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- FLOOR PLANS ARE PROVIDED FOR DESIGN AND LAYOUT PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWING SHEETS FOR HEADER SIZES AND LOCATIONS.
- PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, WITH BATTERY BACKUP, AT EACH SLEEPING ROOM, IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS, AND, IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS, IN ACCORDANCE WITH IRC SEC R314 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR). (S)
- PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE, IN ACCORDANCE WITH IRC SEC R315 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR) DENOTED ON THE PLANS BY THE SYMBOL (C)
- DRYER VENT NOT TO EXCEED 35' MINUS ELBOWS PER IRC M1502.4.6.1 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- ALL GYPSUM WALL BOARD SHALL BE 5/8" THICK TYPE "X" @ GARAGE WALL SEPARATING CONDITIONED SPACE FROM THE GARAGE.
- ALL GYPSUM WALL BOARD SHALL BE 5/8" THICK TYPE "X" @ GARAGE CEILING.
- DOORS BETWEEN THE GARAGE AND RESIDENCE SHALL BE 20-MINUTE FIRE RATED, GASKETED, AND EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC SECTION R302.5.1 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- PROVIDE LOCAL EXHAUST SYSTEM FOR BATHROOM WITH NO WINDOWS OR FIXED WINDOWS, PER IRC SECTION R303.3 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- INSTALL SAFETY GLAZING IN ACCORDANCE WITH IRC SEC R308 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- CENTERLINE OF ALL LIGHT SWITCHES TO BE 48" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.
- CENTERLINE OF ALL OUTLETS TO BE 18" ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED.
- BLOCKING TO BE PROVIDED AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT, FIXTURES, AND FURNISHINGS.
- ALL DIMENSIONS ORIGINATE AT FINISH FACE OF INTERIOR WALLS, OUTSIDE FACE OF EXTERIOR STUDS, OR CENTER OF OPENINGS UNLESS NOTED OTHERWISE.
- PROVIDE AFCI BREAKERS AS REQUIRED PER NEC (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- PROVIDE SUPPORTS FOR PIPING AND HVAC SYSTEMS AS REQUIRED PER CODE AND MANUFACTURER REQUIREMENTS (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- PROVIDE GFCI DEVICES FOR GFCI PROTECTION WHERE REQUIRED PER NEC (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
- PROVIDE DEDICATED CIRCUIT FOR THE REFRIGERATOR.
- LOCATE OUTLETS AS REQUIRED TO COMPLY WITH OUTLET SPACING REQUIREMENTS OF NEC (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).

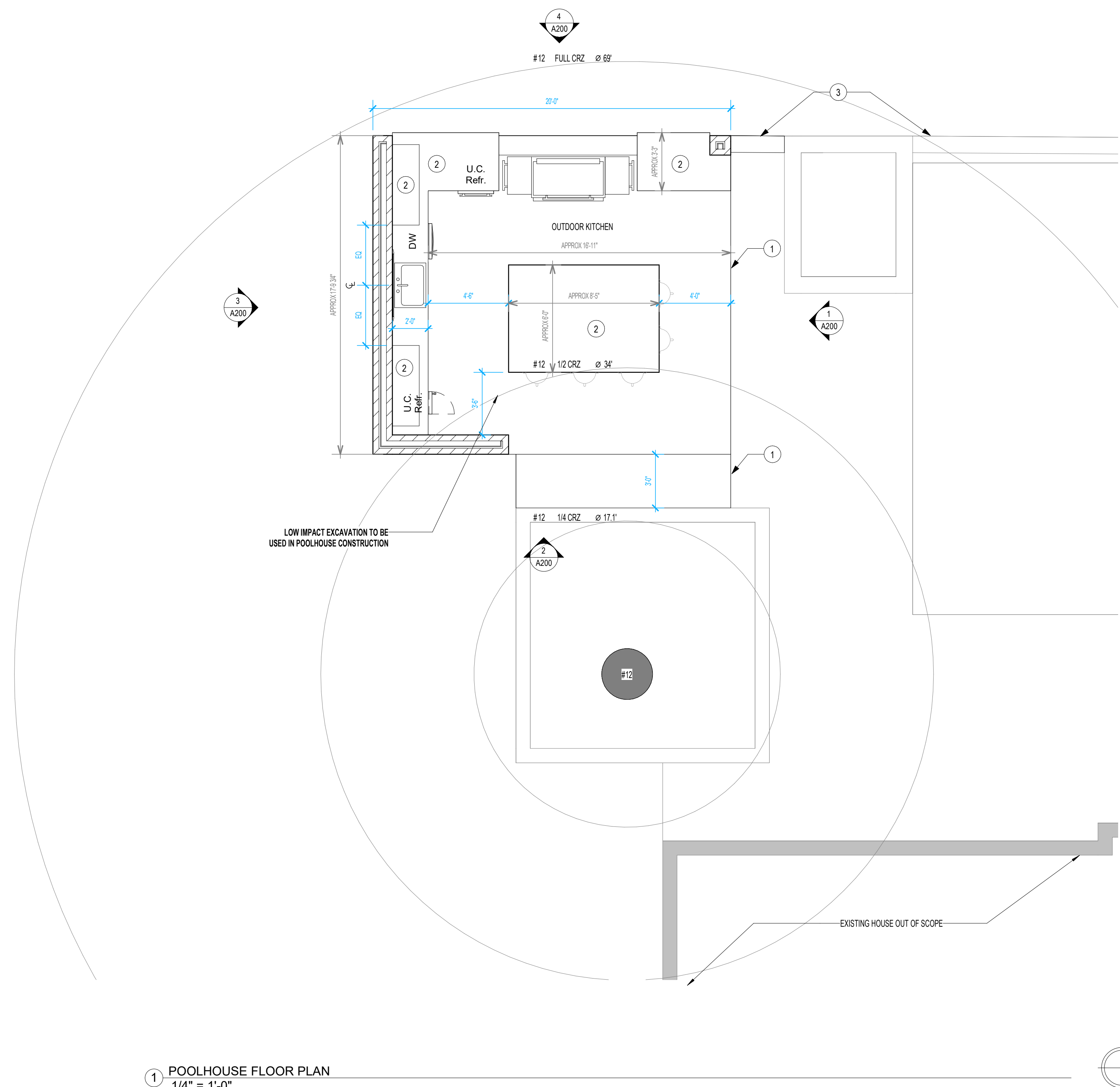
**FLOOR PLAN LEGEND**

-  NEW WALLS, WINDOWS, DOORS, AND ROOF
-  WALLS EXISTING TO REMAIN
-  APPROX DIMENSIONS TO DESCRIBE GENERAL DESIGN INTENT
-  DIMENSIONS FOR BUILDER LAYOUT
-  ELECTRIC METER
-  GAS METER

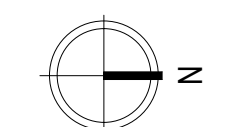
**FOUNDATION LEGEND**

-  INDICATES TOP OF SLAB ELEVATION
-  INDICATES STEP IN SLAB ELEVATION

FLOOR PLAN NOTES	
NO.	DESCRIPTION
1	FLOOR FINISH TO MATCH PATIO ELEVATION
2	CUSTOM CASEWORK TO BE VERIFIED DURING CONSTRUCTION
3	NEW STEM WALL TO MATCH EXISTING



**1 POOLHOUSE FLOOR PLAN**  
1/4" = 1'-0"



NO.	REVISION	DATE
1	PERMIT	TBD

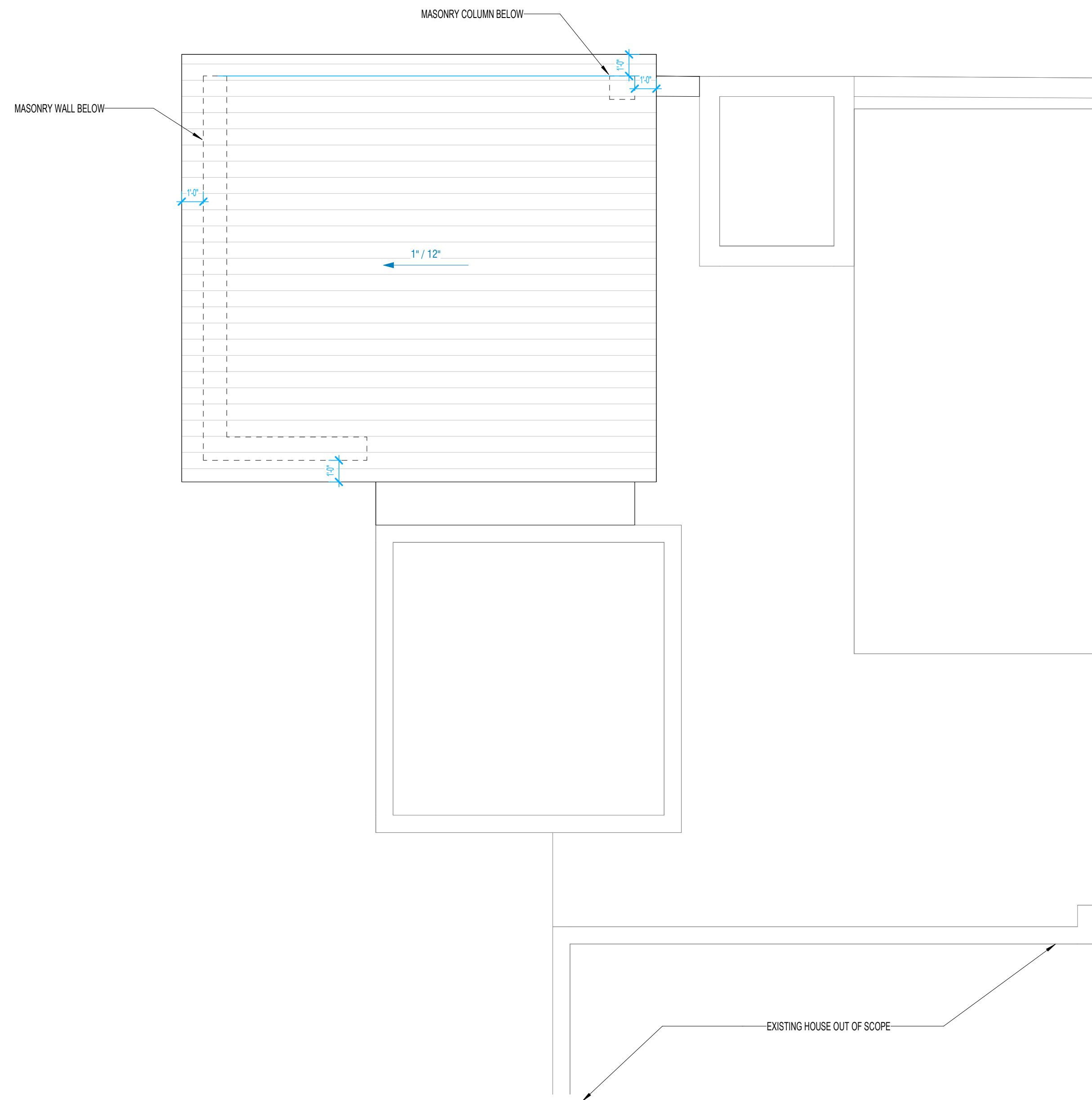
Building Designer CLC

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

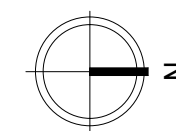
ISSUE DATE 2/8/25

**FLOOR PLAN**

**A100**

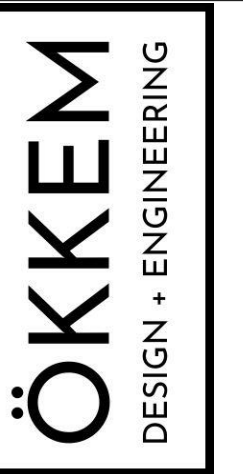


① ROOF PLAN  
1/4" = 1'-0"



GENERAL ROOF PLAN NOTES

1. ROOF ASSEMBLIES SHALL COMPLY WITH SECTION R905 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR), INCLUDING MATERIALS, UNDERLAYMENT, AND INSTALLATION REQUIREMENTS.
2. MATERIALS MUST MEET ASTM STANDARDS, AND UNDERLAYMENT INSTALLATION MUST ADHERE TO SECTION R905.1.1.
3. DRIP EDGES AT EAVES AND GABLES SHALL BE INSTALLED AS PER SECTION R905.2.8.5.
4. ICE AND WATER SHIELD SHALL BE INSTALLED AT EAVES AS REQUIRED BY SECTION R905.1.2 AND LOCAL CODE.
5. FLASHING AND ROOF PENETRATIONS (E.G., VENTS, SKYLIGHTS) SHALL BE INSTALLED AND SEALED PER SECTION R903.2, USING CORROSION-RESISTANT MATERIALS SPECIFIED IN R903.2.1.
6. SAFE ACCESS FOR ROOF MAINTENANCE SHALL BE PROVIDED IN COMPLIANCE WITH OSHA REGULATIONS AND SECTION R903.1.
7. ENCLOSED ATTICS AND RAFTER SPACES MUST COMPLY WITH SECTION R806 (SEE TITLE PAGE FOR APPLICABLE CODE YEAR).
8. ENSURE CROSS VENTILATION WITH A MINIMUM NET FREE VENTILATING AREA OF 1/150 OF THE SPACE AREA OR 1300 IF VENTILATION IS BALANCED PER SECTION R806.2. VENTILATION OPENINGS MUST BE PROTECTED AND NOT BLOCKED BY INSULATION, MAINTAINING A 1-INCH SPACE BETWEEN INSULATION AND ROOF SHEATHING PER SECTION R806.3.
9. ROOF DECKING SHALL COMPLY WITH SECTION R803 AND BE FASTENED IN ACCORDANCE WITH TABLE R602.3(1) OR AS SPECIFIED IN THE STRUCTURAL DRAWINGS.
10. GUTTERS AND DOWNSPOUTS MUST BE INSTALLED TO DIRECT ROOF DRAINAGE PER SECTION R801.3, DESIGNED TO MANAGE LOCAL RAINFALL EFFECTIVELY.
11. PLUMBING VENT STACKS SHALL EXTEND ABOVE THE ROOF PER SECTION P3103.1.
12. ALL WORK SHALL COMPLY WITH (SEE TITLE PAGE FOR APPLICABLE CODE YEAR) AND ANY LOCAL AMENDMENTS. VERIFY LOCAL CODE REQUIREMENTS BEFORE PROCEEDING.
13. ROOF ASSEMBLIES MUST MEET THE INSULATION REQUIREMENTS OF SECTION N1102, BASED ON CLIMATE ZONE.
14. ROOFING MATERIALS MUST COMPLY WITH FIRE CLASSIFICATION REQUIREMENTS PER SECTION R902.
15. INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO ENSURE PROPER PERFORMANCE AND WARRANTY COMPLIANCE.
16. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND SITE CONDITIONS, REPORTING DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING.



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NEW CONSTRUCTION - POOLHOUSE

NO.	REVISION	DATE
1	PERMIT	TBD

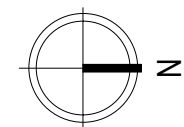
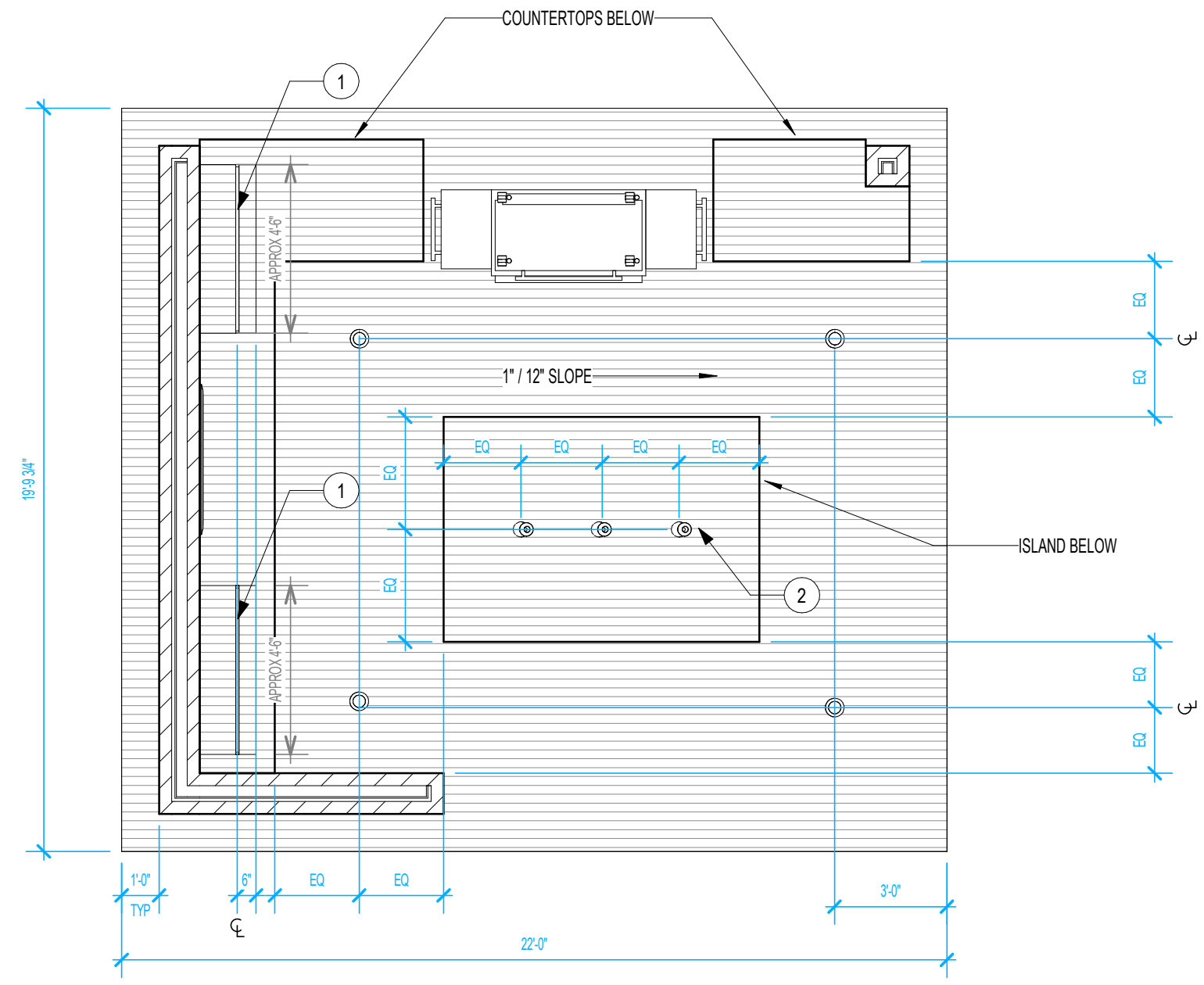
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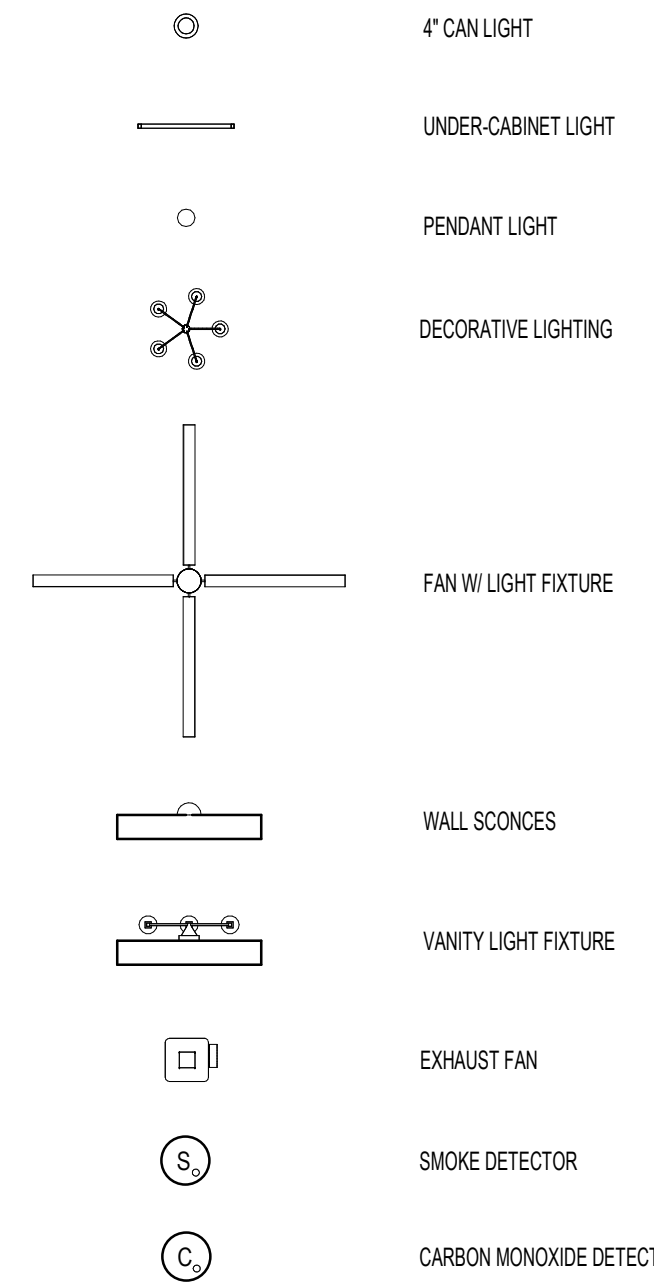
ISSUE DATE 2/8/25

ROOF PLAN

A101

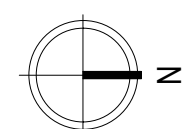
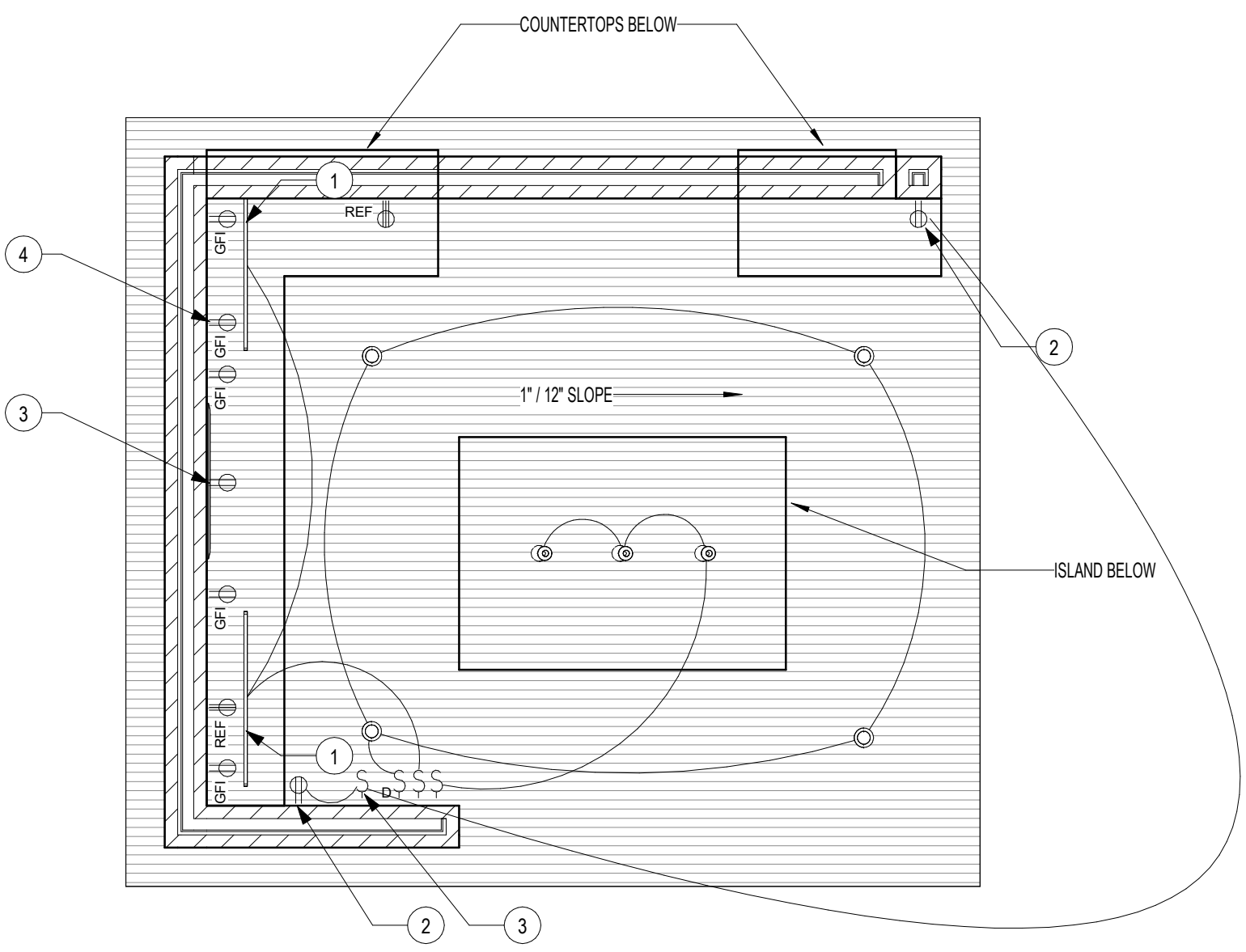


**RCP LEGEND**

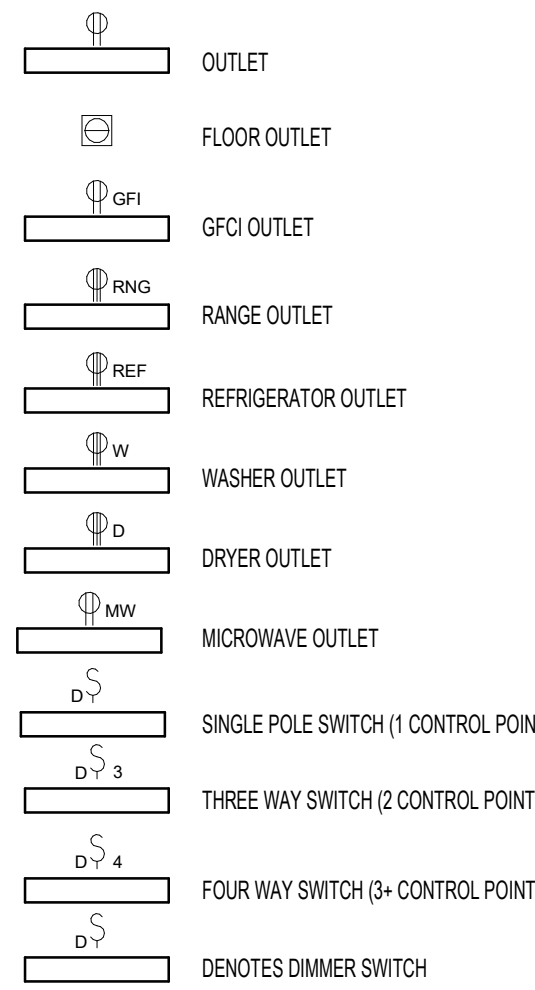


RCP NOTES	
NO.	DESCRIPTION
1	UNDER CABINET LED STRIPS TO MATCH SHELF WIDTH - COORDINATE W/ OWNER PRIOR TO BID
2	EXISTING PENDANT LIGHTS TO BE USED FROM MAIN HOUSE

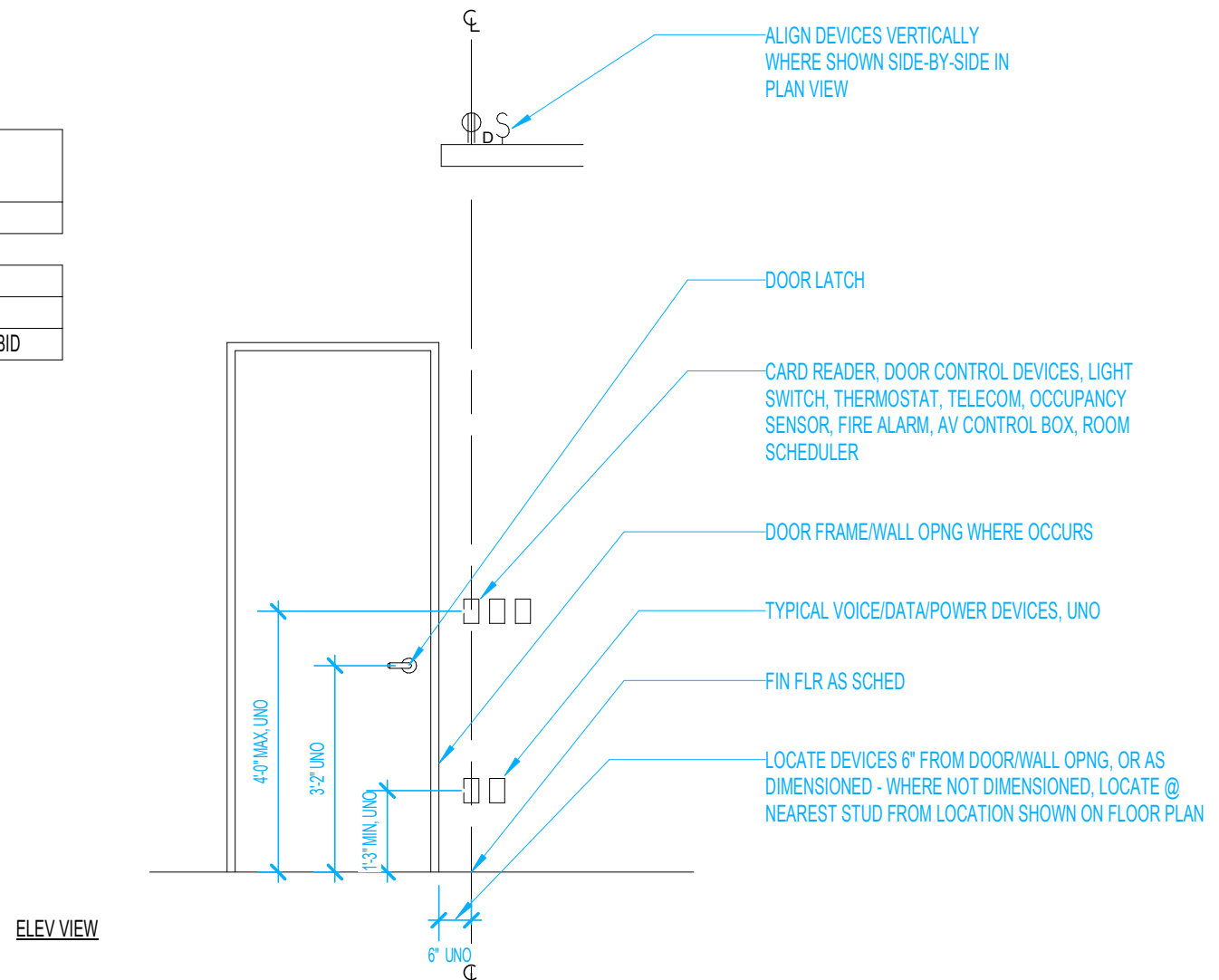
LIGHTING FIXTURE SCHEDULE		
TYPE	COUNT	COMMENTS
4' CAN LIGHT	4	DIMMABLE
PENDANT LIGHT	3	EXISTING PENDANT LIGHTS TO BE USED FROM MAIN HOUSE
UNDER CABINET LED STRIP	2	UNDER CABINET LED STRIPS TO MATCH SHELF WIDTH - COORDINATE W/ OWNER PRIOR TO BID



**ELECTRICAL LEGEND**



**GENERAL DEVICE ALIGNMENT DIAGRAM**



ELECTRICAL NOTES	
NO.	DESCRIPTION
1	UNDER CABINET LED STRIPS TO MATCH SHELF WIDTH - COORDINATE W/ OWNER PRIOR TO BID
2	FAN OUTLET FOR FUTURE CEILING FAN CAPABILITIES
3	SWITCH TO BE WIRED TO OUTLETS FOR FUTURE FAN INSTALLATION
3	TV OUTLET - COORDINATE HEIGHT W/ OWNER DURING CONSTRUCTION
4	OUTLET UNDER CABINETS FOR DISHWASHER

ELECTRICAL FIXTURE SCHEDULE			
TYPE	COUNT	COMMENTS	DIMMABLE
GFI	4		No
GFI	1	UNDER COUNTER DISHWASHER OUTLET	No
REFRIGERATOR OUTLET	2	UNDER COUNTER REF OUTLET	No
SINGLE OUTLET	2		No
SINGLE OUTLET	1	TV OUTLET	No
TWO WAY SWITCH (1 CONTROL POINT)	3		No
TWO WAY SWITCH (1 CONTROL POINT) - DIMMABLE	1		Yes

NO.	REVISION	DATE
1	PERMIT	TBD

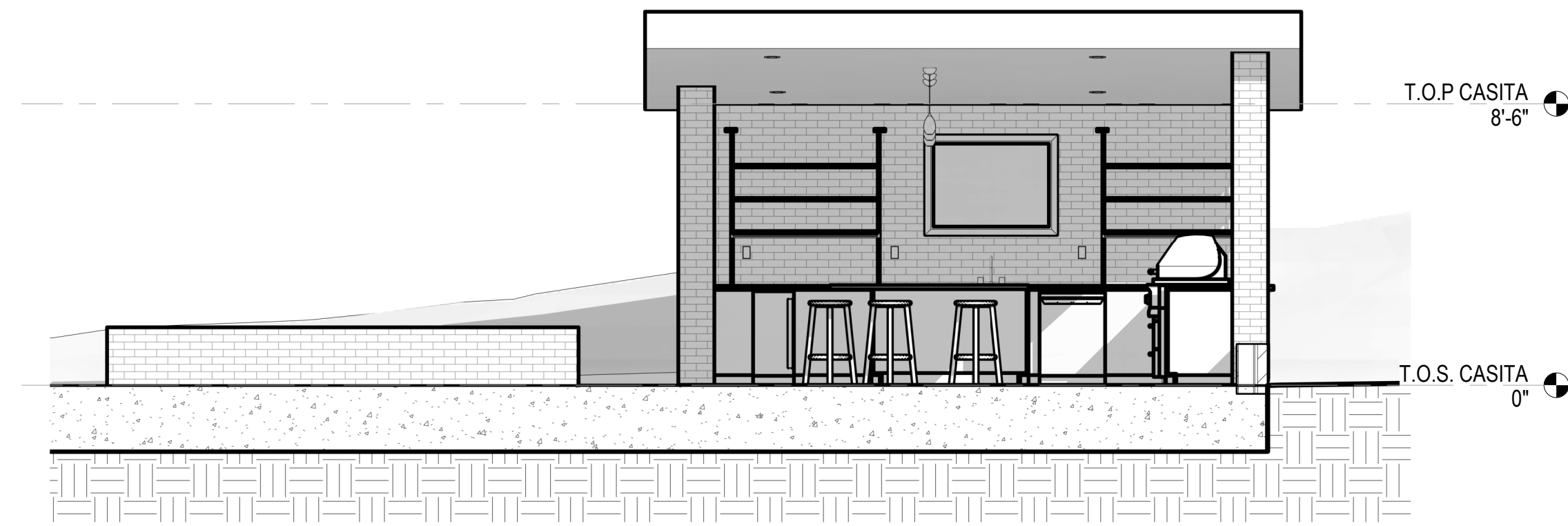
Building Designer: CLC



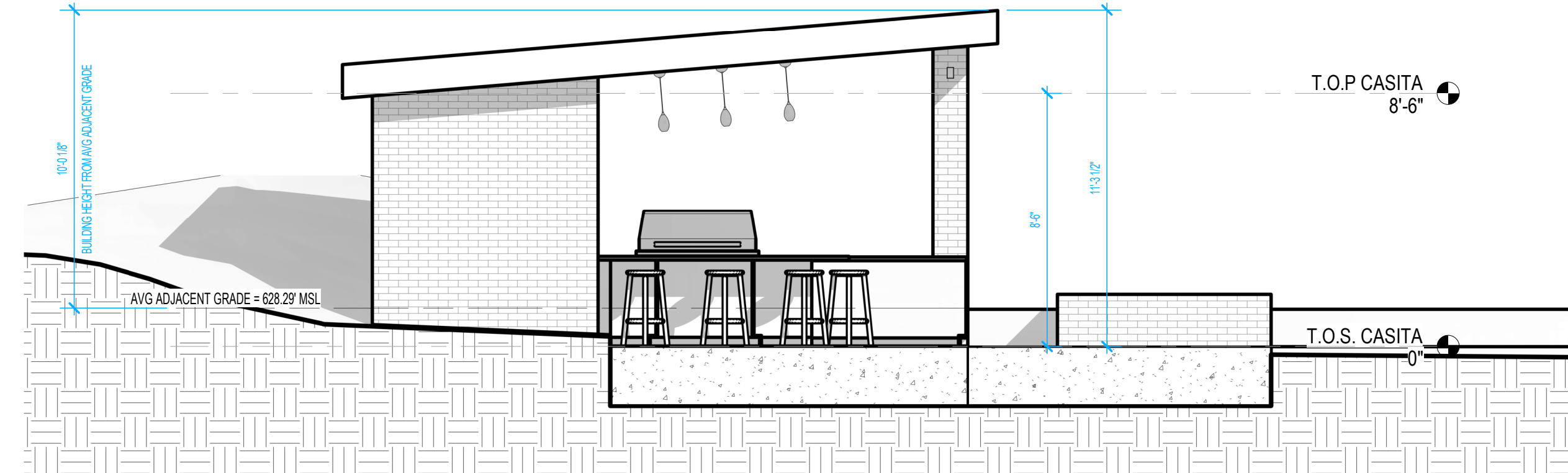
ISSUE DATE: 2/8/25

**BUILDING ELEVATIONS**

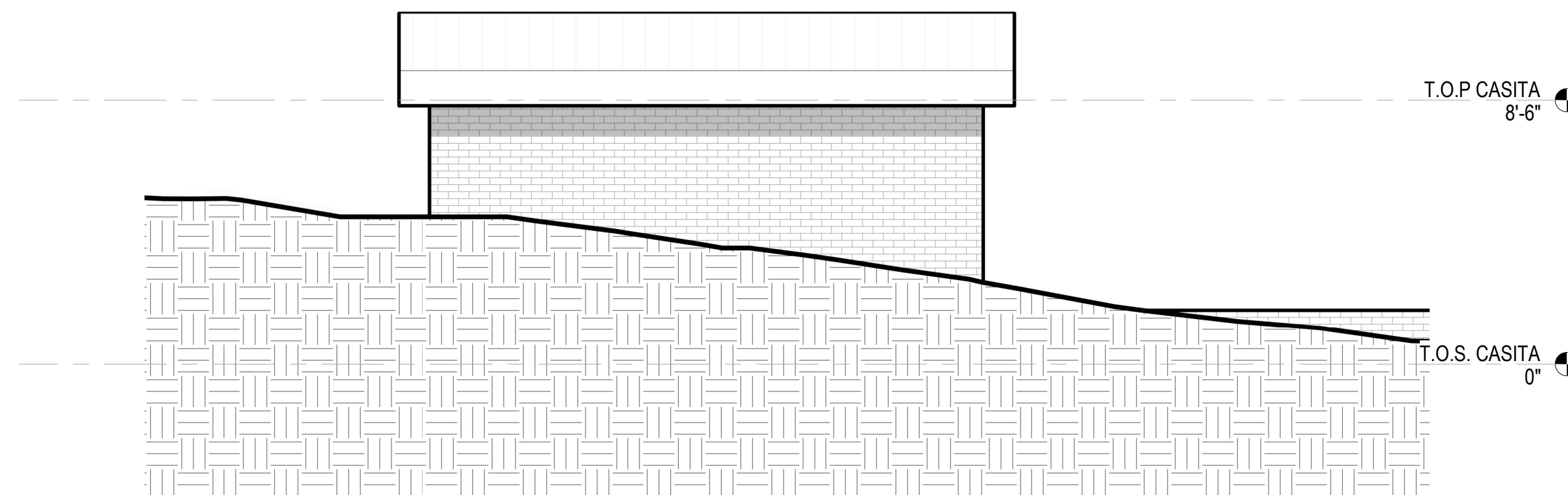
**A200**



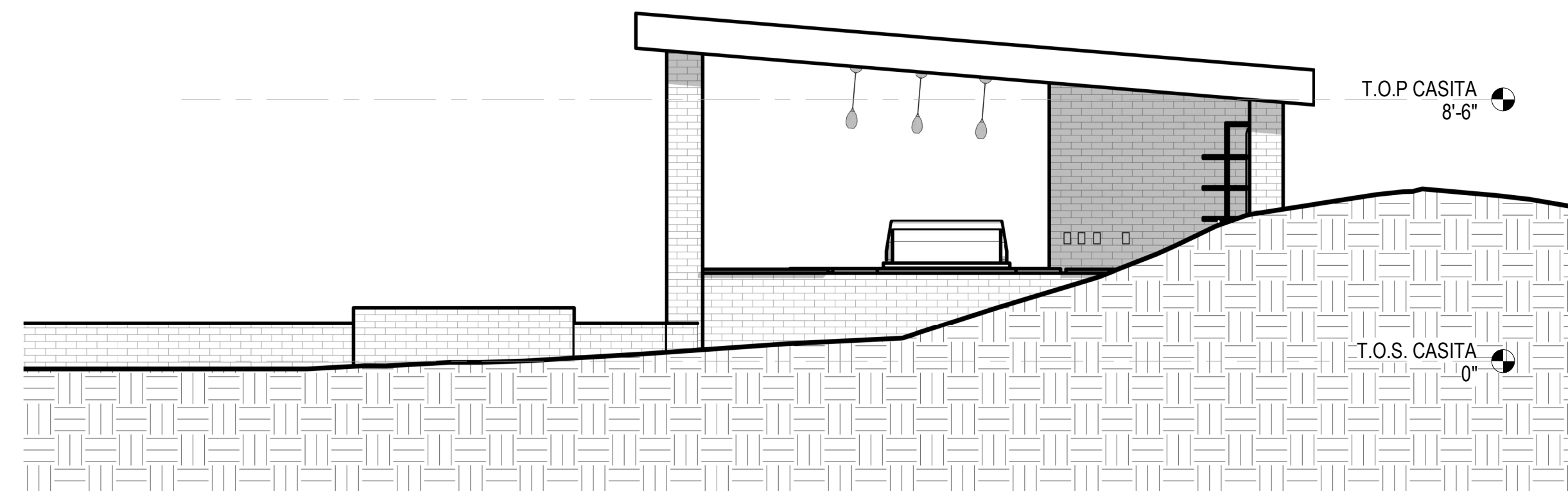
① FRONT ELEVATION  
1/4" = 1'-0"



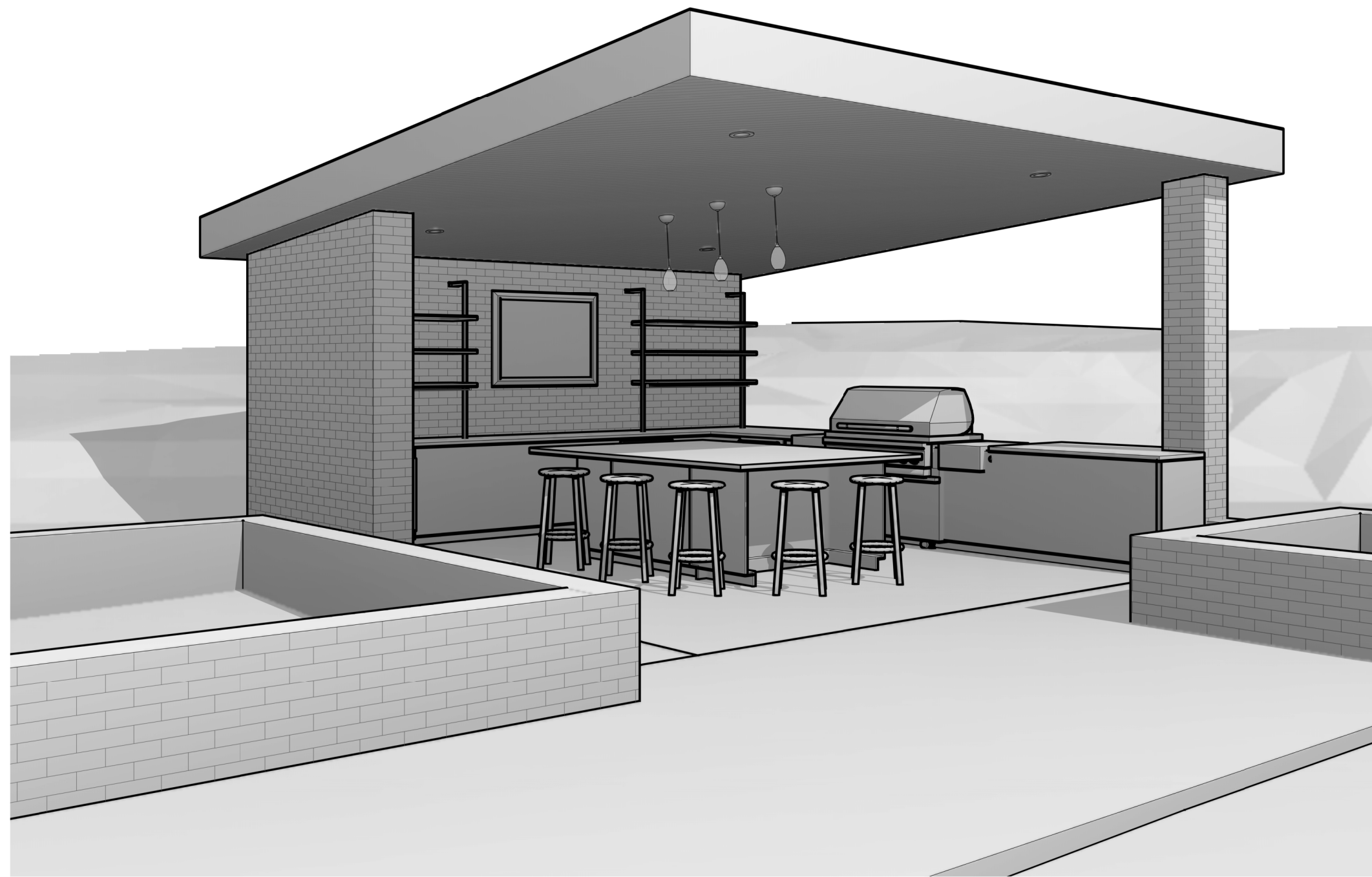
② LEFT ELEVATION  
1/4" = 1'-0"



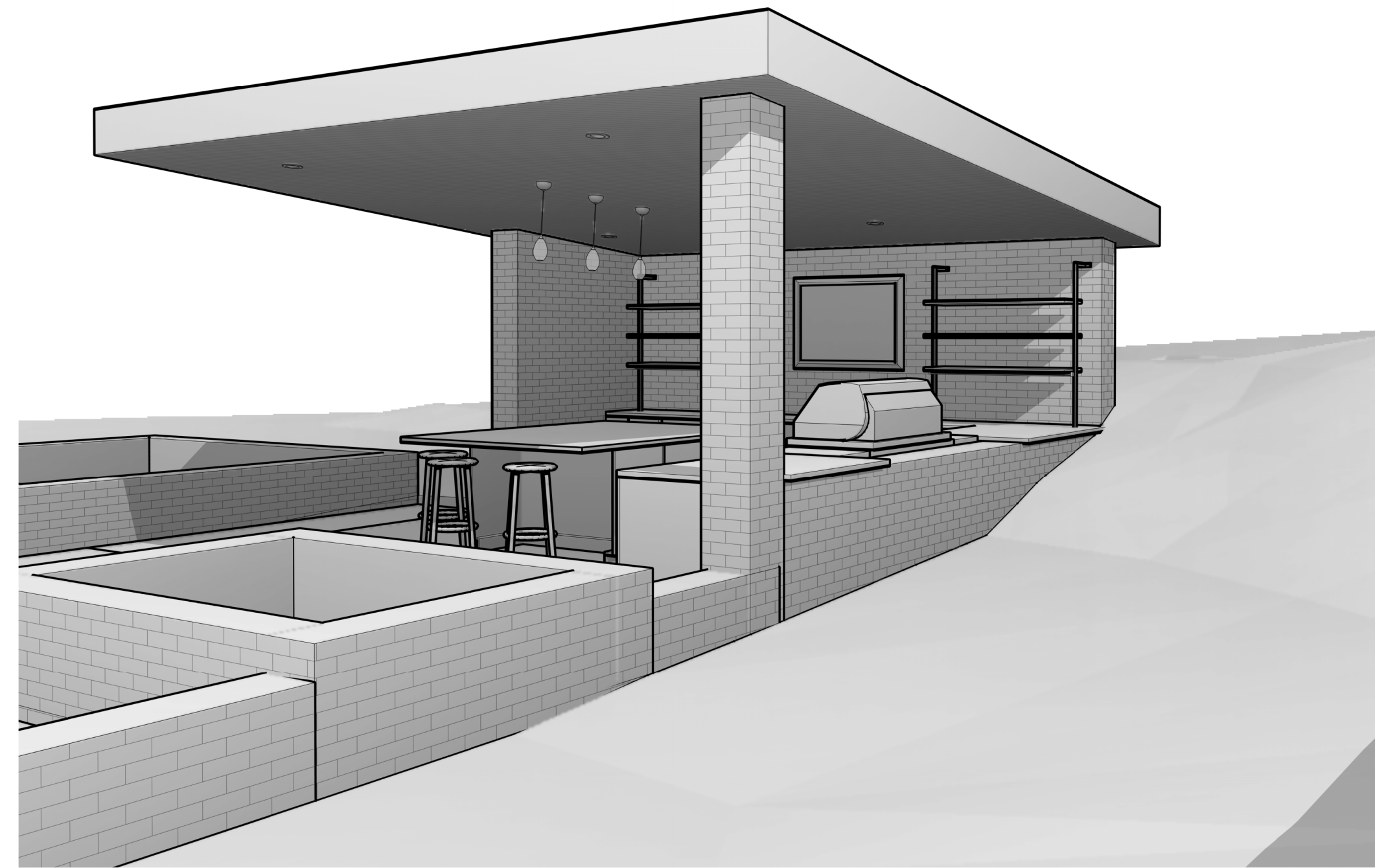
③ REAR ELEVATION  
1/4" = 1'-0"



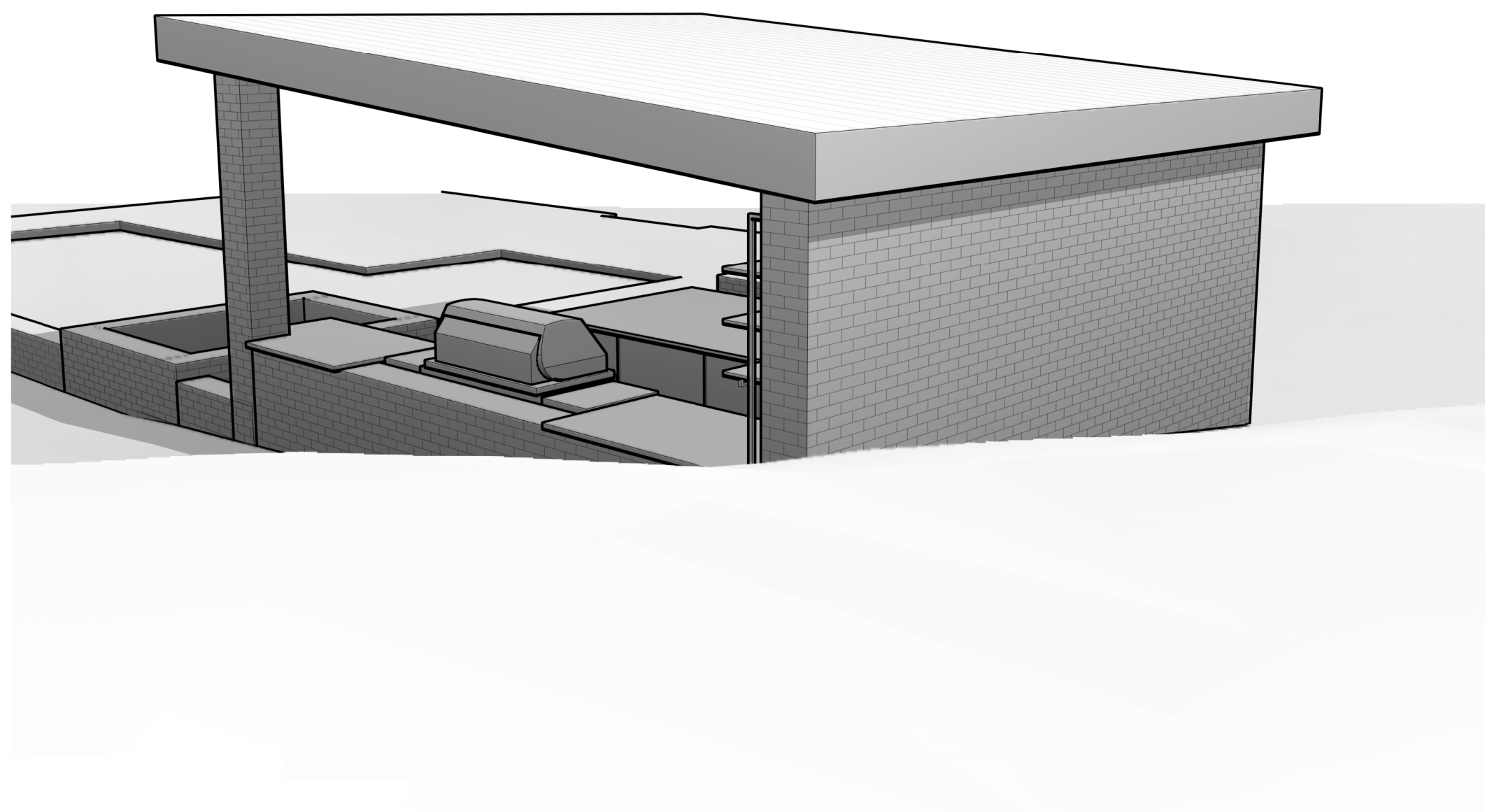
④ RIGHT ELEVATION  
1/4" = 1'-0"



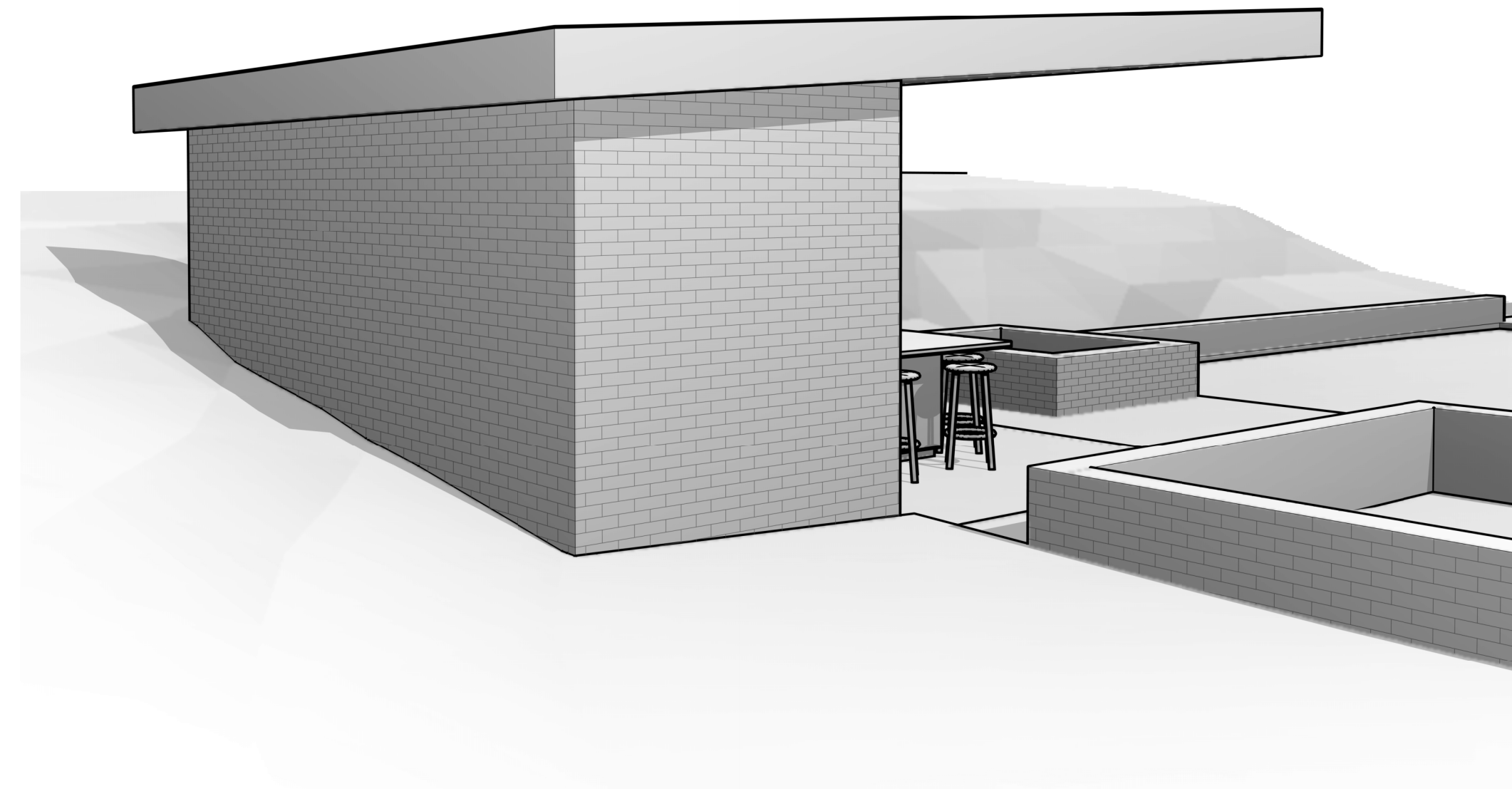
① FRONT LEFT VIEW



② FRONT RIGHT VIEW



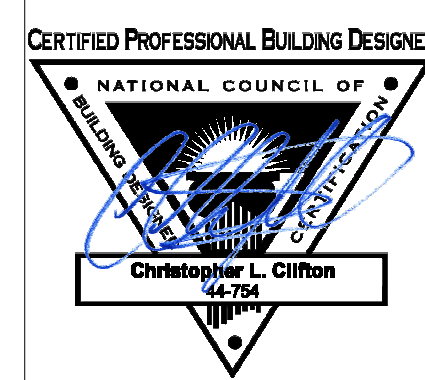
③ BACK RIGHT VIEW



④ BACK LEFT VIEW

NO.	REVISION	DATE
1	PERMIT	TBD

Building Designer CLC



ISSUE DATE 2/8/25

**BUILDING 3D VIEWS**

**A900**







Begin forwarded message:

**From:** Cynthia Goldrick [REDACTED]  
**Date:** April 8, 2026 at 4:24:11 PM CDT  
**To:** Rachel Schuler

[REDACTED]  
**Subject: Fwd: Outdoor kitchen**

Edited  
Sent from my iPhone

Begin forwarded message:

**From:** Cindy Goldrick [REDACTED]  
**Date:** April 8, 2026 at 4:13:39 PM CDT  
**To:** [REDACTED]  
**Subject: Outdoor kitchen**

Rachel,

We understand you want to build an outdoor kitchen along your back property line. I understand it might possibly encroach into some of your back property setback lines. This will not be an issue for us - it doesn't obstruct our views or privacy.

Let us know if there's anything else you or the City of Westlake needs.

Sincerely,  
Cindy Goldrick



**From:** [Mark Burr](#)  
**To:** [Planner](#)  
**Subject:** Variance for 614 Westbrook Dr  
**Date:** Thursday, May 14, 2026 4:07:38 PM

---

[You don't often get email from [REDACTED] Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

We are in favor of granting the variance to Mrs. Schuler, our neighbor, for setbacks and dimensional regulations.  
Thank you

Mark Burr  
609 Westbrook Dr.  
West Lake Hills. 78746

Sent while mobile.

MINUTES OF BOARD OF ADJUSTMENT  
PUBLIC HEARINGS AND REGULAR MEETING  
CITY OF WEST LAKE HILLS, TEXAS  
Wednesday, April 14, 1999

PRESENT: Chairman Dwight Thompson, Vice-Chairman Kit Webster, Board of Adjustment (BOA) Members Cathy McElroy, Jane Noble, and Harry Vine

ABSENT: BOA Member Earl Broussard

1. Call to Order.

Chairman Dwight Thompson called the meeting to order at 7:00 P.M. A quorum of BOA Members was present.

2. BOA action on consent agenda items.

Chairman Thompson read into the record the items which BOA requested to be approved by consent:

3. Approve December 9, 1998 Meeting Minutes.

4. Approve March 10, 1999 Meeting Minutes.

BOA MEMBER VINE MADE A MOTION, SECONDED BY BOA MEMBER NOBLE, TO APPROVE BY CONSENT AGENDA ITEMS #3 AND 4 AS REFERENCED ABOVE. MOTION PASSED BY UNANIMOUS (5-0) VOTE.

5. Public Hearing: Two variances to construct a swimming pool at 5 Downie Place:

a. Variance to encroach up to 22' into the 30' rear setback; and

b. Variance to encroach up to 20' into a 25' side setback.

Applicants P.K and Sheela Vasudev. All persons wishing to speak for or against shall be heard.

P.K. and Sheela Vasudev were present to answer questions relating to their two variances for a swimming pool.

Mr. Vasudev stated variances were necessary because of the weird shape of his lot and the fact that he has two 50' setbacks and a drainage easement on his property. He said his family desired a pool because his mother-in-law would be moving into the new addition and the pool would be good for exercise and therapy.

Chairman Thompson opened the Public Hearing stating all persons wishing to speak for or against the proposed variances would be heard.

6. Reconvene Meeting Consider two variances to construct a swimming pool at 5 Downie Place:
- a. Variance to encroach up to 22' into the 30' rear setback; and
  - b. Variance to encroach up to 20' into a 25' side setback.
- Zoning and Planning Commission (ZAPCO) report.

There being no one present to speak for or against the proposed variances, Chairman Thompson closed the Public Hearings and opened the Regular Meeting.

Jo Ivester reported that ZAPCO had a split vote-3 opposed the variances, 1 voted for, and 1 member was not sure. The members who were against the variances could not justify the hardship of not having a pool (some lots are just not big enough), and the others did not feel the variances were minimized. However, Ms. Ivester stated that the hardship could be the two 50' setbacks, drainage easement, steep slope, triangular shape, location of trees, proximity to West Lake Drive, and an ailing mother-in-law.

BOA discussed the hardship issue of having two 50' setbacks and whether not having a pool was a hardship.

BOA Member Vine stated that the configuration of the lot was a hardship because it makes a large portion of the lot unusable.

BOA MEMBER MCELROY MADE A MOTION, SECONDED BY BOA MEMBER VINE, TO APPROVE TWO VARIANCES (14' INTO THE 30' REAR SETBACK AND 15' INTO THE 25' SIDE SETBACK) TO CONSTRUCT A SWIMMING POOL AT 5 DOWNIE PLACE, BECAUSE OF THE HARDSHIP OF HAVING TWO (2) 50' SETBACKS, A DRAINAGE EASEMENT AND THE EFFORTS OF THE APPLICANTS IN MINIMIZING THEIR VARIANCES.

7. Public Hearing: Variance to construct a swimming pool up to 15' into the 30' rear setback at 614 Westbrook Drive. Applicants John and Rachel Schuler. All persons wishing to speak for or against shall be heard.

John and Rachel Schuler were present to answer questions relating to their variance request.

Mr. Schuler stated that their lot is a little over one acre, has a 3,000 square ft. house, and their plans are to add another 1,000 square ft. He listed the following reasons as his hardship: 1) extensive watershed from other lots (berm was built); 2) large power lines; and 3) septic placement. He stated that they have minimized their variance since ZAPCO review from a 15' encroachment to 4'.

Chairman Thompson opened the Public Hearing stating all persons wishing to speak for or against the proposed variance request would be heard.

8. Reconvene Meeting: Consider variance to construct a swimming pool up to 15' into the 30' rear setback at 614 Westbrook Drive. ZAPCO report.

There being no one present to speak for or against the proposed variance, Chairman Thompson closed the Public Hearing and opened the Regular meeting.

ZAPCO Chairperson Ivester reported that ZAPCO recommended BOA deny the variance because they did not feel that the applicants had minimized their variance.

Chairman Thompson stated that one could argue that the hardship is the fact that the ordinance does not anticipate the topography of certain lots and the position of homes.

BOA MEMBER MCELROY MADE A MOTION, SECONDED BY BOA MEMBER VINE, TO APPROVE A VARIANCE TO CONSTRUCT A SWIMMING POOL UP TO 14' INTO THE 30' REAR SETBACK AT 614 WESTBROOK DRIVE, BASED UPON THE HARDSHIP EXPRESSED BY CHAIRMAN THOMPSON AND IN ACCORDANCE WITH THE NEW DESIGN SUBMITTED. MOTION PASSED BY UNANIMOUS (5-0) VOTE.

9. Public Hearing: Two variances for property improvements at 427 Brady Lane:  
a. Gazebo to encroach up to 15' into the 20' side setback and up to 25' into the 30' rear setback.  
b. Variance to exceed the maximum allowable 25% impervious cover for deck extension. Existing impervious cover is 42% and applicant is requesting an increase to 44%. Applicant Paul Hudson. All persons wishing to speak for or against shall be heard.

Mr. Hudson stated that he would like to remove a large, forty-year old, fiberglass greenhouse which sits in the setback in his backyard and replace it with a gazebo in approximately the same location. Also planned is a deck extension which will eliminate some concrete steps. Mr. Hudson stated that his hardship for his setback and impervious cover variance is due to the small size of his lot. He stated that the majority of the property owners on his street exceed the 25% rule, which he does not feel is reasonable for small lots.

Chairman Thompson opened the Public Hearing stating all persons wishing to speak for or against the proposed variance requests would be heard.

10. Reconvene Meeting: Consider two variances for property improvements at 427 Brady Lane:
- a. Gazebo to encroach up to 15' into the 20' side setback and up to 25' into the 30' rear setback.
  - b. Variance to exceed the maximum allowable 25% impervious cover for deck extension. Existing impervious cover is 42% and applicant is requesting an increase to 44%.  
ZAPCO report.

There being no one present to speak for or against the proposed variance requests, Chairman Thompson closed the Public Hearing and opened the Regular Meeting.

ZAPCO Chairperson Ivester reported that ZAPCO recommended approval of the variances subject to the applicant's reducing the paving in the egg-shape area. They felt that the proposal was an improvement over what was currently there and that the hardship was due to the small size of the lot.

Chairman Thompson stated the West Lake Hills Code does not anticipate lots of one-third acre.

BOA MEMBER WEBSTER MADE A MOTION, SECONDED BY BOA MEMBER NOBLE, TO APPROVE THE TWO VARIANCES, SUBJECT TO THE DRAWING WHICH WAS PRESENTED TO BOA, WITH THE IMPERVIOUS COVER TO 40%. MOTION PASSED BY UNANIMOUS (5-0) VOTE.

11. Public Hearing: Variance to exceed the 30% maximum impervious cover for addition of four parking spaces for Espirit Office Building at 515 Capital of Texas Hwy. Current impervious cover is 31.3% and applicant is requesting 31.8%. Applicant Donald Small. All persons wishing to speak for or against shall be heard.

Donald Small was present to answer questions relating to his variance request for additional parking. Mr. Small stated that he wishes to modify the original site plan by converting two existing parallel parking spaces into a six car perpendicular parking area by the extension of the paving by approximately 10'. The parking space extension area (10' X 55') will be paved with water pervious concrete pavers, which will not affect any trees and will not require any significant changes to the existing grades or affect drainage. Any affected landscaping will be relocated or replaced to conceal the paving extension. Mr. Small stated that his hardship was the fact that the original site plan design incorrectly anticipated the parking requirements of the building.

Chairman Thompson opened the Public Hearing stating all persons wishing to speak for or against the proposed variance request would be heard.

BOA MINUTES  
4/14/99  
PAGE FIVE

Steve Carter, property owner at 5816 Bee Cave Road (check), stated that his property had a drainage problem due to runoff of the property at 515 Capital of Texas Hwy. He asked that the proposed parking improvements not add to the runoff problem.

Mr. Small responded that cleaning out the detention pond might alleviate the runoff problem.

12. Reconvene Meeting: Consider variance to exceed the 30% maximum impervious cover for addition of four parking spaces for Espirit Office Building at 515 Capital of Texas Hwy. Current impervious cover is 31.3% and applicant is requesting 31.8%. ZAPCO report.

There being no one else present to speak for or against the proposed variance, Chairman Thompson closed the Public Hearing and opened the Regular Meeting.

ZAPCO Chairperson Ivester stated that ZAPCO discussed the possibility of having fewer spaces and the removal of other impervious cover. They recommended that the spaces be reduced to compact size and that an arborist be consulted before the Council meeting to declare whether the proposal would harm the tree. (The City received a letter from the Tree Clinic which stated that the live oak should survive the construction of the new parking areas with no long term damage.)

Mr. Small stated that his request has been reduced from 581 sq. ft. to 481 sq. ft., from 31.8% impervious cover to approximately 31.3% impervious cover.

A MOTION WAS MADE BOA MEMBER VINE, SECONDED AND AMENDED BY CHAIRMAN THOMPSON, TO APPROVE THE VARIANCE TO EXCEED THE 30% MAXIMUM IMPERVIUS COVER FOR ADDITION OF FOUR COMPACT PARKING SPACES FOR ESPIRIT OFFICE BUILDING AT 515 CAPITAL OF TEXAS HWY, TO 31.3%, AND THAT IN THE EVENT CONSTRUCTION RESULTS IN THE DEATH OF THE TREE, A REPLACEMENT TREE WITH LIKE CALIPER INCHES WILL BE PLANTED; AND ALSO REQUIRE THE PROPERTY OWNER TO CLEAN THE DETENTION POND TO TNRCC REQUIREMENTS. BOA MEMBERS VINE, NOBLE, WEBSTER, AND CHAIRMAN THOMPSON VOTED FOR THE MOTION, AND BOA MEMBER MCELROY VOTED AGAINST. MOTION WAS DENIED WITH A (4-1) VOTE (REQUIRED A 5-0 VOTE TO PASS.).

BOA MINUTES  
4/14/99  
PAGE SIX

13. Adjournment.

CHAIRMAN THOMPSON ADJOURNED THE MEETING AT 8:30 P.M. AFTER MOTION MADE BY BOA MEMBER VINE AND SECOND BY BOA WEBSTER.

\_\_\_\_\_  
DWIGHT THOMPSON, CHAIRMAN

ATTEST:

\_\_\_\_\_  
Janet Rogers, City Secretary

# City of West Lake Hills

## MINUTES OF A ZONING & PLANNING COMMISSION (ZAPCO) REGULAR MEETING

Wednesday, May 20, 2026 at 6:30 PM

1. **Call to Order: Chair Robert Meisel**

- a. Meeting begins at 6:32pm
- b. Roll Call
  1. Chair Robert Meisel: Present
  2. Vice-Chair Jim Pledger: Present
  3. Commissioner Karen Bartoletti: Absent
  4. Commissioner Patrick Stewart: Present
  5. Commissioner Laurie Maccini: Present
  6. Commissioner: Vacant Seat

2. **Citizen Communications:**

- a. No comments

3. **Consent Agenda:** The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these item/s unless a Commission Member or citizen so requests.

- a. Approval of the April 15, 2026 Zoning and Planning Commission Minutes.
- b. Approval of the May 4, 2026 Zoning and Planning Commission Workshop minutes
- c. Report of previous cases ZAPCO acted on by BOA/City Council.

**Action:** Commissioner Pledger moves for approval of the Consent Agenda

- i. Commissioner Stewart Seconds
- ii. Motion carries unanimously (3-0)

4. **Public Hearing 614 Westbrook Drive.** Discuss and make a recommendation to the Board of Adjustment on proposed variance to allow a four-foot encroachment into the 30-foot rear setback (Section 22.03.276 & Section 22.03.281)

Applicant: Steven Campos, Contemporary Tile Design LLC

- a. **Staff Report:** Director Bills spoke about the previous approved variance at the property. The requested variance would follow the building line of the previously approved encroachment
  - 1. Commissioner Maccini asked about the height of the structure
    - 1. Director Bills explained that the applicant was present and could address design questions.
- b. **Public Comment:**
  - 1. Steven Campos– Applicant
    - 1. Spoke in favor of variance request
- c. **Discussion:**
  - 1. Commissioner Stewart asked the applicant which CRZ the encroachment would avoid.
    - 1. The applicant indicated the proposed design would leave the ¼ critical root zone undisturbed.
  - 2. Commissioner Maccini inquired about if drainage from the accessory structure would impact the tree.
    - 1. The applicant stated that the drainage would not flow toward the tree.
  - 3. Commissioner Pledger asked about the hardship of the variance
    - 1. The applicant stated the desired size of the accessory structure would only be feasible if the encroachment were granted.
  - 4. Chair Meisel asked if there were any further encroachment into the setback further than the pool.
    - 1. The applicant indicated the structure would not encroach further into the setback than the pool.
- d. **Action:** Commissioner Stewart moves to recommend that the variance be forwarded to the Board of Adjustment with a recommendation of **approval**.
  - 1. Commissioner Pledger seconds
  - 2. Motion **carries** 3-0

**The recommendation will be forwarded to the June 10th Board of Adjustment meeting**

- 5. **Public Hearing: 406 Redbud Trail.** Discuss and consider a recommendation to Board of Adjustment on proposed variances:
  - a. To reduce the 50-foot front building setback along Skyline Drive to use the previously platted 35-foot building line (Section 22.03.275 and Section 22.03.281)
  - b. To allow grading up to 6 feet on slopes of greater than 35% where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Bhavani Singal, Workshop No 5

**Note: Agenda items 5 and 6 are related to the same proposed project but are separate items due to the division of City Council and Board of Adjustment authority over the requested code sections in the variance requests. Since both items require ZAPCO recommendation, the items were discussed concurrently and recorded in the minutes for item 5.**

**a. Staff Report:**

1. Director Bills describes the history of the variances at the property and the proposed additional variance requests related to grading, setback encroachment, and tree removal.
2. Commissioner Maccini asks if the previous variance of the tree removal was still active.
  1. Director Bills explains that variance requests expire after 1 year if the applicant does not act on the variances, but that since the applicants applied for a building permit within the expiration window and have been actively in the review process that the 2024 variances have not expired.
3. Commissioner Stewart asks if the building footprint has changed since the last variance request.
  1. Director Bills indicates that the square footage has been decreased slightly.

**b. Public Comment:**

1. Bhavani Singal: Applicant
  1. Spoke in favor of the variance request
2. Chris Gunter: Neighbor
  1. Spoke in opposition to the variance request
3. Steve Barron: Neighbor
  1. Spoke in opposition to the variance request
4. Gale Brundrett: Neighbor
  1. Spoke in opposition to the variance request
5. Ashwini Raja – Owner
  1. Spoke in favor of the variance request

**c. Discussion:**

1. Commissioner Stewart asks the applicant if pier and beam has been considered
  1. The applicant indicated that they spoke with their structural engineer to find a solution for the home, and pier and beam was not determined to be an ideal solution
2. Commissioner Pledger shares that the previous plans should work with the previously approved variances and minimize the need for variances

3. Chair Meisel shares their belief that the structure is oversized for the lot
4. Commissioner Stewart indicates that there may be a fundamental problem with the design when further deviations is required in addition to the previously-granted variances.
- d. **Action:** Commissioner Pledger moves to recommend the variance request be forwarded to the Board of Adjustment with a recommendation of **denial**.
  1. Commissioner Stewart seconds
  2. The motion **carries** (3-0)

**The recommendation will be forwarded to the May 13<sup>th</sup> City Council meeting**

6. Public Hearing: **406 Redbud Trail**. Discuss and make a recommendation to City Council on proposed variances:
  - a. To allow for the removal of a 17-inch cedar and 14-inch live oak (Section 22.03.304(a)(4))

Applicant: Bhavani Singal, Workshop No. 5

**Note: Agenda items 5 and 6 are related to the same proposed project, but are separate items due to the division of City Council and Board of Adjustment authority over the requested code sections in the variance requests. Since both items require ZAPCO recommendation, the items were discussed concurrently and recorded in the minutes for item 5.**

- a. **Action:** Commissioner Pledger moves to forward the variance request to City Council with a recommendation of **denial**.
  3. Commissioner Maccini seconds
  4. The motion **carries** unanimously (3-0)

**The recommendation will be forwarded to the June 10<sup>th</sup> City Council meeting**

7. Public Hearing: Discuss and consider action to make a recommendation to City Council on amendments to the following Code of Ordinances Sections:
  - a. General Provisions – Section 1.01.003
  - b. Administration and Personnel – Section 2.02.031
  - c. Administration – Section 20.02.055
  - d. Building Regulations – Article 22.03
  - e. Subdivision – Sections 36.01.003-004, 36.01.007, 36.01.009, 36.01.012-013
  - f. Zoning – Sections 38.03.032-038, 38.04.031-032, 38.04.034-035, 38.05.032-037, 38.05.098

**a. Staff Report:**

- a. Director Bills and Mayor Vaughan briefed ZAPCO on code changes related to building and development and adjustments to the proposed changes made in response to ZAPCO feedback from the April ZAPCO meeting and May ZAPCO workshop.
- b. Commissioner Pledger asks about primary and secondary street setbacks as they apply to buildings and fences
  - 1. A potential issue was identified allowing solid walls to be placed closer than intended due to the transparency requirement of fences being tied to the building setback and not the fence setback. Mayor Vaughan indicated the proposed changes would be revised accordingly.
  - ii. Commissioner Pledger points out grammar mistakes and suggests that it be corrected for clarity on page 9 of the amendments.
  - iii. Commissioner Maccini shares concerns about the front yard fence setbacks and the screening of the front yard fences with bushes as a hazard for parking in the front of houses.
  - iv. Commissioner Pledger urges the Mayor to add clarification directly within the body of the Code of Ordinances regarding which project types are exempt from permitting.
    - 1. Commissioner Stewart suggests it may be better to simply have a page on the City website clarifying which projects require permitting and which do not.

**8. Adjournment**

Chair Meisel adjourns the meeting at 8:10pm

APPROVED:

\_\_\_\_\_

Robert Meisel, Chair

ATTEST:

\_\_\_\_\_

Joel Sherrouse, Development Coordinator

These minutes were approved on \_\_\_\_\_, 2026.

Exhibit A

614 Westbrook Drive—Setback Variances

Applicant's Findings of Fact

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.

Due to the location of the oak tree and we need to place the structure as far as possible to the rear setback. Without this space we will not be able to achieve the desired design and functionality of the outdoor kitchen. A significant amount of time and monetary resources have been invested into the design and engineering of the structure. As well as fulfilling the original intent of the space on the property.

2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.

The location of the outdoor kitchen will be occupying an open space on the northwestern corner of the existing pool deck/patio. It will finish off towards the west side of the property line well within the setback line limits, and on the inside of an existing drainage berm. No removal of any existing trees or extensive grading of the terrain will be required for construction. As well as staying outside of the 1/2 CRZ of an oak tree.

3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

Due to the position of the oak tree I've mentioned the variance is required for the construction of the kitchen area. With the design of the structure this space is required for the functionality of the space. And all proper measures have been taken to protect the existing flora from harm.

4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

We will stay within this 4ft variance with the build. We are lining up with the existing pool edge which already lands within the building setback. A variance was granted for this in the original permitting for the pool construction..

5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.

An existing variance already exists for the pool, which we will be lining up the edge of the

structure to. So it will look natural to the existing building and exterior conditions of the property. It shall not cause any interference with neighbors drainage patterns, or the communities intent to protect the beauty and plant diversity of West Lake Hills.

6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.

The location of the outdoor kitchen area is on the rear side of the property and doesn't interfere with any line of site of neighbors. It will actually add to the aesthetics of the property and neighborhood as a whole.



# AGENDA REPORT

<b>Meeting Date:</b>	June 10, 2026	<b>Item Number:</b>	6
	Building & Development		
<b>Department:</b>	Services		
<b>Prepared By:</b>	Jennifer C. Bills	<b>Cost / Budget:</b>	None
<b>Exhibits:</b>	See Attached	<b>Source of Funds:</b>	N/A

### Subject

**406 Redbud Trl:** Discuss and take action on proposed variances:

- a. To allow grading up to 6 feet on slopes of greater than 35%, where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1).

Applicant: Bhavani Singal, Workshop No 5

### Recommendation

Discuss and consider action on if the following conditions are fulfilled:

The applicant has established by competent evidence that:

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.
2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.
4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

The Board of Adjustments, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria listed in the variance criteria in the report.

The findings of fact as alleged by the applicant are attached in Exhibit A.

This item was reviewed by the Zoning and Planning Commission on May 20, 2026 and the following criteria used:

1. The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners’ enjoyment thereof.

ZAPCO recommended **denial** of all proposed variances by a vote of 3-0 (Attachment 6).

## Discussion

### Property Information, Zoning & Site Characteristics:

Owner: 406 Redbud LLC

Legal Description: Lot 8b Skyline Terrace Sec 1 Resub Lots 8, 8a & 9

Lot Size: 1.0006 acres

Zoning: R-1

Wastewater: On-site Sewage Facility (OSSF)

The properties surrounding the subject property are zoned R-1-One-Family.

### Current Request:

The applicant has been working on various options for development on the lot (detailed below). The current request (Attachment 1):

- 3 closed cut locations on 35% or greater sloped areas:
  - Portion of driveway will require 4' excavation in the 35% or greater slope (126.54 sf)
  - Pool will require max of 6' closed cut in 35% or greater slope (42.85 sf)
  - Living room will require a maximum of 6 feet of closed cut in slopes of 35% or greater (17.85 sf).

In a related case before City Council:

- Approval to pay a fee in lieu of planting approximately 285 caliper inches of replacement trees due to the rocky nature of the site. The associated tree removal includes trees that may be moved by right or those that were granted variances in 2024. The applicant plans to landscape where they can and plant some trees, but they do not have a final landscaping plan.

The request that was reviewed at ZAPCO:

- To reduce the 50-foot front building setback along Skyline Drive to use the previously platted 35-foot building line (Section 22.03.275 and Section 22.03.281)
- To allow grading up to 6 feet on slopes of greater than 35%, where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1).
- To allow the removal of a 17-inch cedar and 14-inch live oak (Section 22.03.304(a)(4)).

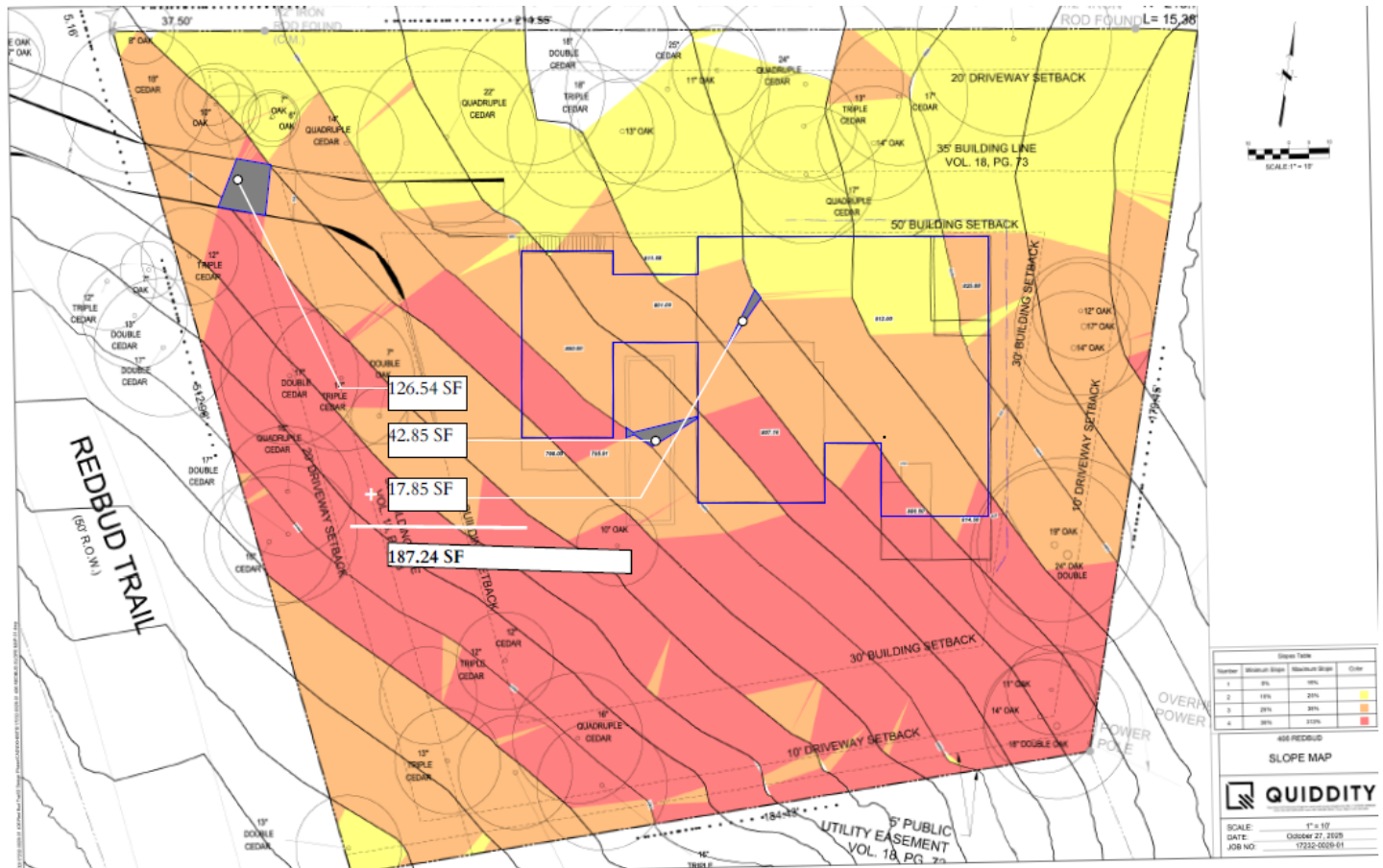
### Background & Analysis:

The applicant is proposing to build a new residential house on an undeveloped lot. Because the lot has never been developed, it contains significant tree cover and undisturbed hillside terrain. The property was granted three variances at the June 12, 2024, City Council/BOA meeting:

- 1) to allow the driveway to exceed the 6-foot height limit to 10 feet,
- 2) to exceed the closed fill to 10 feet where 6 is the maximum, and
- 3) to remove 8 trees 14 inches or greater.

The new construction and OSSF plans have been submitted and have been through two rounds of review. One of the outstanding issues is areas of greater than 35% slope where grading is proposed. The applicant requested additional variance to the cut and fill in these areas at the October 15, 2025, ZAPCO meeting (<https://westlakehillstx.portal.civicclerk.com/event/522/files/agenda/1561>). Due to the feedback at that

meeting, the applicant requested a postponement to provide additional information for their requests. Since that meeting, the applicant has been exploring different options to address the site constraints.



(Attachment 3 Proposed Site)

## Site Disturbance deferral to Drainage and Erosion Control Design Manual

### Code Requirements:

- Drainage and Erosion Control Design Manual Section 7.4.1—Cut/Fill Limits  
 In order to reduce stormwater runoff, resulting in erosion, sedimentation and conveyance of nonpoint source pollutants, the layout of the street network, lots and building sites shall, to the greatest extent possible, be sited and aligned along natural contour lines, and shall minimize the amount of cut and fill on slopes in order to minimize the amount of land area disturbed during construction. The maximum cut and fill limits are shown in Table 7-1.

**Table 7-1: Maximum Cut and Fill Limits**

Slope	Open Cuts and Fills	Closed Cuts	Closed Fill
0 - 15%	3 feet	20 feet	6 feet
15 - 25%	1 foot	15 feet	6 feet
25% - 35%	0 feet	10 feet	6 feet
> 35%	0 feet	0 feet	0 feet

**Table 7-1: Maximum Cut and Fill Limits**

Slope	Open Cuts and Fills	Closed Cuts	Closed Fill
0 - 15%	3 feet	20 feet	6 feet
15 - 25%	1 foot	15 feet	6 feet
25% - 35%	0 feet	10 feet	6 feet
> 35%	0 feet	0 feet	0 feet

**Request:**

To grade 6 feet on slopes of greater than 35%, where no grading is allowed. The variance submittal includes an exhibit showing where the footprint of the proposed residence is located on slopes of greater than 35%, but does not include the extent of the grading in those areas.

**Public Comments:**

As of the date of the staff report, three spoken and two emailed comments opposing the variances were received at the May 20, ZAPCO meeting (Attachment 6 & 7).

**Variance Criteria Review:**

Per Section 22.03.511 (c) Procedure and notice, Section 22.03.171: Site disturbance (residential buildings), and Section 22.03.276: Setbacks for accessory structures shall be administered in compliance with the rules established by sections 38.05.031 through 38.05.034.

- Section 38.05.031. Provisions subject to variance.  
Variances may be granted by the board of adjustment to the provisions of this chapter in accordance with the rules and conditions of this division. A variance may not be granted, however, to authorize a change of use. Variances run with the land, but each variance is specific to the project for which it was granted.
- Section 38.05.032. Conditions required for granting variance.  
No variance shall be granted unless the following conditions are fulfilled:
- The applicant has established by competent evidence that:
  - The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.
  - There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
  - There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

- The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.
- The recommendation of zoning and planning commission shall include an analysis of whether:
  - The variance may violate the intent of this chapter or the goals of the city's comprehensive plan.
  - (Reserved).
  - (Reserved).
  - The variance may have an adverse effect on neighborhood properties, or interfere with the respective owners' enjoyment thereof.
- Section 38.0.033. Interpretative criteria.  
The board of adjustment and the zoning and planning commission, in performing their respective duties in reference to applications for variances, may be guided by these interpretative criteria:
  - Variances from the terms of this chapter should be granted sparingly.
  - Deviations from the requirements of this chapter are justified only where the hardship resulting from their application is substantial.
  - Usually, the granting of a variance must be predicated on a finding that the applicant's hardship arises from unusual conditions or circumstances, such as exceptional irregularity of shape or topography, which are peculiar to the parcel of land involved and not shared generally by other parcels in the neighborhood or district, or because no other reasonable alternative is available that will alleviate the unnecessary hardship complained of.
  - Normally, a variance is to be denied if conditions or circumstances relied on for a variance were self-created by the person having an interest in the property in disregard of city regulations.
  - The variance shall not violate the goals of the master plan for the city.
  - The variance shall not have an adverse effect on neighborhood properties or unreasonably interfere with the respective owners' enjoyment thereof.
  - The fact that lots, structures, uses or dimensional conditions on properties or structures within 200 feet of the property involved are, because they are nonconforming or because of previously granted variances, similar to the condition which would be created by the variance requested shall be relevant to, but not determinative of, the granting of the requested variance.
  - See section 22.03.009(c) for variances to enable the efficient use of solar energy devices.
  - When considering variance requests for nonresidential projects, whether granting the variance furthers achievement of the land planning principles set forth in the City's Master Plan, Attachment "B," as codified in the Code of Ordinances.

- Section 38.05.035. Conditions.

The city council can impose, and the zoning and planning commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects, whether, the City can recommend the imposition of reasonable conditions that are necessary to achieve one or more of the land planning principles set forth in the City's Master Plan, Attachment "B", as codified in chapter 28 of the Code of Ordinances.

### **Outdoor Lighting**

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City's Code.

### **Compliance with Adopted International Building Code**

The property and future construction will have to comply with all applicable City codes.

### **Subdivision**

There is no change to the subdivision proposed with this application.

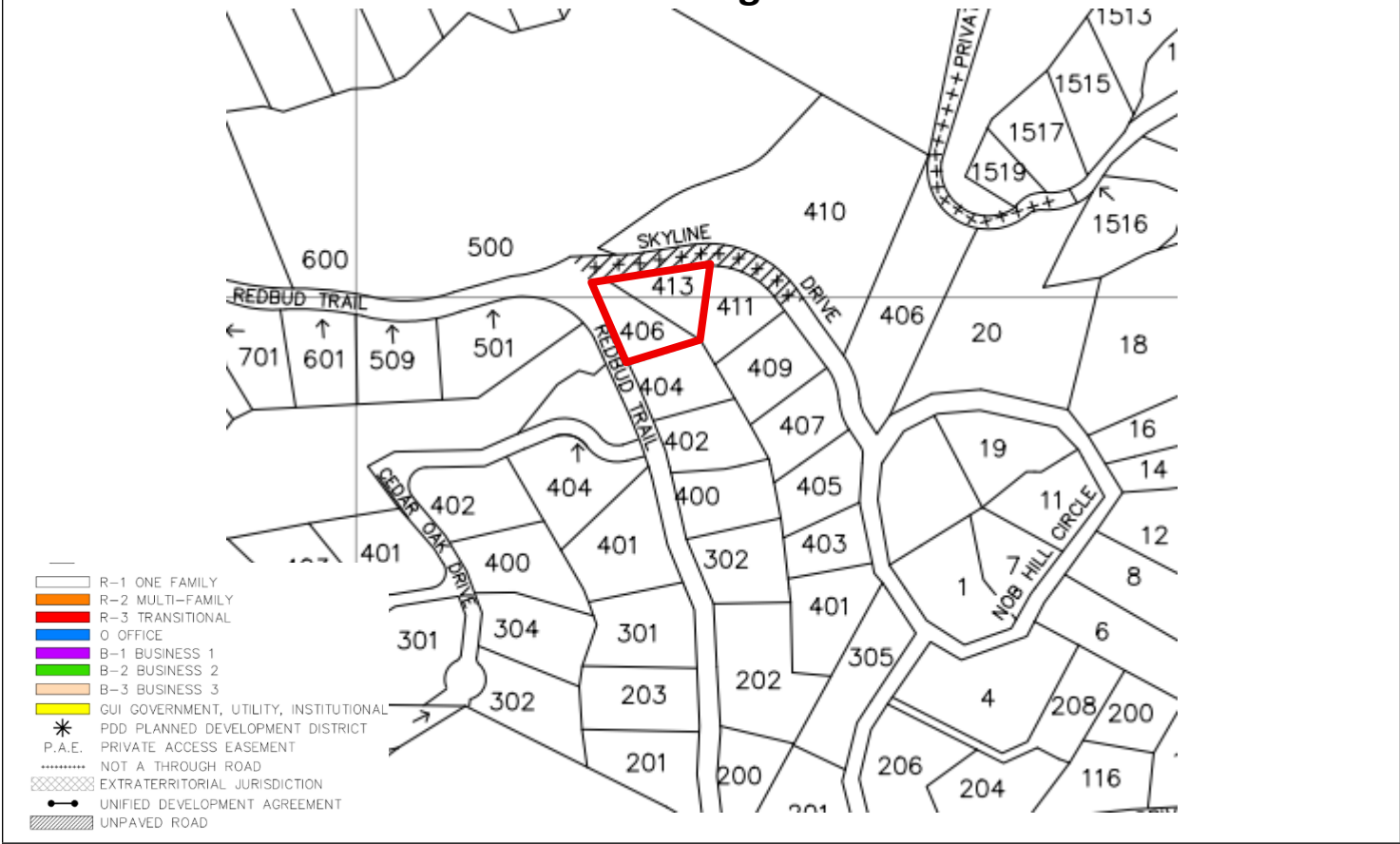
### **Comprehensive Planning Analysis**

The existing and future land use is in conformance with the City of West Lake Hills Master Plan.

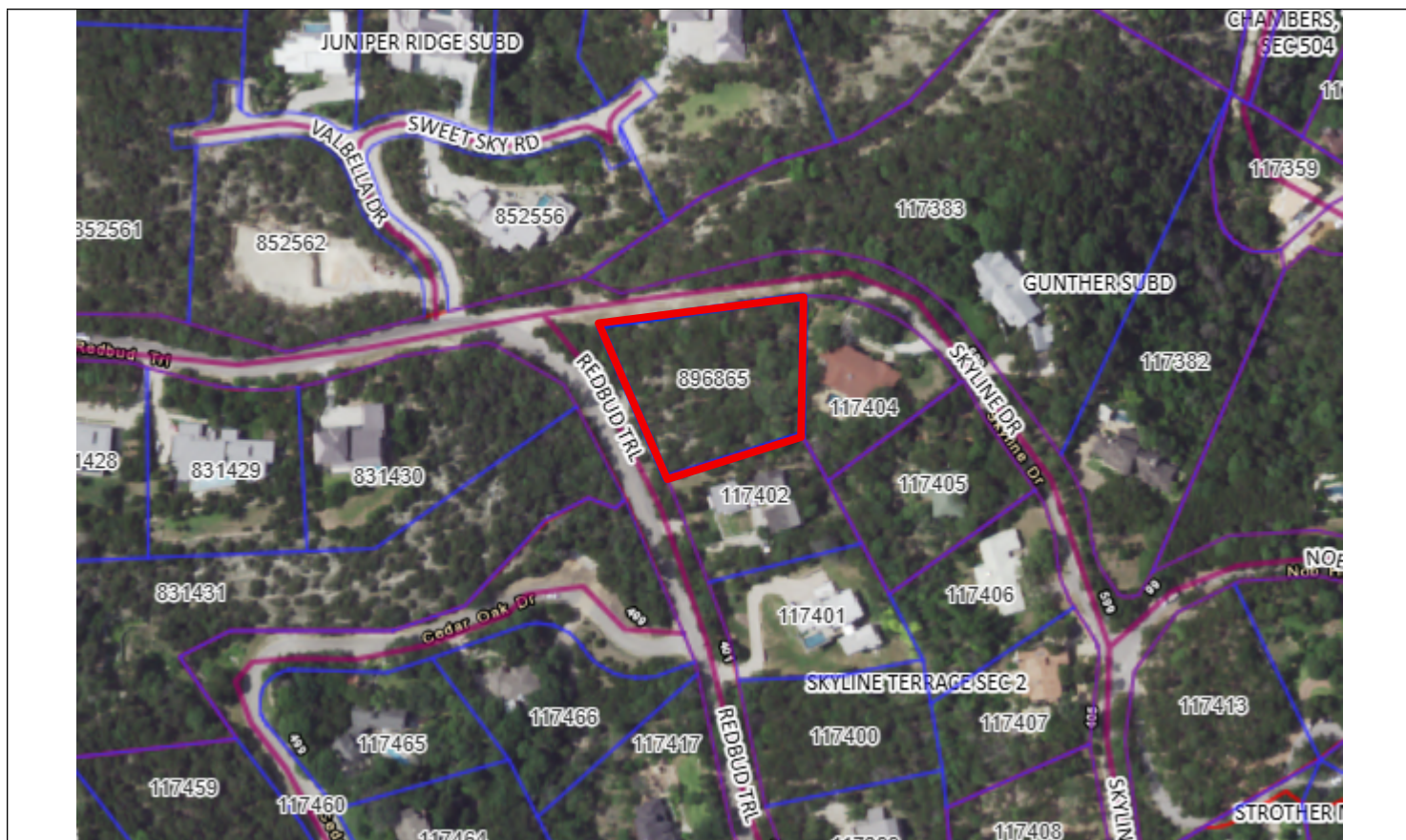
### **Links to Relevant Code:**

- [Section 22.03.170 Site Disturbance \(Excavation, grading or filling\)](#)
- [Drainage and Erosion Control Manual](#)
- [Section 22.03.281 Schedule of Regulations](#)
- [Section 22.03.511 Variances](#)
- [Section 22.03.514 Criteria and process required for granting variance](#)

### Zoning:



**Aerial:**



06/02/2026

Re: 406 Red Bud Trail  
Variance Request

ATTN: Robert Meisel, ZAPCO Chair  
City of West Lake Hills  
911 Westlake Drive  
West Lake Hills, TX 78746

Good afternoon,  
On behalf of the owner's, we are respectfully submitting a request for variances for the property on 406 Redbud Trail.

We have met with Jennifer Bills and the City of West Lake Hills Development staff on multiple occasions to ensure the proposed residence aligns with the intent and spirit of the City's zoning ordinances.

Starting design in September of 2023. Scheduled our first call with the city of Westlake in Jan of 2024 once we had a design direction we wanted to pursue. Quickly soon after we realized we needed a variance in effort to build on the site. The topography was proving challenging after numerous variations and design directions were explored. Our first variance request was submitted in March of 2024 with our site approach from Skyline into our property. After our first meeting we requested for postponement after many neighbors were in opposition of skyline being developed into a road. We came back with a new design proposing driveway access of Red Bud removing the request of license to encroach.

Our improved variance request was to allow driveway up to 10' above natural grade where 6' is the maximum and closed fill of 10' where 6' is max. second request was removal 8 trees 14" or greater. Significant reduction of tree removal request. We proposed a exciting tree mitigation plan that was well received. We were granted the variance on June 12. 2024.

As we continued through our permitting process were realized a slope map was essential to the review process and once received this brought more items to light. We submitted a second variance request on 09/12/2025. In which we requested significant areas of 35% or greater slope to be built upon with closed fill. During the meeting we explored several alternatives—including setback adjustments, pier-and-beam construction, and a reduced building footprint—and have incorporated all three strategies into a revised design that minimizes impact on steep slopes.

Which brings us to our current variance request.

**We are requesting the following variances:**

3 closed cut locations on 35% or greater sloped areas:

- Portion of driveway will require 4' excavation in the 35% or greater slope (126.54 sf)
- Pool will require max of 6' closed cut in 35% or greater slope (42.85 sf)
- Living Room will require max of 6' of closed cut in 35% or greater slope (17.85).

**We also seek approval to pay fee in lieu of** – to mitigate for approx. 285" caliper inches due to rocky nature of the site. (The trees have previously approved for removal.) While we aim to landscape where we can and plant some trees it is hard to confirm at this point how many trees will be planted.

The proposed single-family residence has been thoughtfully designed to harmonize with the site's natural topography and the surrounding community. The current plan reflects careful revisions to meet City development standards while minimizing environmental impact.

The existing slope constraints effectively bisect the buildable area of the lot, creating a practical hardship that limits reasonable development without variance relief. This request is therefore not one of convenience, but of necessity to enable appropriate use of the property. Multiple site configurations were evaluated. The proposed solution was selected as it minimizes variance requests, reduces site disturbance, and balances compliance with functional design.

These measures are consistent with the intent of the City's Drainage and Erosion Control Manual.

For these reasons, we respectfully request approval of the proposed variances to allow development of a residence that is both contextually appropriate and sensitive to the natural character of the site.

Sincerely,

Bhavani Singal

Principal Architect  
Workshop No.5

ADDRESS: 406 REDBUD TRAIL  
AUSTIN, TEXAS 78746  
ORDERED BY: ASHWINI RAJAH

THIS PROPERTY DOES NOT LIE WITHIN THE  
100 YEAR FLOOD PLAIN AS ESTABLISHED  
BY THE U.S. DEPT. OF HOUSING & URBAN  
DEVELOPMENT.  
PANEL NO. 48453C 0445 X  
MAP REVISION: 01/22/2020  
ZONE X

BASED ONLY ON VISUAL EXAMINATION OF MAPS.  
MEASUREMENTS OF TRIM MAPS PRESENT EXACT  
DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION  
WAS BEYOND THE SCOPE OF THIS SURVEY

NOTE: ELEVATIONS ARE BASED ON NGS DATA SHEET A09947  
ELEVATION=754.6 FEET NAVD83 2001 ADJ.  
NOTE: ALL ELEVATIONS ARE MEASURED IN FEET (').

LEGEND	
T.B.M.	TEMPORARY BENCH MARK
E.A.	EDGE OF ASPHALT
C.R.	CENTERLINE OF ROAD
N.G.	NATURAL GROUND
⊙	MANHOLE
⊕	FIRE HYDRANT

NOTE: MAY BE SUBJECT TO DEED RESTRICTIONS AND/OR  
ADDITIONAL GOVERNMENTAL BUILDING REQUIREMENTS.  
NOTE: THIS SURVEY WAS PREPARED WITHOUT A TITLE COMMITMENT.  
OTHER EASEMENTS AND/OR BUILDING LINES MAY AFFECT THIS TRACT.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE  
ON THE GROUND, THAT THIS PLAT CORRECTLY  
REPRESENTS THE FACTS FOUND AT THE  
TIME OF SURVEY AND THAT THERE ARE NO  
ENCROACHMENTS APPARENT ON THE GROUND,  
EXCEPT AS SHOWN HEREON. THIS SURVEY IS  
CERTIFIED FOR THIS TRANSACTION ONLY.

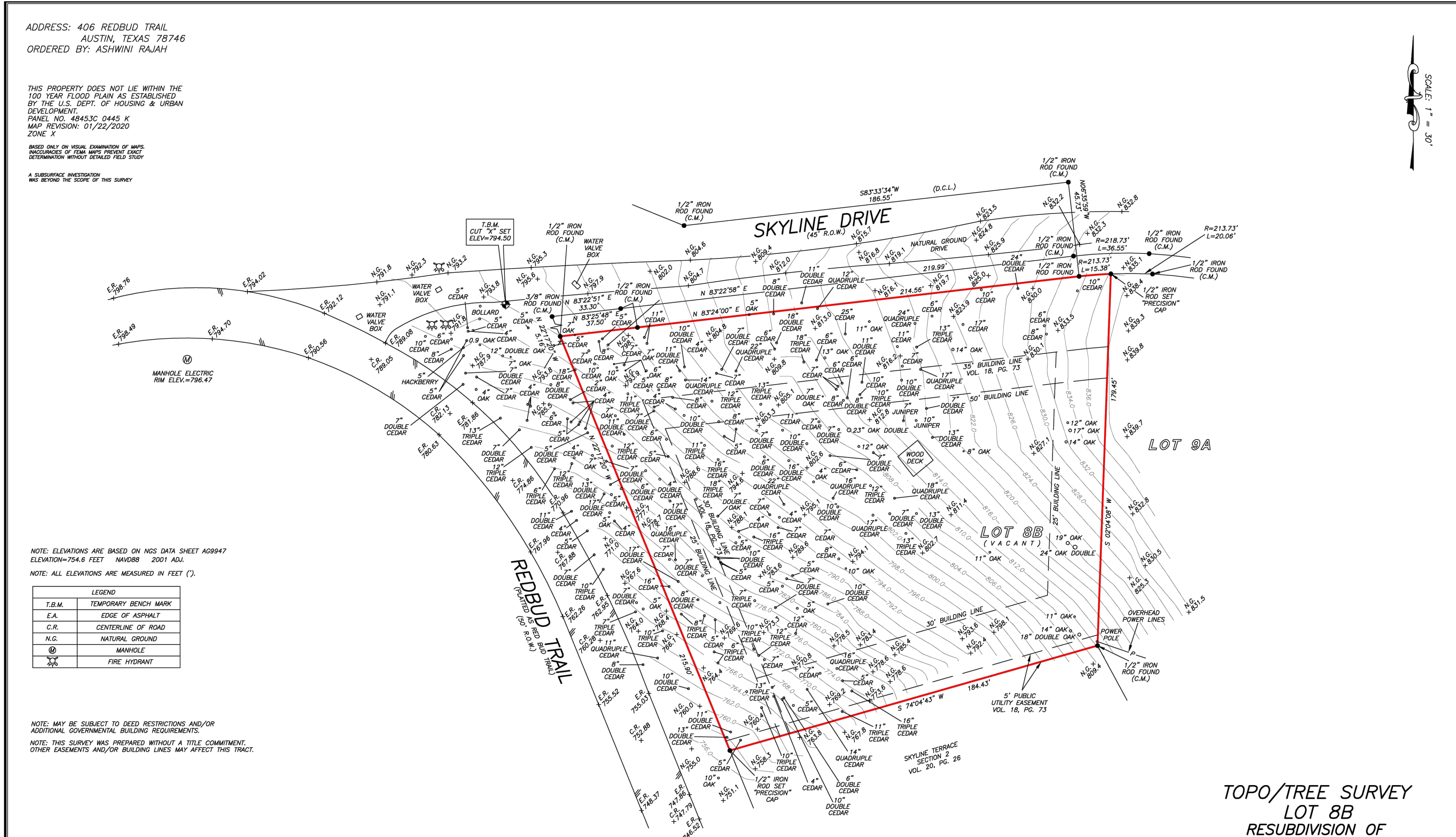
JAMES P. WALKOVAK  
PROFESSIONAL LAND SURVEYOR  
NO. 5971  
JOB NO. SA2023-01509  
JUNE 13, 2023  
REVISED: OCTOBER 24, 2023  
REVISED: NOVEMBER 7, 2023



FOR REFERENCE ONLY  
NOT TO SCALE  
LARGE SCALE DRAWING TO  
BE DELIVERED

TOPO/TREE SURVEY  
LOT 8B  
RESUBDIVISION OF  
LOTS 8, 8A AND 9  
SKYLINE TERRACE, SECTION 1  
ACCORDING TO THE MAP OR PLAT THEREOF RECORDED  
IN DOCUMENT NO. 201700312 OF THE OFFICIAL PUBLIC  
RECORDS OF TRAVIS COUNTY, TEXAS

D.C.L. = DIRECTIONAL CONTROL LINE  
RECORD BEARING: DOC. NO. 201700312, T.C.O.P.R. DRAWN BY: RE/RC/RE



No.	Date	REVISIONS

**QUIDDITY**  
PROFESSIONAL LAND SURVEYORS  
1800 LAND SURVEY  
10000 W. LBJ Fwy, Suite 200, Round Rock, Texas 78665 • 512.411.9493

DESIGNED BY: ECV  
CHECKED BY: ECV  
DRAWN BY: CM

SCALE: \_\_\_\_\_  
DATE: JUNE 23, 2025  
JOB NO.: 17232-0029-01



406 REDBUD TRAIL  
WEST LAKE HILLS, TEXAS 78746

**EXISTING CONDITIONS**

TYPE III DRAINAGE AND WATER QUALITY DESIGN

SHEET NO. **2**  
OF 18

2025 - 12301

## Redbud Trail Variance Timeline

March - May, 2024: Variance Requests Presented

June 12, 2024: Approved Variance Requests

September 12, 2025: Variance Requests Presented

Today: Current Requests



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AUSTIN, TEXAS 78756

512.710.9705

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## Redbud Trail Variance Timeline

### March - May, 2024: Variance Requests Presented

1. Per Request Letter March 4, 2024:
  - License to Encroach
2. Per ZAPCO meeting, April 17, 2024
  - a. The removal of nine (9) trees with trunk diameters of 14 inches or greater (Section 22.03.304)
  - b. Excavation, grading or filling greater than 18” in setbacks (Section 22.03.170 (f))
  - c. Closed cut of 21 feet where maximum allowed is 15 feet (7.4.1 of the Drainage and Erosion Control Manual)



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# Redbud Trail Variance Timeline

## June 12, 2024: Approved Variance Requests

Per Board of Adjustments Regular Meeting June 12, 2024

1. The removal of eight (8) trees with trunk diameters of 14 inches or greater (Section 22.03.304 of the West Lake Hills Code)
2. Closed fill of 10 feet, where the maximum allowed is 6 feet (7.4.1 of the Drainage and Erosion Control Manual)
3. Driveway with an elevation change of greater than 6 feet from natural grade (Section 22.03.175(e)(1))



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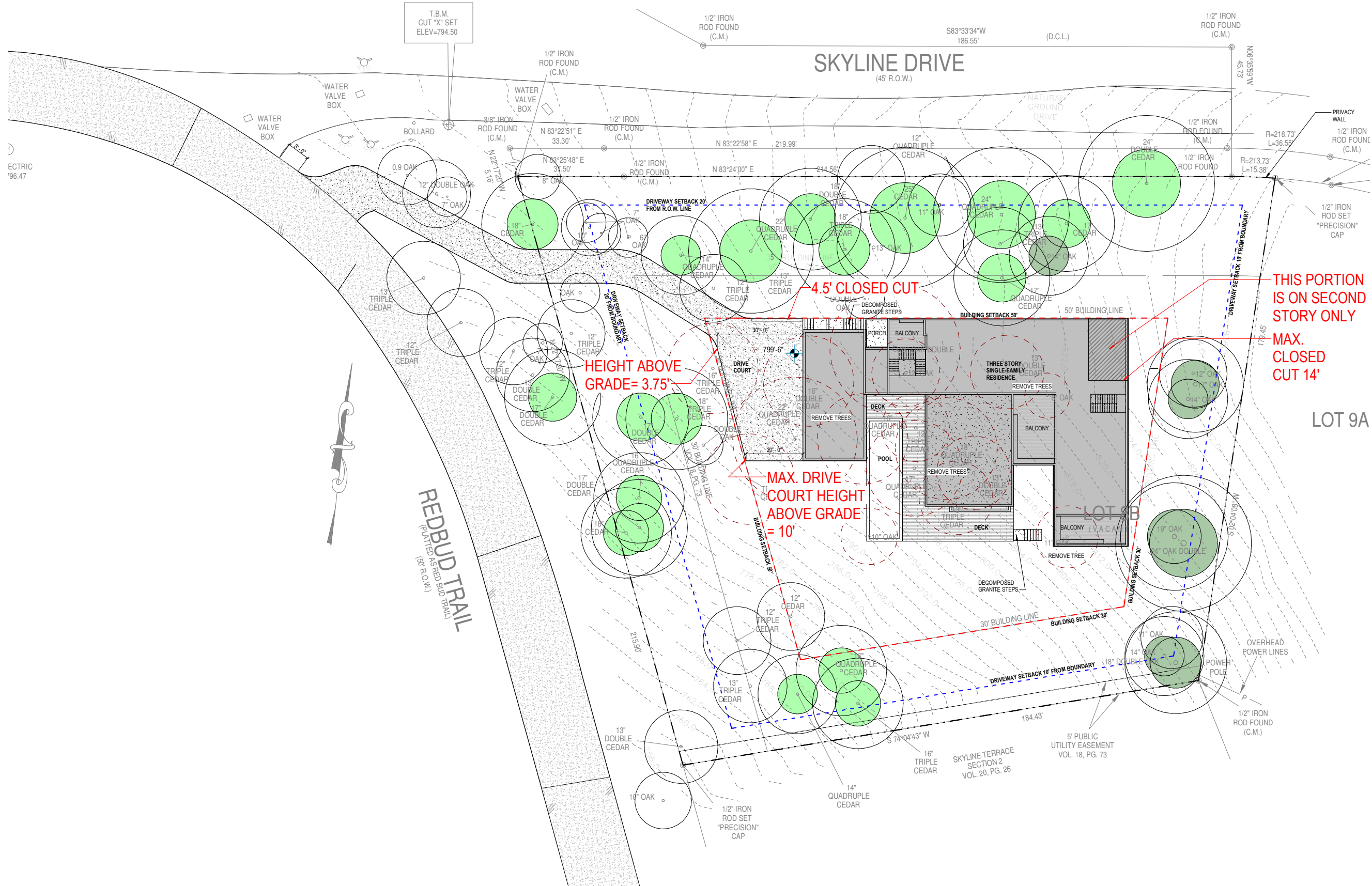
# June 12, 2024: Approved Cut and Fill Variances

2. Closed fill of 10 feet, where the maximum allowed is 6 feet (7.4.1 of the Drainage and Erosion Control Manual)

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026



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# Redbud Trail Variance Timeline

## September 12, 2025: Variance Requests Presented

Per Board of Adjustments Regular Meeting September 12, 2025

1. Increased cut and fill allowances, at the respective slopes:

a) 25-35%: 15' of cut and 10' of fill

b) >35%: 10' of cut and 10' of fill.

(7.4.1 of the Drainage and Erosion Control Manual)



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## Today: Current Requests

### 3 closed cut locations on 35% or greater sloped areas:

- Portion of driveway will require 4' excavation in the 35% or greater slope (126.54 sf)
- Pool will require max of 6' closed cut in 35% or greater slope (42.85 sf)
- Living Room will require max of 6' of closed cut in 35% or greater slope (17.85)



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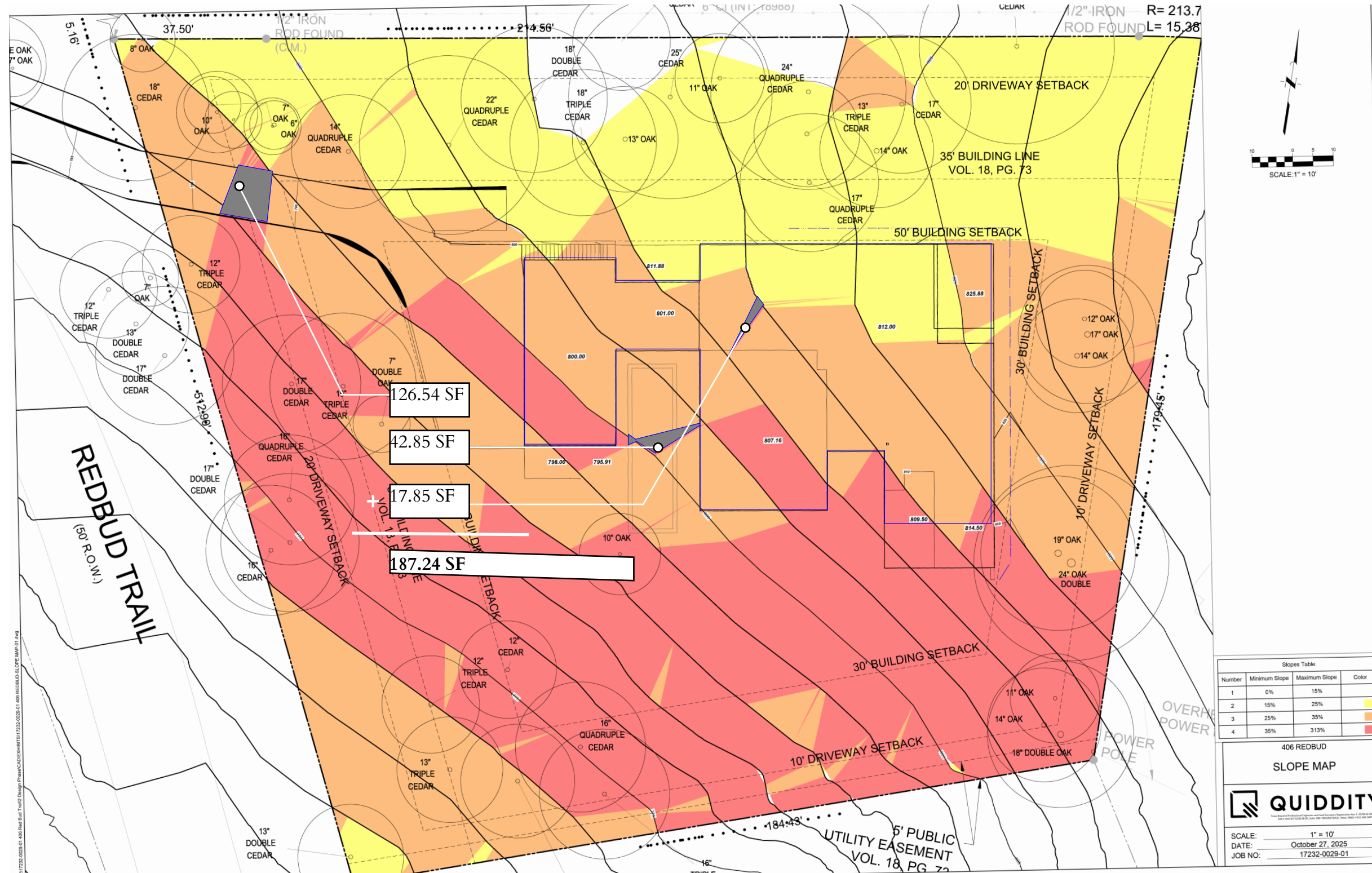
# Cut and Fill Variances Requested

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

- Portion of driveway will require 4' excavation in the 35% or greater slope (126.54 sf)
- Pool will require max of 6' closed cut in 35% or greater slope (42.85 sf)
- Living Room will require max of 6' of closed cut in 35% or greater slope (17.85)



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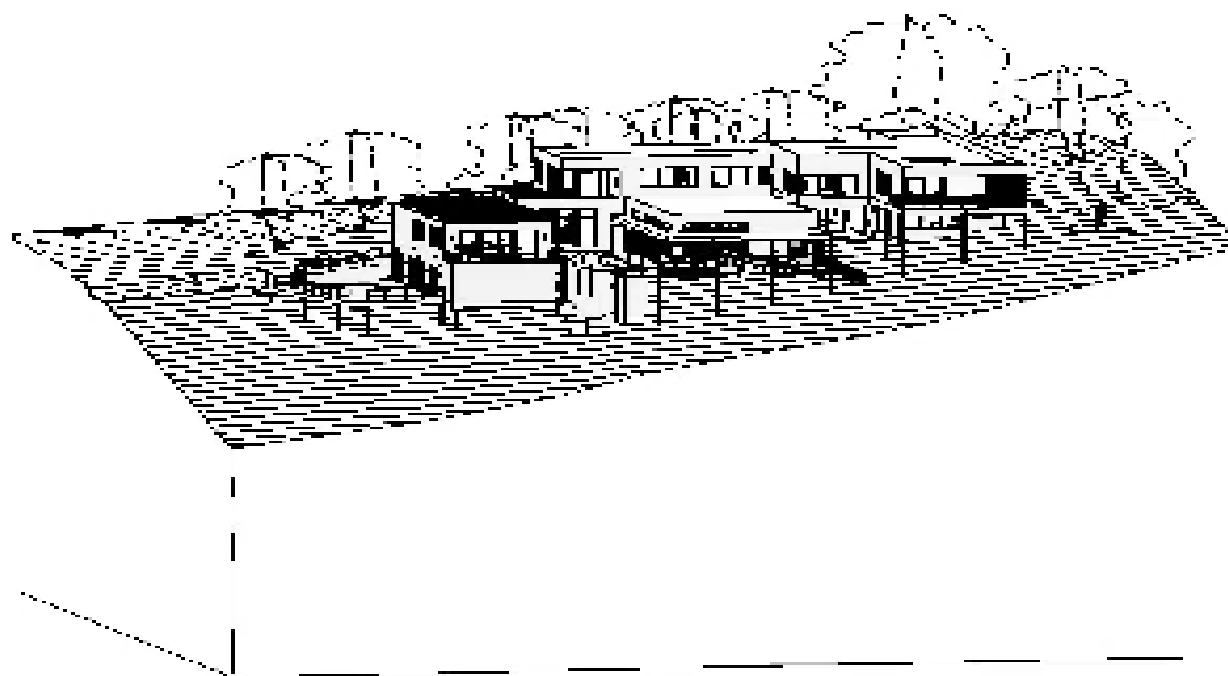
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406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026



53



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# Site Comparison

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

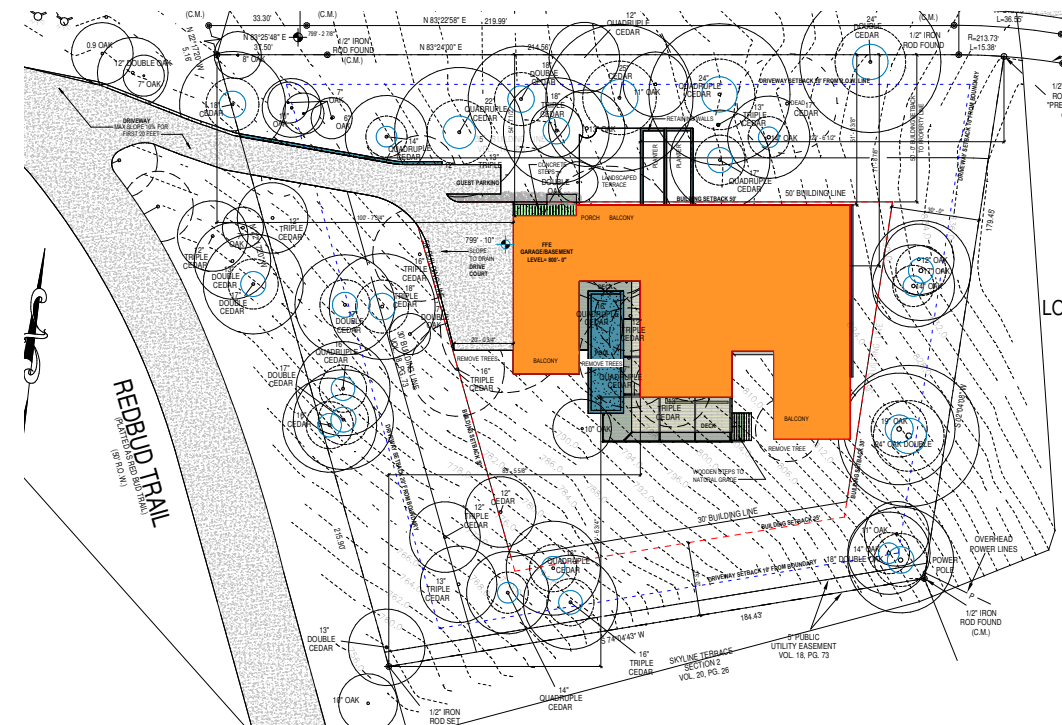
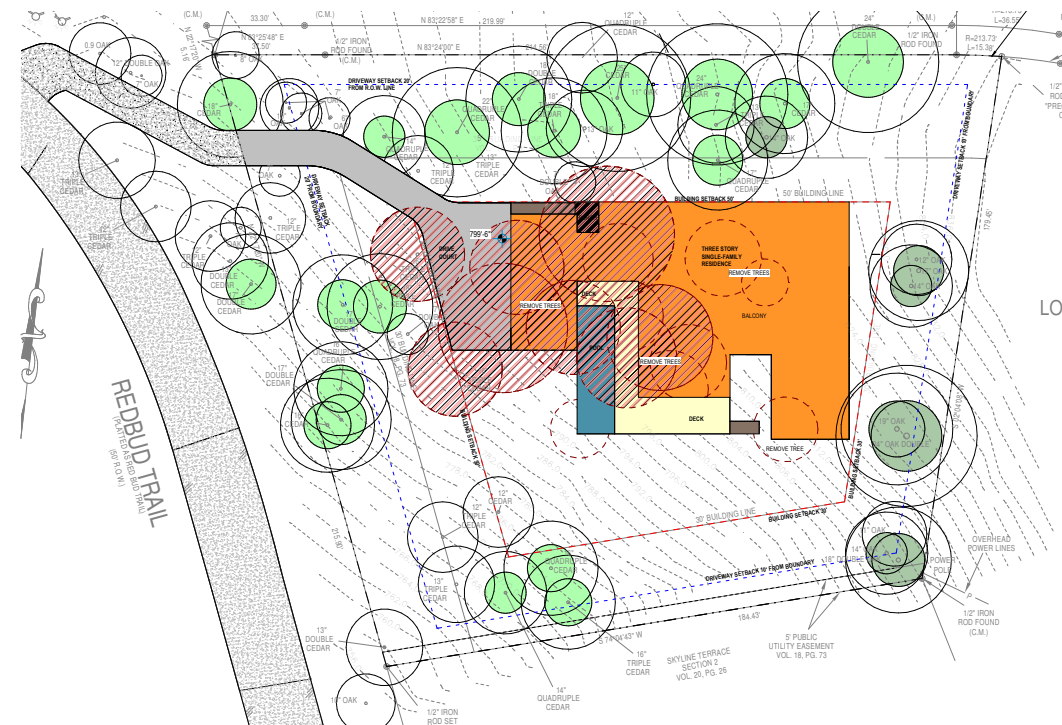
06.02.2026

## Previous Site Information

SPACES	AREAS
BUILDING FOOTPRINT	6470 SF
COVERED PORCH	80 SF
COVERED DECK	906 SF
DRIVEWAY	2133 SF
DECOMPOSED GRANITE STEPS	
COUNTED AT 50%	126* .5= 63 SF
POOL	553 SF
TOTAL IMPERVIOUS COVERAGE	10,205 SF
LOT SIZE	43,584 SF
IMPERVIOUS COVERAGE %	23.41%
TOTAL CONDITIONED AREA	9,626 SF

## Proposed Site Information

SPACES	AREAS
BUILDING FOOTPRINT	6562 SF
COVERED PORCH	194 SF
COVERED DECK	524 SF
DRIVEWAY	2133 SF
STEPS	118 SF
POOL	497 SF
TOTAL IMPERVIOUS COVERAGE	10,028 SF
LOT SIZE	43,584 SF
IMPERVIOUS COVERAGE %	23.0%
TOTAL CONDITIONED AREA	9,074 SF



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# June 12, 2024: Approved Tree Mitigation Plan.

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

-  PROTECTED TREES TO REMAIN
-  PROTECTED TREES TO BE REMOVED
-  1/2 CRZ OF TREES > 14" DIAMETER
-  PROPOSED NEW 3" TREES FOR MITIGATION
-  PROPOSED UNDERSTORY NATIVE 20 GALLON SHRUB PLANTINGS
-  RAIN HARVESTING

## TREE TABLE

TREES GREATER THAN 14" = 34 EXISTING ON THE SITE

- # TO BE REMOVED = 8
- 23" DOUBLE OAK (FAIR CONDITION PER ARBORIST)
  - 16" DOUBLE CEDAR
  - 22" QUADRUPLE CEDAR
  - 16" QUADRUPLE CEDAR
  - 17" QUADRUPLE CEDAR
  - 18" QUADRUPLE CEDAR
  - 16" TRIPLE CEDAR
  - 16" TRIPLE CEDAR

TOTAL OF 144 CALIPER INCHES TO BE REMOVED  
PROPOSED MITIGATION OF 264 CALIPER INCHES (144 x 1.5= 216)  
REPLACEMENT TREES MUST BE > 2" TRUNK DIAMETER

TOTAL # OAKS BETWEEN 6 AND 14 INCHES AND CEDARS BETWEEN 12 AND 14 INCHES= 30 EXISTING ON THE SITE

- # TO BE REMOVED= 7
- 12" OAK
  - 13" DOUBLE CEDAR
  - 8" OAK
  - 11" OAK
  - 13" DOUBLE CEDAR
  - 13" TRIPLE CEDAR
  - 12" TRIPLE CEDAR
  - 10" OAK

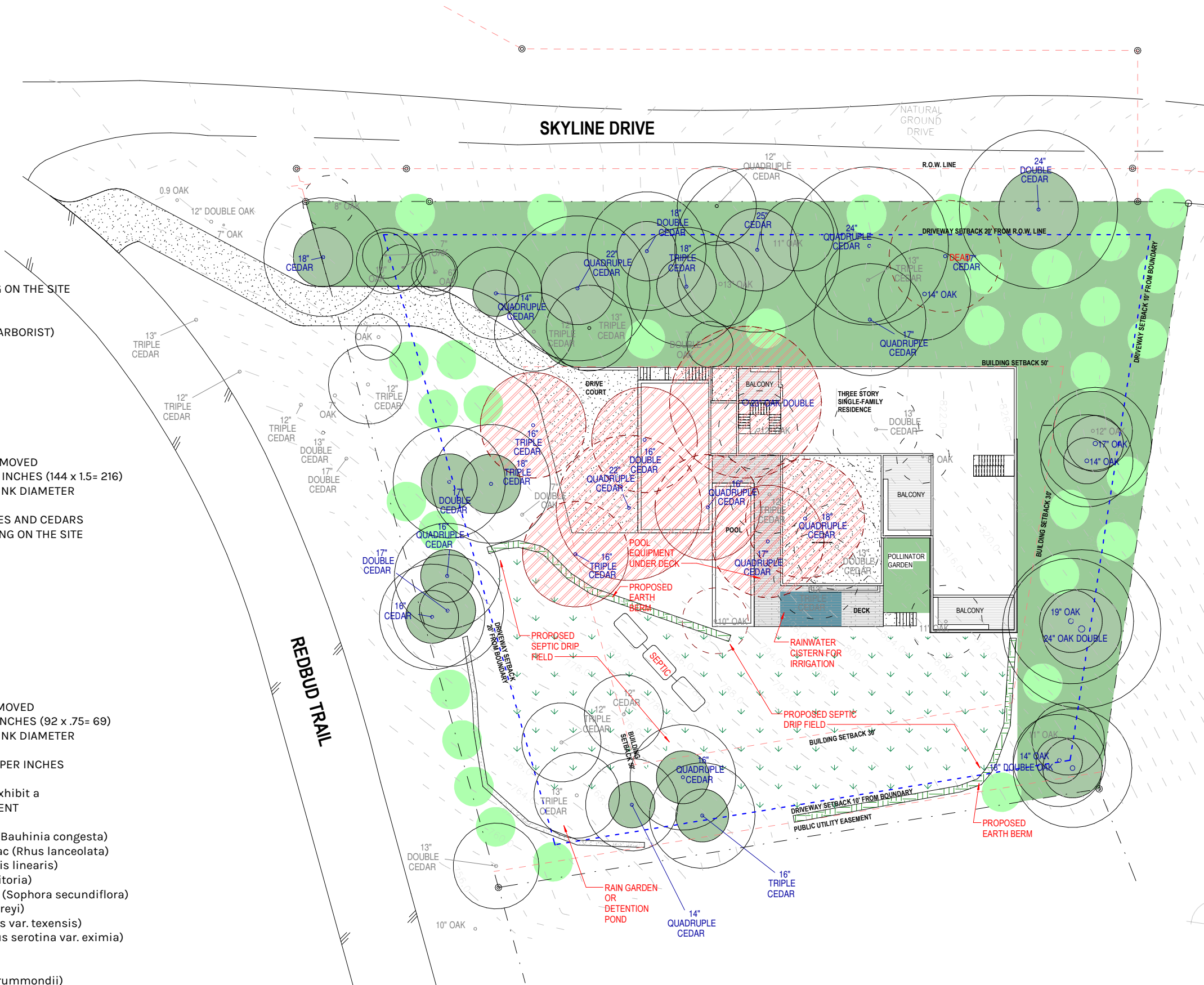
TOTAL OF 92 CALIPER INCHES TO BE REMOVED  
PROPOSED MITIGATION OF 80 CALIPER INCHES (92 x .75= 69)  
REPLACEMENT TREES MUST BE > 2" TRUNK DIAMETER

TOTAL MITIGATION REQUIRED= 285 CALIPER INCHES

PROPOSED MITIGATION per 22.03.305 exhibit a  
ELIGIBLE SPECIES FOR TREE REPLACEMENT

- 10 X 20 GALLON Anacacho Orchid-tree (*Bauhinia congesta*)
- 10 X 20 GALLON Prairie Flameleaf Sumac (*Rhus lanceolata*)
- 10 X 20 GALLON Desert-Willow (*Chilopsis linearis*)
- 10 X 20 GALLON Yaupon Holly (*Ilex vomitoria*)
- 10 X 20 GALLON Texas Mountain-Laurel (*Sophora secundiflora*)
- 10 X 20 GALLON Torrey Yucca (*Yucca torreyi*)
- 8 X 3" Texas Redbud (*Cercis canadensis* var. *texensis*)
- 8 X 3" Escarpment Black Cherry (*Prunus serotina* var. *eximia*)
- 8 X 3" Cedar Elm (*Ulmus crassifolia*)
- 8 X 3" Texas Ash (*Fraxinus texensis*)
- 8 X 3" Western Soapberry (*Sapindus drummondii*)

300 CALIPER INCHES PROPOSED MITIGATION



PROPOSED MITIGATION  
AND NATIVE  
LANDSCAPING



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# Today: Requested Variance Improved Tree Mitigation Plan

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

## TREE TABLE

TREES GREATER THAN 14" = 34 EXISTING ON THE SITE

- # TO BE REMOVED = 8
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- 16" DOUBLE CEDAR
- 22" QUADRUPLE CEDAR
- 16" QUADRUPLE CEDAR
- 17" QUADRUPLE CEDAR
- 18" QUADRUPLE CEDAR
- 16" TRIPLE CEDAR
- 16" TRIPLE CEDAR

TOTAL OF 144 CALIPER INCHES TO BE REMOVED  
PROPOSED MITIGATION OF 264 CALIPER INCHES (144 x 1.5= 216)  
REPLACEMENT TREES MUST BE > 2" TRUNK DIAMETER

TOTAL # OAKS BETWEEN 6 AND 14 INCHES AND CEDARS  
BETWEEN 12 AND 14 INCHES= 30 EXISTING ON THE SITE

- # TO BE REMOVED= 7
- 12" OAK
- 13" DOUBLE CEDAR
- 8" OAK
- 11" OAK
- 13" DOUBLE CEDAR
- 13" TRIPLE CEDAR
- 12" TRIPLE CEDAR
- 10" OAK

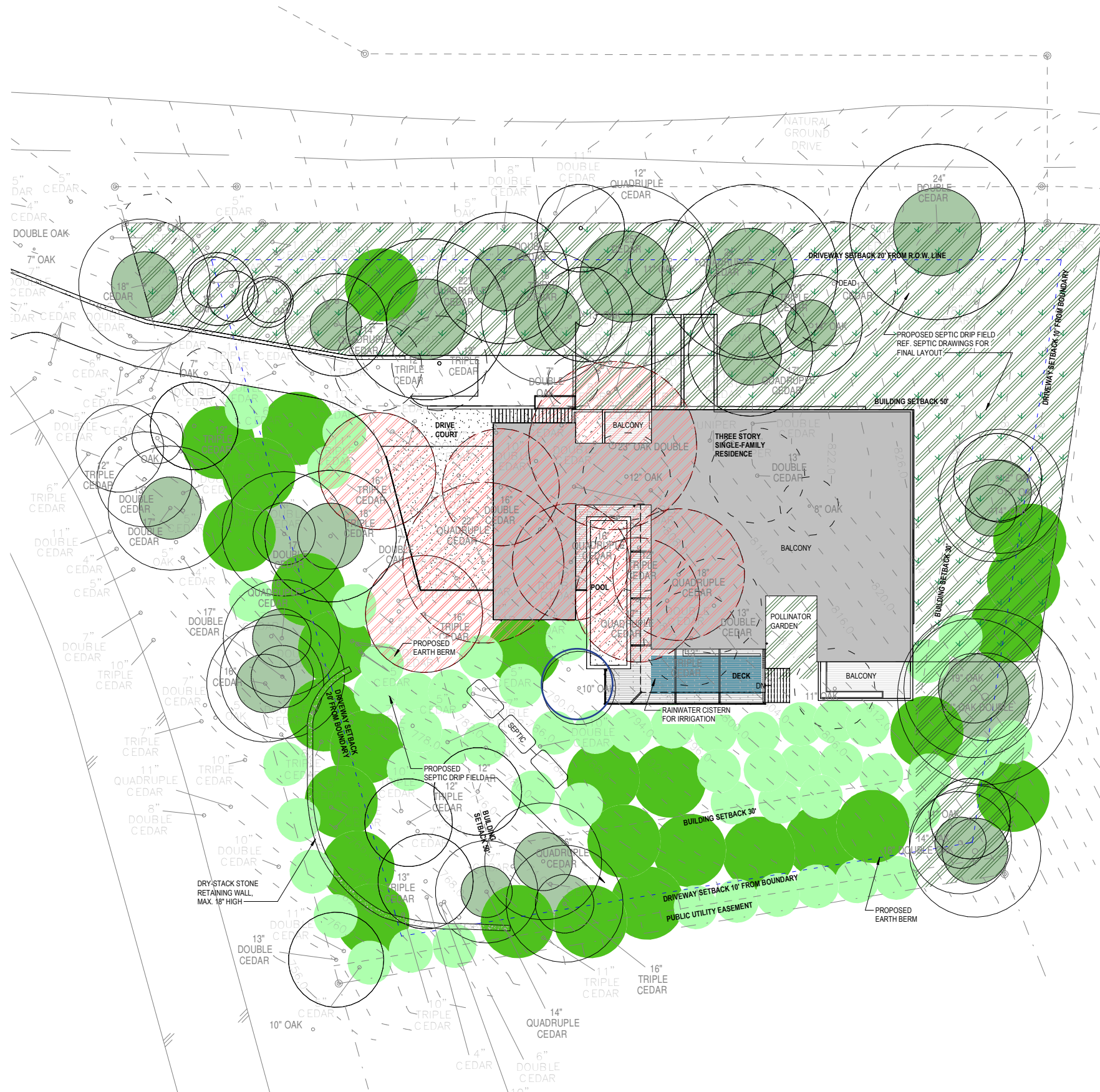
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300 CALIPER INCHES PROPOSED MITIGATION



## PROPOSED MITIGATION AND NATIVE LANDSCAPING



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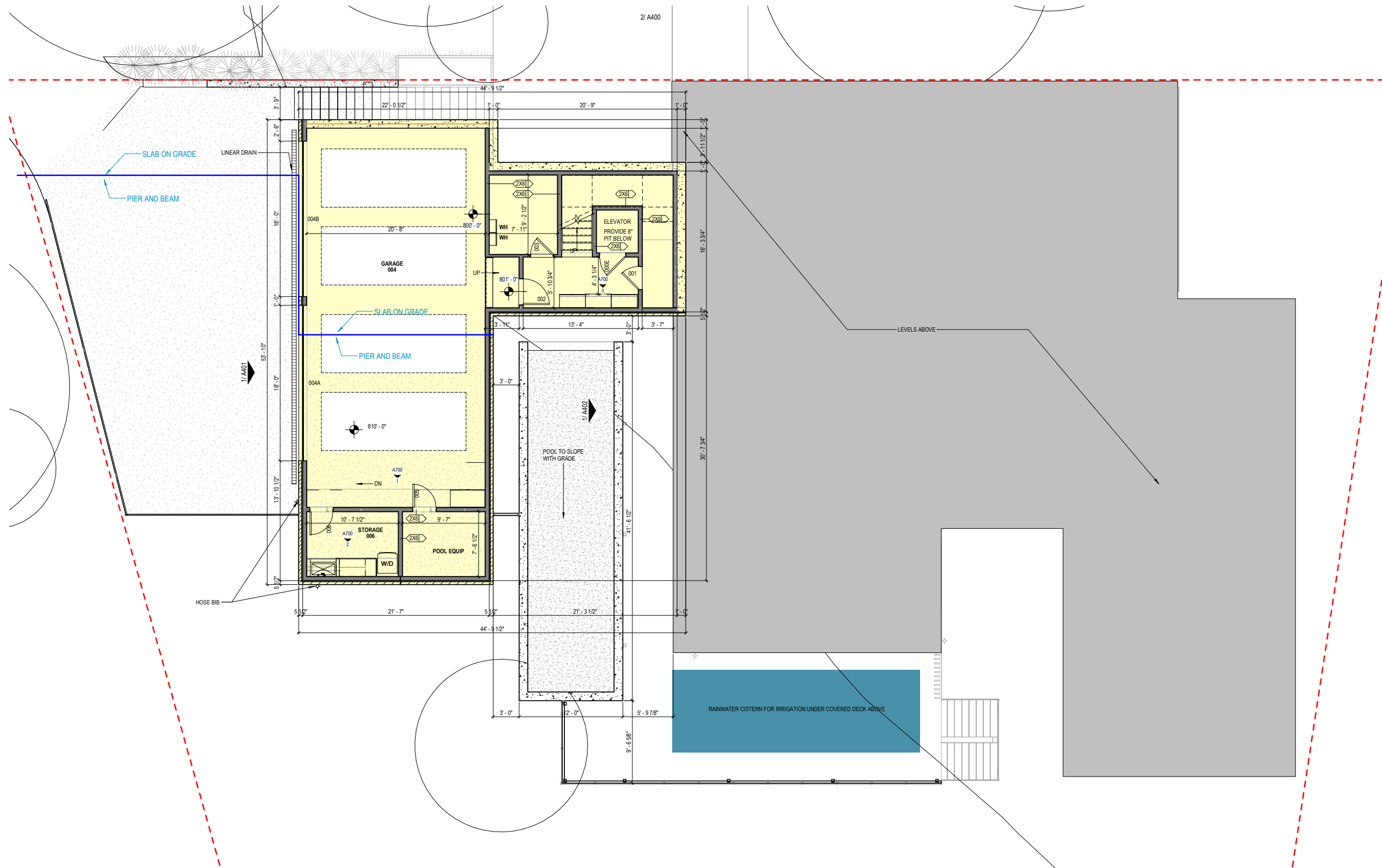
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# Proposed Design Drawings

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026



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# Proposed Design Drawings

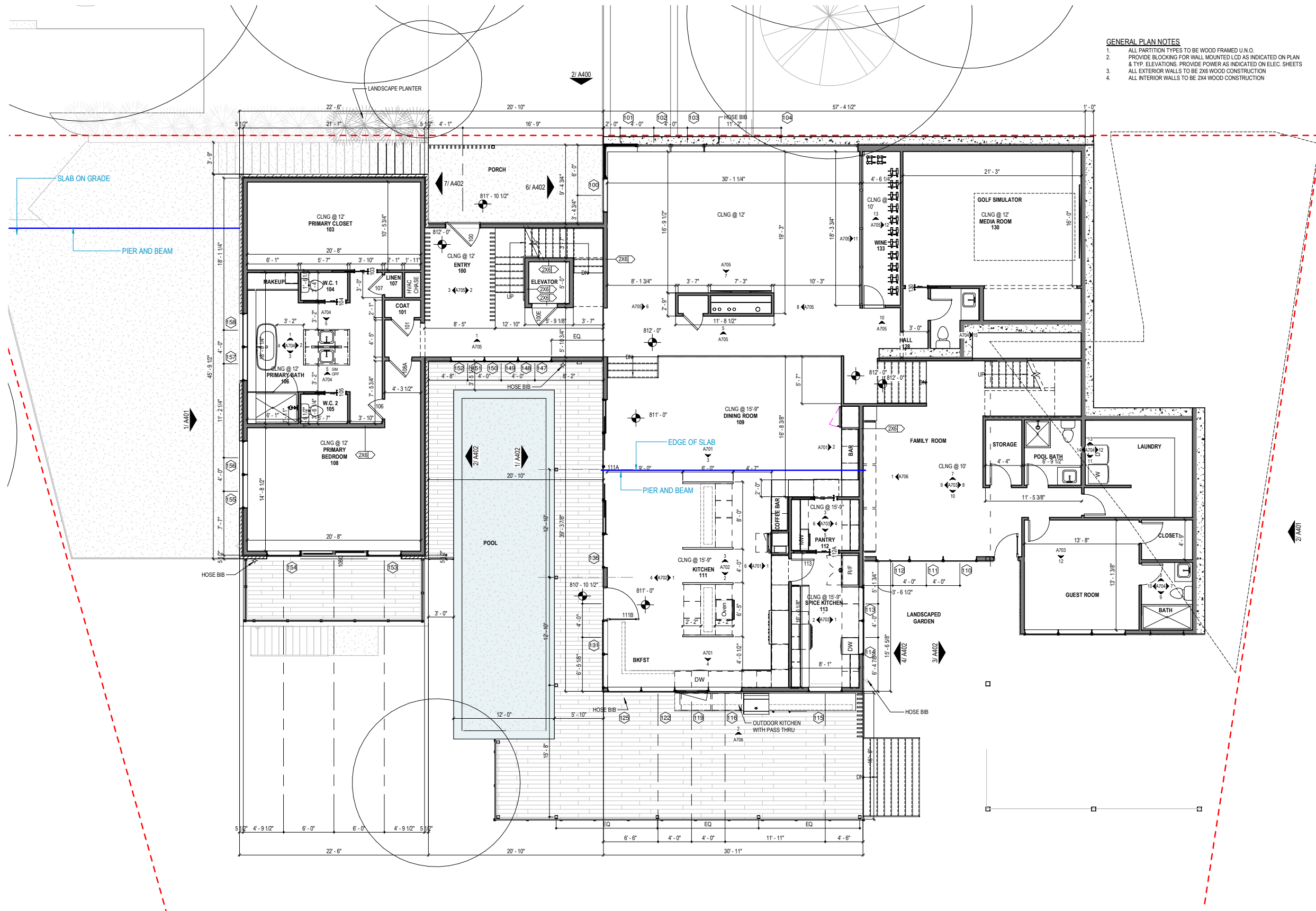
406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

### GENERAL PLAN NOTES

1. ALL PARTITION TYPES TO BE WOOD FRAMED U.N.O.
2. PROVIDE BLOCKING FOR WALL MOUNTED LCD AS INDICATED ON PLAN & TYP. ELEVATIONS. PROVIDE POWER AS INDICATED ON ELEC. SHEETS
3. ALL EXTERIOR WALLS TO BE 2X6 WOOD CONSTRUCTION
4. ALL INTERIOR WALLS TO BE 2X4 WOOD CONSTRUCTION



WORKSHOP NO. 5  
ARCHITECTURE & INTERIORS  
5409 WOODROW AVE UNIT C  
AUSTIN, TEXAS 78756

512.710.9705

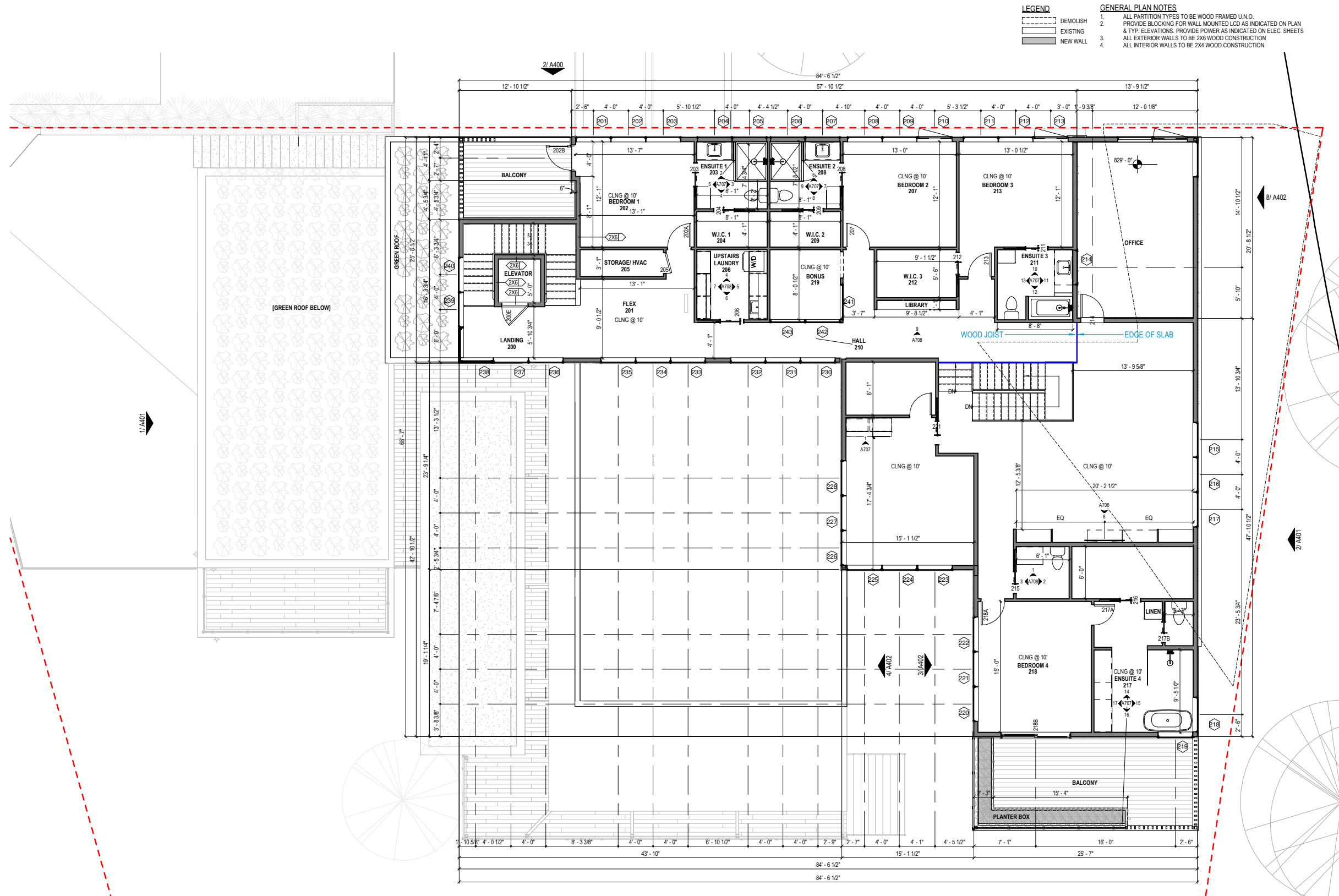
www.workshopno5.com

# Proposed Design Drawings

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026



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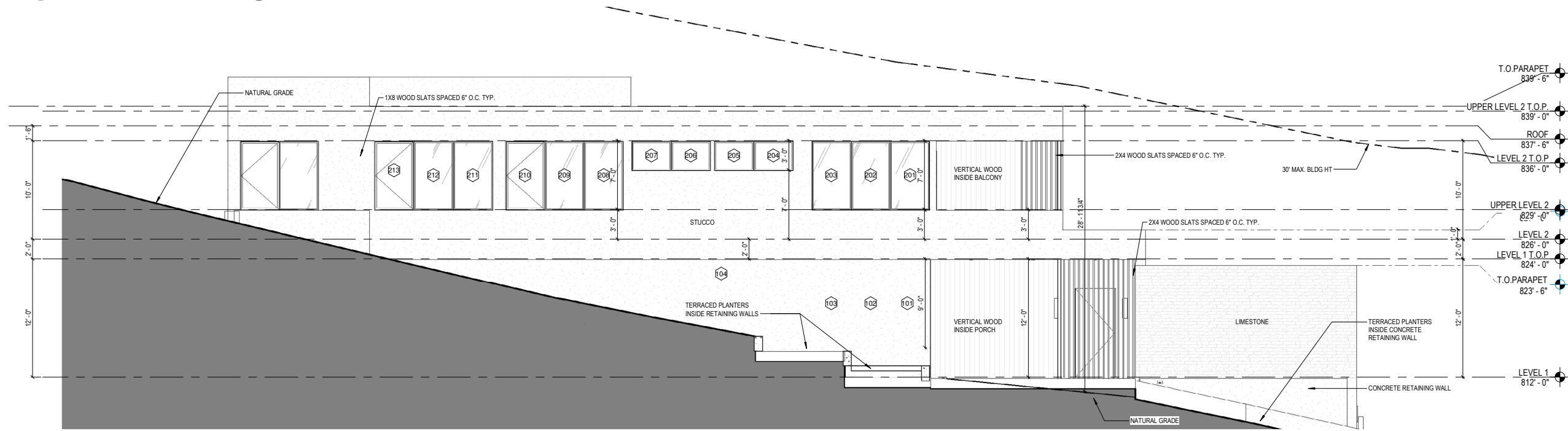
www.workshopno5.com

# Proposed Building Elevations

406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

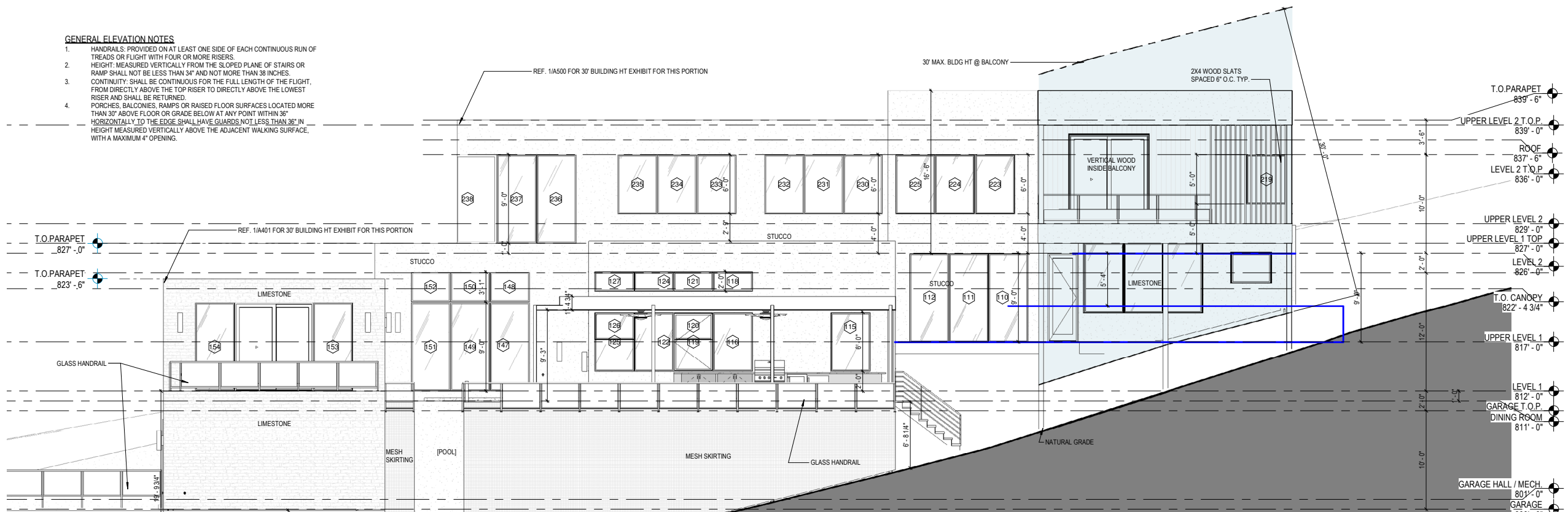


**NORTH ELEVATION**

**ELEVATIONS OF  
RESIDENCE-  
PROPOSED DESIGN**

**GENERAL ELEVATION NOTES**

1. HANDRAILS: PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
2. HEIGHT: MEASURED VERTICALLY FROM THE SLOPED PLANE OF STAIRS OR RAMP SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38" INCHES.
3. CONTINUITY: SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM DIRECTLY ABOVE THE TOP RISER TO DIRECTLY ABOVE THE LOWEST RISER AND SHALL BE RETURNED.
4. PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE, SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, WITH A MAXIMUM 4" OPENING.



**SOUTH ELEVATION**



WORKSHOP NO. 5  
ARCHITECTURE & INTERIORS  
5409 WOODROW AVE UNIT C  
AUSTIN, TEXAS 78756

512.710.9705

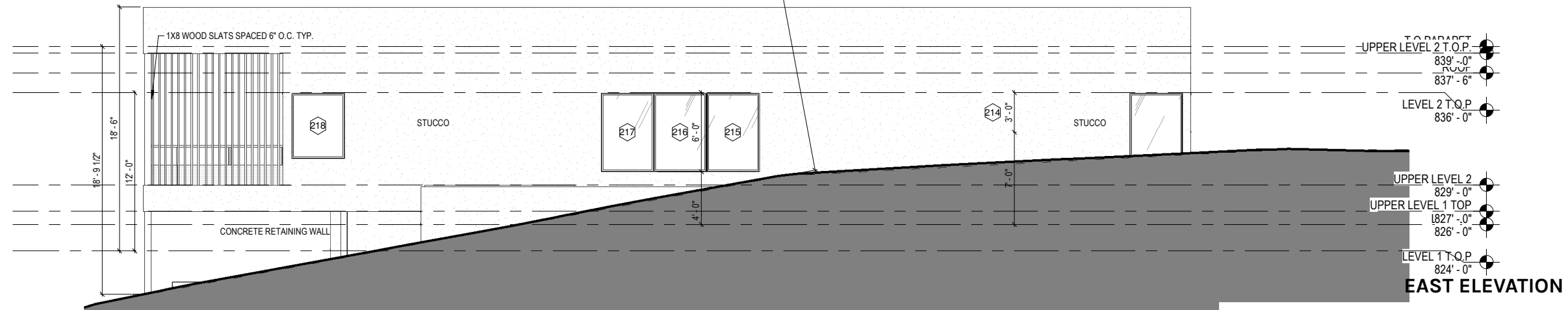
www.workshopno5.com

# Proposed Building Elevations

406 REDBUD TRAIL  
#2023-14

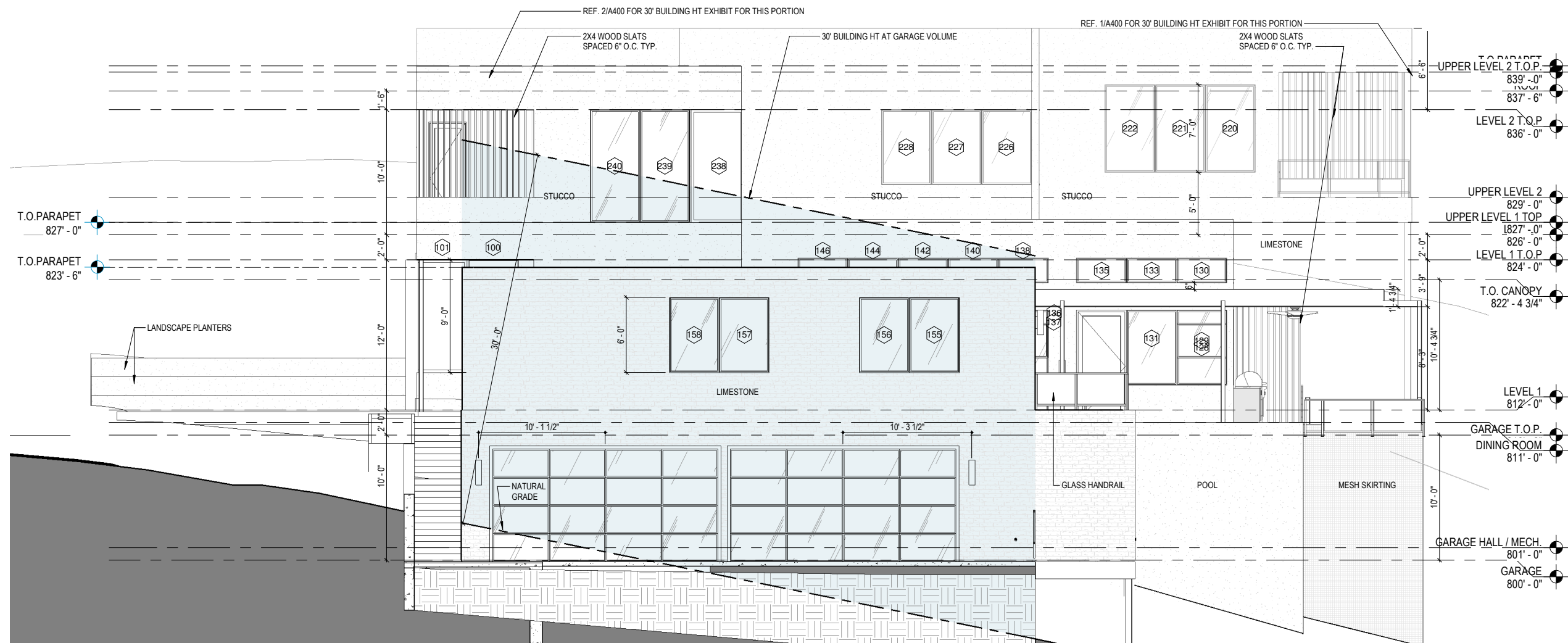
VARIANCE  
PRESENTATION

06.02.2026



**EAST ELEVATION**

**ELEVATIONS OF  
RESIDENCE-  
PROPOSED DESIGN**



**WEST ELEVATION**



WORKSHOP NO. 5  
ARCHITECTURE & INTERIORS  
5409 WOODROW AVE UNIT C  
AUSTIN, TEXAS 78756

512.710.9705

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# Proposed Building 3d Views

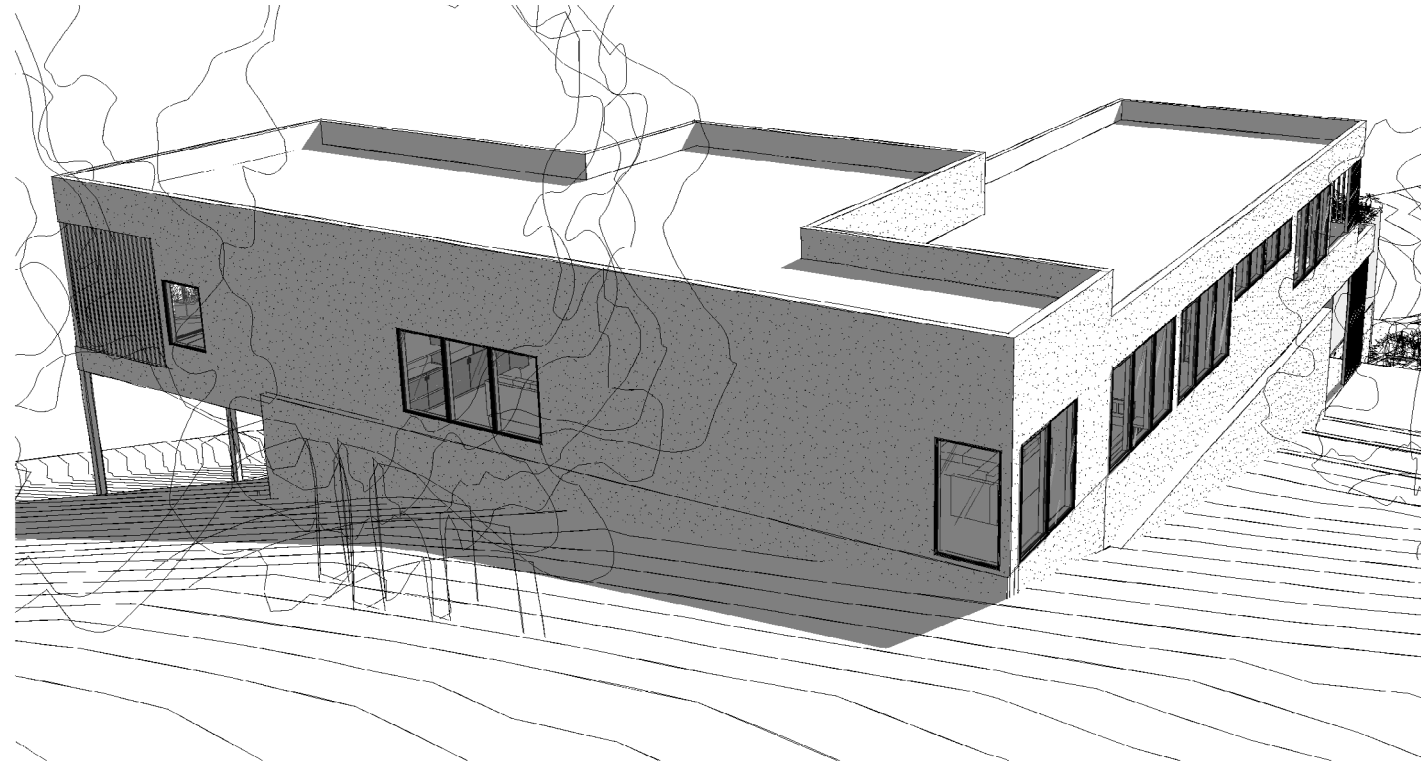
406 REDBUD TRAIL  
#2023-14

VARIANCE  
PRESENTATION

06.02.2026

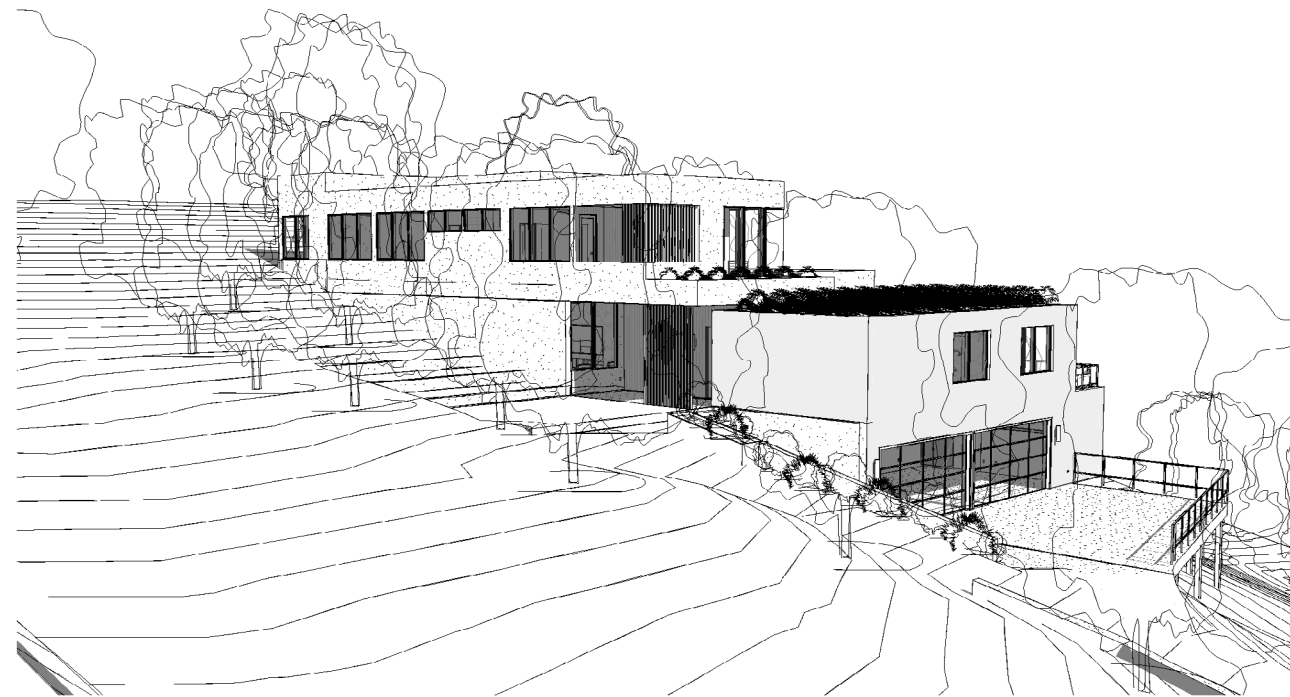


VIEW FROM SOUTH PROPERTY LINE



BIRDSEYE VIEW

**EXTERIOR 3D VIEWS OF  
PROPOSED DESIGN**



VIEW FROM DRIVEWAY



VIEW FROM REDBUD



WORKSHOP NO. 5  
ARCHITECTURE & INTERIORS  
5409 WOODROW AVE UNIT C  
AUSTIN, TEXAS 78756

512.710.9705

[www.workshopno5.com](http://www.workshopno5.com)

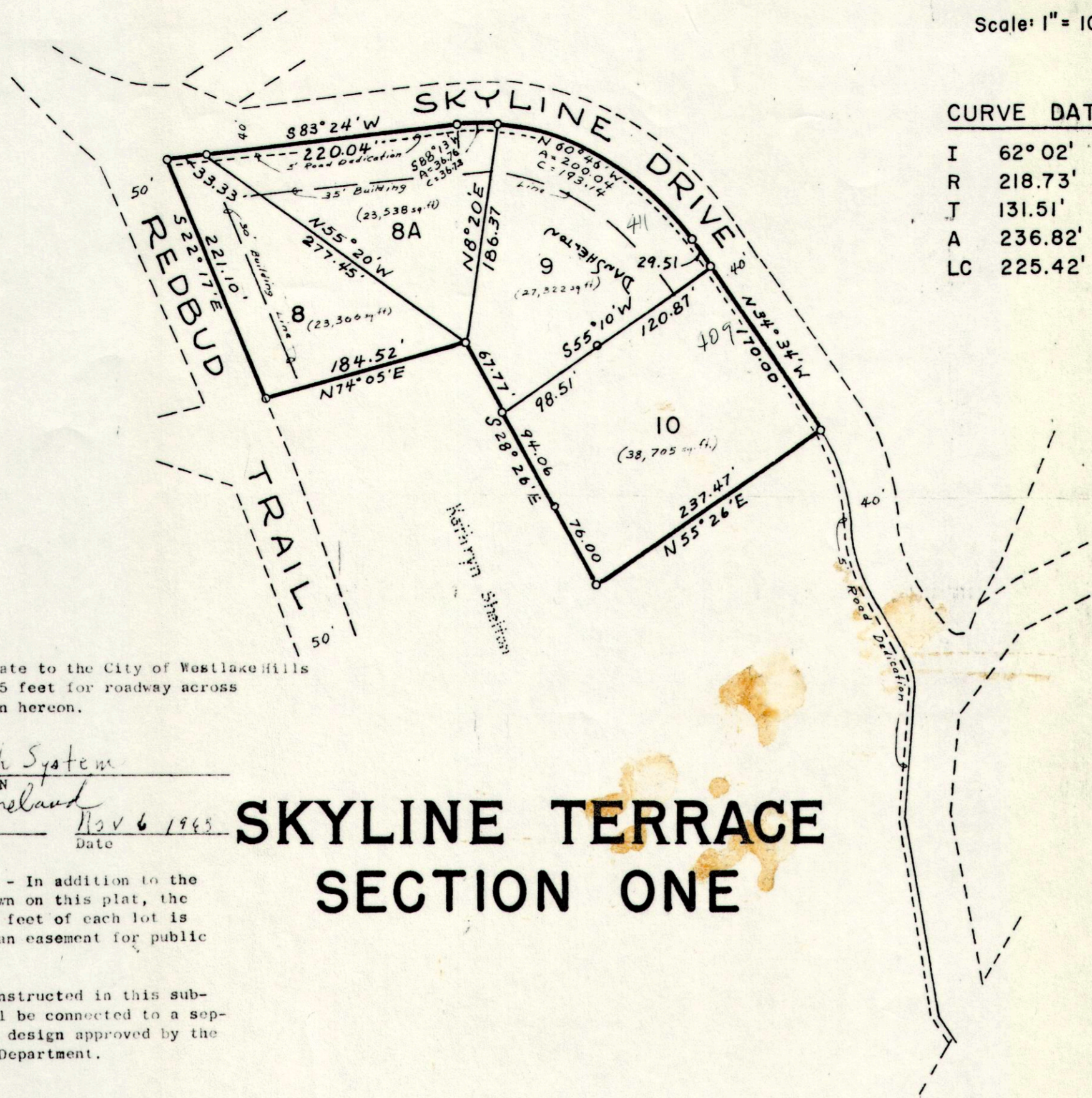
TC

LEGEND

o Iron Pin  
Scale: 1" = 100'

CURVE DATA

I 62° 02'  
R 218.73'  
T 131.51'  
A 236.82'  
LC 225.42'



I hereby dedicate to the City of Westlake Hills an additional 5 feet for roadway across Lot 10 as shown hereon.

L. J. Welch System  
L. J. CORPORATION  
Ritchie D. Woodland  
Secretary Nov 6 1963  
Title \_\_\_\_\_ Date \_\_\_\_\_

# SKYLINE TERRACE SECTION ONE

GENERAL NOTES - In addition to the easements shown on this plat, the rear five (5) feet of each lot is dedicated as an easement for public utilities.

Each house constructed in this subdivision shall be connected to a septic tank of a design approved by the State Health Department.

THE STATE OF TEXAS:  
COUNTY OF TRAVIS :

KNOW ALL MEN BY THESE PRESENTS: That we, John E. Shelton, Jr., and wife, Kathryn C. Shelton, owners of that certain 10.72 acre tract of land out of the T. J. Chambers Survey # 504 described in a deed recorded in Volume 947, page 539 of the Deed Records of Travis County, Texas, do hereby adopt this map or plat to be known as SKYLINE TERRACE, SECTION ONE, and we have dedicated and do hereby dedicate to the public use all streets, roads, or drives and easements shown hereon as far as our interest may appear.

WITNESS OUR HANDS this the 5th day of November, A.D., 1963.

John E. Shelton, Jr.  
John E. Shelton, Jr.  
Kathryn C. Shelton  
Kathryn C. Shelton

THE STATE OF TEXAS:  
COUNTY OF TRAVIS :

BEFORE ME, the undersigned authority, a Notary Public, in and for Travis County, Texas, on this day personally appeared John E. Shelton, Jr., and his wife, Kathryn C. Shelton, known to me to be the persons whose names are subscribed to the foregoing instrument and the said John E. Shelton, Jr. acknowledged to me that he executed the same for the purposes and considerations therein stated. And the said Kathryn C. Shelton, wife of the said John E. Shelton, Jr., having been examined by me privily and apart from her husband and having the same fully explained to her, she, the said Kathryn C. Shelton, acknowledged such instrument to be her act and deed and declared that she had willingly signed the same for the purposes and considerations therein expressed and that she did not wish to retract it.

GIVEN under my hand and seal of office this the 5th day of November, A.D., 1963.

Elaine Martinez  
Notary Public, in and for Travis County, Texas

ACCEPTED AND AUTHORIZED FOR RECORD BY THE BOARD OF ALDERMEN FO THE CITY OF WEST LAKE HILLS, TEXAS, this the 6th day of November, A.D., 1963.

Robert M. Allen  
Mayor  
Henrietta Jacobsen  
Secretary

FILED FOR RECORD: at 11:50 o'clock A.M., this the 7 day of Nov., A.D., 1963.

Gene Lee Deputy  
Emilie Linberg Miss Emilie Linberg, County Clerk, Travis County, Texas

THE STATE OF TEXAS:  
COUNTY OF TRAVIS :

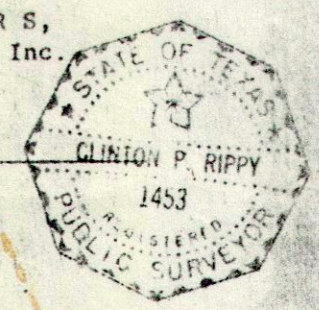
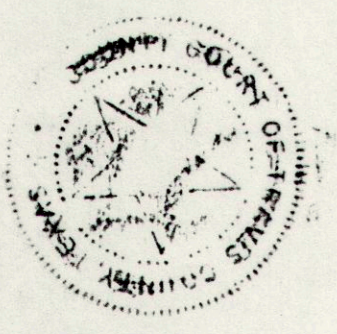
I, Miss Emilie Linberg, Clerk of the County Court within and for the County and State aforesaid do hereby certify that the foregoing instrument of writing with its Certificate of Authentication was filed for record in my office on the 7 day of Nov., A.D., 1963, at 11:50 o'clock A.M., and duly recorded on the 7 day of Nov., A.D., 1963, at 11:50 o'clock A.M., in the Plat Records of said County and State in Plat Book 18, Page 73.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT of said County the date last written above.

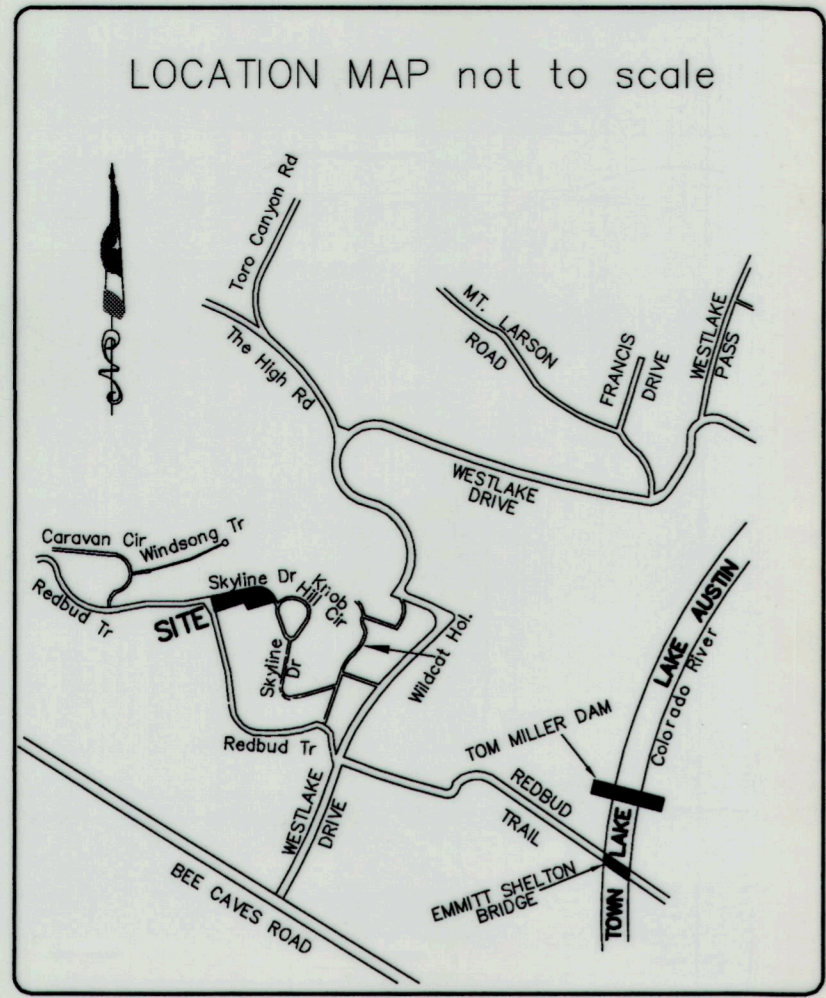
Gene Lee Deputy  
Emilie Linberg Miss Emilie Linberg, Clerk, County Court, Travis County, Tex.

Surveyed By:  
The MARVIN TURNER ENGINEERS, Inc.

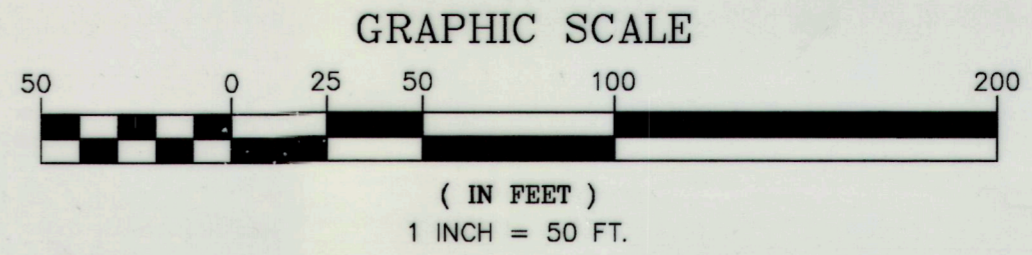
By Clinton P. Rippey Registered Public Surveyor  
Date 11-3-63



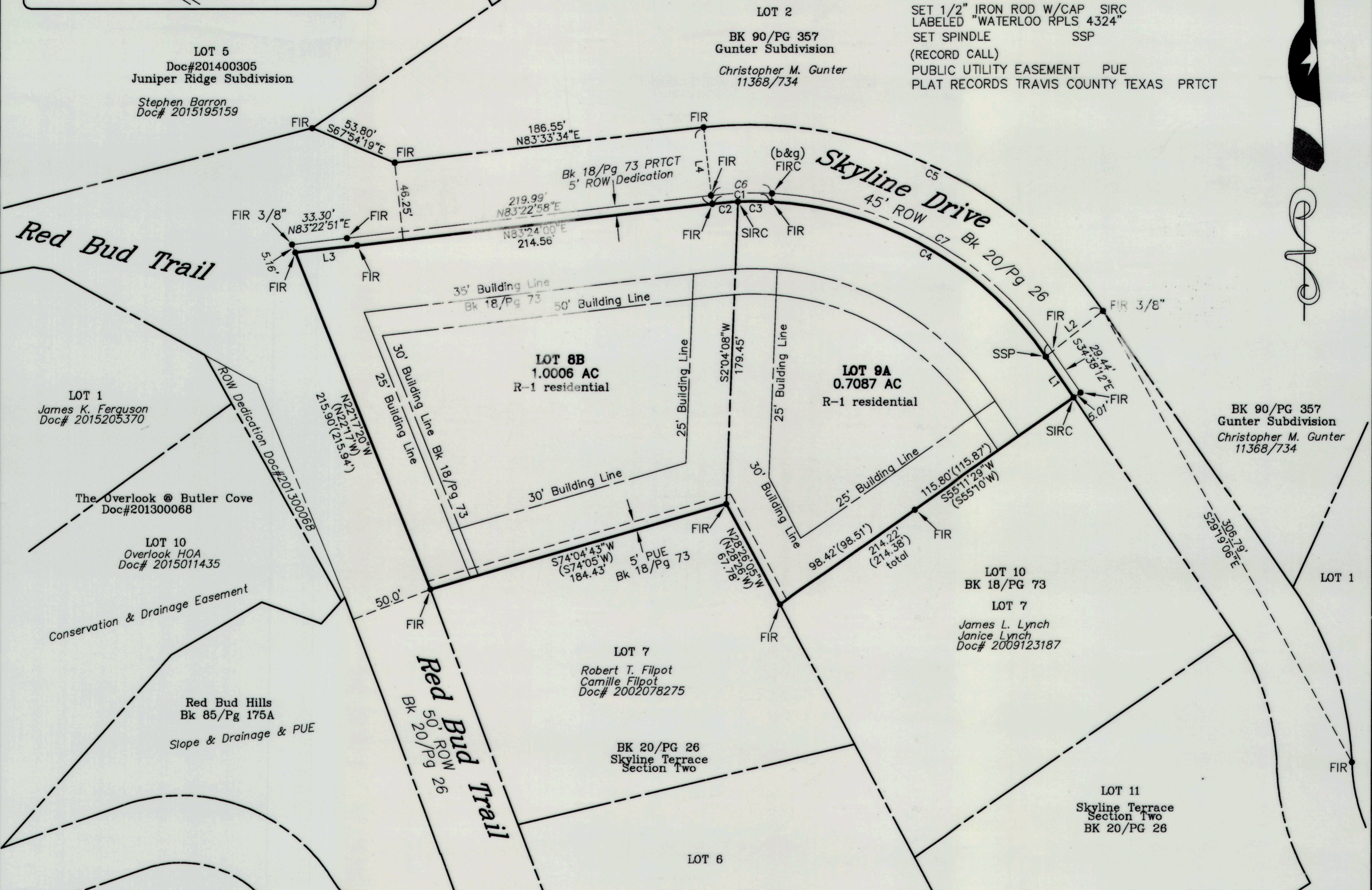
**RESUBDIVISION OF LOTS 8, 8A, AND LOT 9  
SKYLINE TERRACE SECTION ONE**



**LOT SUMMARY**  
 LOT 8B AND LOT 9A--1.7093 ACRES/74,456 SQ FT  
 TWO LOTS FOR SINGLE FAMILY RESIDENCE  
 LOT 8B--1.0006 ACRES/43,585 SQ FT  
 LOT 9A--0.7087 ACRE/30,871 SQ FT



**LEGEND**  
 FOUND 1/2" IRON ROD FIR  
 FOUND 1/2" IRON ROD W/CAP FIR  
 SET 1/2" IRON ROD W/CAP SIRC  
 LABELED "WATERLOO RPLS 4324"  
 SET SPINDLE SSP  
 (RECORD CALL)  
 PUBLIC UTILITY EASEMENT PUE  
 PLAT RECORDS TRAVIS COUNTY TEXAS PRTCT



**CURVE TABLE**

NUM	ARC	RADIUS	BEARING	DISTANCE
C1	35.43'	213.73'	N88°10'21"E	35.39'
C2	15.38'	213.73'	N85°29'02"E	15.37'
C3	20.06'	213.73'	S89°46'00"E	20.05'
C4	195.81'	213.73'	S60°44'21"E	189.03'
C5	276.55'	258.75'	S65°26'20"E	263.57'
C6	36.56'	218.73'	N88°09'23"E	36.51'
C7	200.34'	218.73'	S60°43'09"E	193.41'

**LINE TABLE**

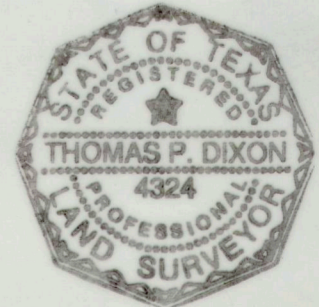
NUM	BEARING	DISTANCE	RECORD
L1	S34°39'49"E	29.40'	S34°34'E
L2	N51°33'04"E	43.64'	
L3	N83°25'48"E	37.50'	
L4	N6°35'59"W	45.73'	

**SURVEYORS CERTIFICATION**  
 I, THOMAS P. DIXON, AM AUTHORIZED UNDER THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEY RELATED PORTIONS OF TITLE 30 OF THE AUSTIN CITY CODE OF 1999 AS AMENDED AND IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY DIRECT SUPERVISION, ON THE GROUND FEBRUARY 27TH, 2017.

THIS SUBDIVISION IS NOT WITHIN A FLOOD HAZARD ZONE AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AS PER MAP NO. 48453C0445H, DATED SEPTEMBER 26, 2008.

*Thomas P. Dixon*  
 THOMAS P. DIXON R.P.L.S. #4324  
 WATERLOO SURVEYORS, INC.  
 P.O. BOX 160176  
 AUSTIN, TEXAS 78716  
 PH-512-481-9602  
 FAX-512-330-1621  
 thomas@waterloosurveyors.com

DATE 11/1/17



WATERLOO SURVEYORS INC.  
 PO BOX 160176  
 AUSTIN, TEXAS 78716-0176  
 Phone: 512-481-9602  
 www.waterloosurveyors.com  
 T.B.P.L.S. FIRM NO 10124400

**PROJECT DATA**  
 LEGAL DESCRIPTION: 1.7093 ACRES OUT OF THE T.J. CHAMBERS SURVEY NO. 504, IN TRAVIS COUNTY, TEXAS.  
 OWNER LOT 8, 8A AND 9:  
 LILLIAN KATHLEEN MONTANA  
 TWO LOTS FOR RESIDENTIAL USE  
 SURVEYING: WATERLOO SURVEYORS, INC.

RESUBDIVISION OF LOTS 8, 8A, AND LOT 9  
SKYLINE TERRACE SECTION ONE

STATE OF TEXAS:  
COUNTY OF TRAVIS: KNOW ALL PERSONS BY THESE PRESENTS:

THAT I, LILLIAN KATHLEEN MONTANA, OWNER OF 1.7093 ACRES OF LAND OUT OF THE THE T.J. CHAMBERS SURVEY NO. 504 IN TRAVIS COUNTY, TEXAS, BEING ALL OF LOTS 8, 8A AND 9 OF SKYLINE TERRACE SECTION ONE, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF IN BOOK 18, PAGE 73, PLAT RECORDS, CONVEYED TO ME BY GENERAL WARRANTY DEED RECORDED IN DOCUMENT NO. 2015163937, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO HEREBY RESUBDIVIDE SAID LOTS PURSUANT TO THE TEXAS LOCAL GOVERNMENT CODE, SECTION 212 TO BE KNOWN AS:

RESUBDIVISION OF OF LOTS 8, 8A AND LOT 9  
SKYLINE TERRACE SECTION ONE

IN ACCORDANCE WITH THE MAP OR PLAT SHOWN HEREON, AND DO HEREBY DEDICATE TO THE PUBLIC FOREVER THE USE OF ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, PUBLIC EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

WITNESS MY HAND THIS THE 27 DAY OF November, 2017

*Lillian Kathleen Montana*

LILLIAN KATHLEEN MONTANA  
411 SKYLINE DRIVE  
AUSTIN, TEXAS 78746-3614

STATE OF TEXAS:  
COUNTY OF TRAVIS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED LILLIAN KATHLEEN MONTANA, KNOWN TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE 27 DAY OF November, 2017, A.D., NOTARY PUBLIC IN AND FOR TRAVIS COUNTY, TEXAS.

NOTARY: MARK LEANOR LITTELL  
PRINT OR STAMP NAME HERE MY COMMISSION EXPIRES September 20 2021



THIS SUBDIVISION PLAT IS LOCATED WITHIN THE FULL PURPOSE CITY LIMITS OF THE CITY OF WEST LAKE HILLS ON THIS THE 29TH DAY OF AUGUST, 2016 AD.

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED ON October 18, 2017, BY THE ZONING AND PLANNING COMMISSION OF THE CITY OF WEST LAKE HILLS, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL. THIS THE 18th DAY OF October, 2017, AD.

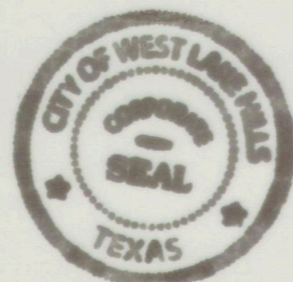
*[Signature]*  
ZAPCO CHAIRPERSON 11/21/2017  
DATE

APPROVED, ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF WEST LAKE HILLS, TEXAS

DATED THIS THE 25th DAY OF October, 2017, A.D.

*Cinda Anthony*  
MAYOR CITY OF WEST LAKE HILLS

ATTEST:  
*Lacie Hall*  
CITY SECRETARY



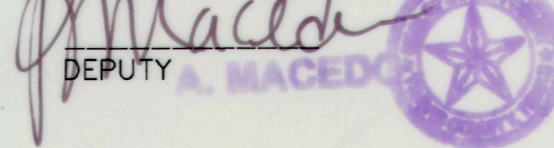
STATE OF TEXAS:  
COUNTY OF TRAVIS:  
I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND IT'S CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE 20th DAY OF December, 2017, A.D. AT

2:28 O'CLOCK P.M., DULY RECORDED ON THE 20th DAY OF December

2017 A.D. AT 2:28 O'CLOCK P.M., PLAT RECORDS IN SAID COUNTY AND STATE IN

DOCUMENT NO. 201700312 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

DANA DEBEAUVOIR, COUNTY CLERK  
TRAVIS COUNTY, TEXAS



NOTES:

1) SEPTIC TANK NOTE:

EVERY LOT IN THIS SUBDIVISION IS SUBJECT TO THE CITY OF WEST LAKE HILLS' CODE OF ORDINANCES, CHAPTER 86 AS AMENDED. NO SEPTIC SYSTEM OR OTHER PRIVATE SEWAGE FACILITY MAY BE CONSTRUCTED ON ANY LOT UNTIL THE CITY OF WEST LAKE HILLS ISSUES A PERMIT FOR ITS CONSTRUCTION. NO PRIVATE SEWAGE FACILITY MAY BE USED UNTIL THE FACILITY HAS BEEN APPROVED AND LICENSED BY THE CITY. LOT SIZE REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PRIVATE SEWAGE FACILITIES SHALL CONFORM TO THE CONSTRUCTION AND DEVELOPMENT LIMITATIONS IN CHAPTER 86 OF THE WEST LAKE HILLS CODE OF ORDINANCES AS AMENDED.

2) SITE CLEARANCE, SITE DISTURBANCE AND IMPERVIOUS COVER NOTE:

EVERY LOT IN THIS SUBDIVISION IS SUBJECT TO THE CITY OF WEST LAKE HILLS' SITE CLEARANCE PROCEDURES. NO SITE CLEARANCE, EXCAVATION, GRADING OR LANDFILL SHALL COMMENCE UNLESS A PERMIT SHALL HAVE FIRST BEEN ISSUED FOR SUCH WORK IN ACCORDANCE WITH THE PROVISIONS OF APPLICABLE ORDINANCES. IMPERVIOUS COVER SHALL NOT EXCEED THE MAXIMUM PERCENTAGE PERMITTED UNDER THE LOT SIZE REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PRIVATE SEWAGE FACILITIES SHALL CONFORM WEST LAKE HILLS CODE OF ORDINANCES.

3) STREETS, ROADS AND OTHER PUBLIC THOROUGHFARES NOTE:


THE BUILDING OF STREETS, ROADS AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS OR OTHER PUBLIC THOROUGHFARES OR IN CONNECTION THEREWITH, SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY COUNCIL OF THE CITY OF WEST LAKE HILLS, TRAVIS COUNTY, TEXAS, IF SAID PLAT IS WITHIN THE CITY LIMITS OF THE CITY OF WEST LAKE HILLS, TEXAS. THE CITY OF WEST LAKE HILLS, TEXAS ASSUMES NO RESPONSIBILITY TO BUILD ANY OF THE STREETS, ROADS OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR ANY BRIDGES OF CULVERTS IN CONNECTION THEREWITH. ALL CURB CUTS, ENTRANCES AND EXITS ONTO PUBLIC STREETS OR HIGHWAYS SHALL FIRST BE APPROVED BY THE CITY OF WEST LAKE HILLS, TEXAS.

THE TRACT OF LAND DESCRIBED ON THIS PLAT IS WITHIN THE BOUNDARIES OF TRAVIS COUNTY WATER CONTROL AND IMPROVEMENT DISTRICT (WCID) NO. 10 AND HAS WATER SERVICE AVAILABLE.

*[Signature]* 12.13.2017  
PRESIDENT OF THE BOARD DATE  
WCID NO. 10

I, THE UNDERSIGNED CITY ADMINISTRATOR OF THE CITY OF WEST LAKE HILLS, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT COMFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY FOR WHICH MY APPROVAL IS REQUIRED.

*Robert J. Wood* 21 November 2017  
CITY ADMINISTRATOR DATE  
CITY OF WEST LAKE HILLS

 WATERLOO SURVEYORS INC.  
PO BOX 160176  
AUSTIN, TEXAS 78716-0176  
Phone: 512-481-9602  
www.waterloosurveyors.com  
T.B.P.L.S. FIRM NO 10124400

# City of West Lake Hills

## MINUTES OF A ZONING & PLANNING COMMISSION (ZAPCO) REGULAR MEETING

Wednesday, May 20, 2026 at 6:30 PM

1. **Call to Order: Chair Robert Meisel**

- a. Meeting begins at 6:32pm
- b. Roll Call
  1. Chair Robert Meisel: Present
  2. Vice-Chair Jim Pledger: Present
  3. Commissioner Karen Bartoletti: Absent
  4. Commissioner Patrick Stewart: Present
  5. Commissioner Laurie Maccini: Present
  6. Commissioner: Vacant Seat

2. **Citizen Communications:**

- a. No comments

3. **Consent Agenda:** The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these item/s unless a Commission Member or citizen so requests.

- a. Approval of the April 15, 2026 Zoning and Planning Commission Minutes.
- b. Approval of the May 4, 2026 Zoning and Planning Commission Workshop minutes
- c. Report of previous cases ZAPCO acted on by BOA/City Council.

**Action:** Commissioner Pledger moves for approval of the Consent Agenda

- i. Commissioner Stewart Seconds
- ii. Motion carries unanimously (3-0)

4. **Public Hearing 614 Westbrook Drive.** Discuss and make a recommendation to the Board of Adjustment on proposed variance to allow a four-foot encroachment into the 30-foot rear setback (Section 22.03.276 & Section 22.03.281)

Applicant: Steven Campos, Contemporary Tile Design LLC

- a. **Staff Report:** Director Bills spoke about the previous approved variance at the property. The requested variance would follow the building line of the previously approved encroachment
  - 1. Commissioner Maccini asked about the height of the structure
    - 1. Director Bills explained that the applicant was present and could address design questions.
- b. **Public Comment:**
  - 1. Steven Campos– Applicant
    - 1. Spoke in favor of variance request
- c. **Discussion:**
  - 1. Commissioner Stewart asked the applicant which CRZ the encroachment would avoid.
    - 1. The applicant indicated the proposed design would leave the ¼ critical root zone undisturbed.
  - 2. Commissioner Maccini inquired about if drainage from the accessory structure would impact the tree.
    - 1. The applicant stated that the drainage would not flow toward the tree.
  - 3. Commissioner Pledger asked about the hardship of the variance
    - 1. The applicant stated the desired size of the accessory structure would only be feasible if the encroachment were granted.
  - 4. Chair Meisel asked if there were any further encroachment into the setback further than the pool.
    - 1. The applicant indicated the structure would not encroach further into the setback than the pool.
- d. **Action:** Commissioner Stewart moves to recommend that the variance be forwarded to the Board of Adjustment with a recommendation of **approval**.
  - 1. Commissioner Pledger seconds
  - 2. Motion **carries** 3-0

**The recommendation will be forwarded to the June 10th Board of Adjustment meeting**

- 5. Public Hearing: **406 Redbud Trail**. Discuss and consider a recommendation to Board of Adjustment on proposed variances:
  - a. To reduce the 50-foot front building setback along Skyline Drive to use the previously platted 35-foot building line (Section 22.03.275 and Section 22.03.281)
  - b. To allow grading up to 6 feet on slopes of greater than 35% where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Bhavani Singal, Workshop No 5

**Note: Agenda items 5 and 6 are related to the same proposed project but are separate items due to the division of City Council and Board of Adjustment authority over the requested code sections in the variance requests. Since both items require ZAPCO recommendation, the items were discussed concurrently and recorded in the minutes for item 5.**

**a. Staff Report:**

1. Director Bills describes the history of the variances at the property and the proposed additional variance requests related to grading, setback encroachment, and tree removal.
2. Commissioner Maccini asks if the previous variance of the tree removal was still active.
  1. Director Bills explains that variance requests expire after 1 year if the applicant does not act on the variances, but that since the applicants applied for a building permit within the expiration window and have been actively in the review process that the 2024 variances have not expired.
3. Commissioner Stewart asks if the building footprint has changed since the last variance request.
  1. Director Bills indicates that the square footage has been decreased slightly.

**b. Public Comment:**

1. Bhavani Singal: Applicant
  1. Spoke in favor of the variance request
2. Chris Gunter: Neighbor
  1. Spoke in opposition to the variance request
3. Steve Barron: Neighbor
  1. Spoke in opposition to the variance request
4. Gale Brundrett: Neighbor
  1. Spoke in opposition to the variance request
5. Ashwini Raja – Owner
  1. Spoke in favor of the variance request

**c. Discussion:**

1. Commissioner Stewart asks the applicant if pier and beam has been considered
  1. The applicant indicated that they spoke with their structural engineer to find a solution for the home, and pier and beam was not determined to be an ideal solution
2. Commissioner Pledger shares that the previous plans should work with the previously approved variances and minimize the need for variances

3. Chair Meisel shares their belief that the structure is oversized for the lot
4. Commissioner Stewart indicates that there may be a fundamental problem with the design when further deviations is required in addition to the previously-granted variances.
- d. **Action:** Commissioner Pledger moves to recommend the variance request be forwarded to the Board of Adjustment with a recommendation of **denial**.
  1. Commissioner Stewart seconds
  2. The motion **carries** (3-0)

**The recommendation will be forwarded to the May 13<sup>th</sup> City Council meeting**

6. **Public Hearing: 406 Redbud Trail.** Discuss and make a recommendation to City Council on proposed variances:
  - a. To allow for the removal of a 17-inch cedar and 14-inch live oak (Section 22.03.304(a)(4))

Applicant: Bhavani Singal, Workshop No. 5

**Note: Agenda items 5 and 6 are related to the same proposed project, but are separate items due to the division of City Council and Board of Adjustment authority over the requested code sections in the variance requests. Since both items require ZAPCO recommendation, the items were discussed concurrently and recorded in the minutes for item 5.**

- a. **Action:** Commissioner Pledger moves to forward the variance request to City Council with a recommendation of **denial**.
  3. Commissioner Maccini seconds
  4. The motion **carries** unanimously (3-0)

**The recommendation will be forwarded to the June 10<sup>th</sup> City Council meeting**

7. **Public Hearing:** Discuss and consider action to make a recommendation to City Council on amendments to the following Code of Ordinances Sections:
  - a. General Provisions – Section 1.01.003
  - b. Administration and Personnel – Section 2.02.031
  - c. Administration – Section 20.02.055
  - d. Building Regulations – Article 22.03
  - e. Subdivision – Sections 36.01.003-004, 36.01.007, 36.01.009, 36.01.012-013
  - f. Zoning – Sections 38.03.032-038, 38.04.031-032, 38.04.034-035, 38.05.032-037, 38.05.098

**a. Staff Report:**

- a. Director Bills and Mayor Vaughan briefed ZAPCO on code changes related to building and development and adjustments to the proposed changes made in response to ZAPCO feedback from the April ZAPCO meeting and May ZAPCO workshop.
- b. Commissioner Pledger asks about primary and secondary street setbacks as they apply to buildings and fences
  - 1. A potential issue was identified allowing solid walls to be placed closer than intended due to the transparency requirement of fences being tied to the building setback and not the fence setback. Mayor Vaughan indicated the proposed changes would be revised accordingly.
  - ii. Commissioner Pledger points out grammar mistakes and suggests that it be corrected for clarity on page 9 of the amendments.
  - iii. Commissioner Maccini shares concerns about the front yard fence setbacks and the screening of the front yard fences with bushes as a hazard for parking in the front of houses.
  - iv. Commissioner Pledger urges the Mayor to add clarification directly within the body of the Code of Ordinances regarding which project types are exempt from permitting.
    - 1. Commissioner Stewart suggests it may be better to simply have a page on the City website clarifying which projects require permitting and which do not.

**8. Adjournment**

Chair Meisel adjourns the meeting at 8:10pm

APPROVED:

\_\_\_\_\_

Robert Meisel, Chair

ATTEST:

\_\_\_\_\_

Joel Sherrouse, Development Coordinator

These minutes were approved on \_\_\_\_\_, 2026.

**From:** [Planner](#)  
**To:** [Jennifer Bills](#); [Elizabeth McNamara](#)  
**Subject:** FW: 406 Redbud Trail - Opposition to Variance Requests.  
**Date:** Wednesday, May 20, 2026 12:16:31 PM

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**From:** Davin Fillpot <davinfillpot@gmail.com>  
**Sent:** Wednesday, May 20, 2026 12:13 PM  
**To:** Planner <planner@westlakehills.gov>  
**Subject:** Fwd: 406 Redbud Trail - Opposition to Variance Requests.

----- Forwarded message -----

**From:** **Davin Fillpot** <[davinfillpot@gmail.com](mailto:davinfillpot@gmail.com)>  
**Date:** Wed, May 20, 2026 at 12:09 PM  
**Subject:** 406 Redbud Trail - Opposition to Variance Requests.  
**To:** Joel Sherrouse <[jsherrouse@westlakehills.gov](mailto:jsherrouse@westlakehills.gov)>, Jennifer Bills <[jbills@westlakehills.gov](mailto:jbills@westlakehills.gov)>, Elizabeth McNamara <[emcnamara@westlakehills.gov](mailto:emcnamara@westlakehills.gov)>

RE: 406 Redbud Trail - Variance Requests.

My wife and I are residents of 404 Redbud Trail.  
We live on the property directly to the south of the subject property.  
We are sending this email as opposition to these variance requests.

We have always known that 406 RedBud Trail would get developed, and a home would be built on this property.

We have absolutely zero problem with anything being built on the 406 RBT property. However, we have always been curious how the property could get developed due to its' extremely rocky and steeply sloping terrain and difficult access.

We have quietly followed all of the previous zoning and planning presentations by listening to the meetings online, and have reviewed all of the documentation that were presented at the previous meetings.

In preparation for this week's meeting, I went to the CoWLH Agenda page, and downloaded all documents that were available for download through the city website. They only included a very basic site plan and slope map, and updated variance questionnaire. No Floor Plans, Elevations, or detailed site plan. I had to file an open

records request to get a copy of the applicant's powerpoint, because it was the only exhibits on file that provided Floor Plans, Elevations and a detailed site plan.

I have had the opportunity to review these documents, not only as an adjacent neighbor, but also as an architect and WLH code consultant.

The exhibit that I thought was extremely eye opening was the slope map that the applicant provided.

It appears that 75% of the property contains slopes greater than 25%, and it appears that approx 30% of the property exists on slopes greater than 35%.

The only thing that is permitted on slopes greater than 35% are pier foundations. That's it. Septic drainfields can not even exist on slopes greater than 30%.

Simply stated. Due to the steep nature of the site's topography, and the significant reduction in the parts of the lot that are developable, This 1 acre parcel is essentially reduced to a lot size equivalent to approx .65 Acre.

I do believe that a house that is 5 or 6,000 SF of conditioned space could work on this property. It would still be tricky. It might even require a variance to remove a cedar tree or two.

Is the topography on this lot a hardship? Clearly.

Does the topography on this lot greatly restrict its ability to be developed? Somewhat. But I do not believe that hardship of the topography warrants the granting of multiple variances so that a 9,000 SF house can be built on a lot that is essentially .65 acres in size.

I believe it is just simply too big of a house for this significantly burdened piece of property to be able to support.

Also, I do not believe that it is the responsibility of ZAPCO or BOA to feel that they have an obligation to contort themselves around the building code to justify granting variances for a house that is simply too big for this severely impacted property.

Thank you all for your service to the city.

Kind Regards,

Davin Fillpot

Resident of 404 Red Bud Trail

**May 12, 2026**

Stephen and Michelle Barron  
1 Valbella Drive  
West Lake Hills, TX 78746

**To:**

Robert Meisel, ZAPCO Chair  
City of West Lake Hills  
911 Westlake Drive  
West Lake Hills, TX 78746

**Subject:** Opposition to 406 Redbud Trail Variance Request

Dear Mr. Meisel and Members of the Zoning and Planning Commission,

I have attended or listened to every zoning board meeting regarding this applicant's repeated requests for variances. At each meeting, the Board and neighborhood residents have consistently raised the same specific concerns about the proposed development.

The last meeting was particularly clear: this is a challenging, long-standing parcel that has remained unchanged since the property's original platting. Despite this, we are now reviewing a fourth or fifth resubmission. It appears the applicant views the City of West Lake Hills zoning code not as a binding regulation, but as a starting point for negotiation. The code is their hardship per the comments of the applicant in the variance application.

On multiple occasions, the applicant has requested that the Board pause or defer a ruling. This approach prevents any concrete decision from being placed on the record and simply prolongs the process.

It is time to end this cycle. We should adhere to our adopted code and deliver a clear message: the proposed home will not be approved unless it is substantially reduced in size so that no variances are required. The topography and size of this lot do not support the applicants proposed development plans. Our zoning regulations exist to protect the character of West Lake Hills and the interests of all residents, not to accommodate oversized development on difficult lots.

Continuing to entertain repeated requests wastes valuable Board time and taxpayer resources. I respectfully urge the Board to uphold our code and deny any further variances for this project in its current form.

Below is a part memorial of my previous letters, and updates relative to the new variance requests.

As residents of West Lake Hills since 2014, we built our home at 1 Valbella Drive in 2017 without requesting any variances, despite making significant sacrifices to our original plans to comply with city codes. We are concerned about the repeated variance requests for the proposed development at 406 Redbud Trail, particularly the current application for four additional variances. We respectfully urge the commission to deny this request and address the following issues.

### **Concerns Regarding Variances**

The proposed development at 406 Redbud Trail appears to require variances due to a home footprint that exceeds the capacity of this one-acre parcel. The property owners were aware of the lot's limitations at the time of purchase, and claims of hardship due to improper planning are unjustified. Specifically:

1. **Tree Removal and Replacement:** Previous variances permitted the removal of over 220-300 replacement inches of trees, yet the updated plans lack provisions for replanting or adequate planting areas given the **extreme slope, shallow soil and rocky conditions**. Without dedicated retaining walls in areas with 35pct slope I do not see how the applicant can replace up to 300 inches of trees on this property. The claim to replace inches is just that, a hypothetical claim. The property in existing condition does not lend to replanting. We request that the commission require a concrete replanting plan inclusive of soil depths study to preserve the neighborhood's aesthetic and environmental integrity, rather than relying solely on the city tree fund, which does not directly benefit our community. Has a soil depth study for each aspect (Septic, Tree Replacement, etc.) of development been completed for this project? The balance of the area outside of the building zone has 35% or greater slopes.

**Removal of two new Trees** On top of the eight trees already requested for variance, the applicant is now requesting two new large specimen trees to be removed. One is an extremely large oak tree on top of the three specimen oak trees in previous variance requests. This is the type of tree West Lake seeks to preserve. The tree looks to be 70plus years old. Do we just destroy our natural environment for the sake of oversized development. We are against granting any further tree variances to the applicant.

2. **Septic System and Setback Compliance:** The septic system design appears to encroach on setback areas, raising concerns about future variance requests. If the plan is to located the septic in the septic along Skyline Drive, then the issue is how does install of drain field work amongst all those trees. We ask the commission to scrutinize this issue to prevent further non-compliance.
3. **Slope Regulations:** The construction on slopes exceeding 35% violates city codes. A smaller home design could eliminate the need for this variance, and we urge strict adherence to these regulations to protect the area's natural landscape. The slope map does not have enough definition of actual slope. 1–2-foot intervals are needed on the map to really assess the slope severity of the property.
4. **Encroaching into the 50ft Skyline Drive setback:** Our home at 1 Valbella Drive has five separate setback requirements due to multiple street frontages, the Skyline Drive right-of-way, and the adjacent greenbelt. When we built our home, we did not request any variances. Instead, we modified our design to fully comply with the City's zoning code.

Setbacks in this area serve a critical purpose: preserving the natural character of the neighborhood and maintaining privacy between properties. I strongly oppose any encroachment into the setback area along the Skyline Drive right-of-way. This is particularly concerning given that the board and citizens suggested the property does not support the scale of proposed home, and to be successful in their application to significantly reduce the home footprint. That was ignored by the applicant.

5. **Driveway:** The proposed driveway looks to be challenging due to the required U-turn in such a short space back to the house. Will this become another modification or variance request? A straight driveway further south down Redbud seems feasible, but due to slopes the applicant may require another variance.
6. **Front of Home Perspective:** Based on the 3D renderings provided it appears the home has a 12-foot wall at the front of the property, which is quite visible from the street. How is this wall to be effectively screened?

Given these concerns, we oppose the approval of additional variances and request a thorough review of previously granted variances to ensure compliance with mitigation measures.

## **Construction Parking and Safety Concerns**

The proposed development also poses significant parking and safety challenges. The limited space on the property will likely force construction workers and delivery trucks to park on surrounding streets, creating unsafe conditions. During recent city work on Redbud Trail, parking in front of fire hydrants at the Skyline Drive and Redbud Trail intersection created a hazardous situation, particularly given our area's high fire risk. Additionally, construction equipment and debris littered the Skyline Drive right-of-way, and replanted vegetation along Skyline Drive has died due to inadequate irrigation—a situation likely to worsen with two years of construction traffic.

As leader of the Juniper Ridge Subdivision HOA, representing six properties, I have heard majority concerns from homeowners about this variance request and the construction overflow parking on Valbella Drive, Sweet Sky, and Skyline Drive. These narrow streets already face traffic issues, disrupting garbage pickup and delivery services. Mass parking could also impede fire truck access, exacerbating fire safety risks.

We strongly request that, if the development is approved, the commission mandate within the condition of issuing the construction permit a parking plan prohibiting construction-related parking or equipment storage along Skyline Drive (from the top to Redbud Trail), Valbella Drive, and Sweet Sky. This plan should ensure safe passage for emergency vehicles and maintain neighborhood accessibility.

## **Conclusion**

We respectfully oppose the variance request for 406 Redbud Trail due to its non-compliance with city codes, environmental impact, and potential safety hazards. We urge the commission to enforce existing regulations, require detailed mitigation plans for prior variances, and mandate a comprehensive parking plan to protect our community's safety and character. Should an alternative plan be proposed that addresses these concerns, we would be open to further discussion. Thank you for your attention to this matter. Please feel free to contact us at [sbarron6@mac.com](mailto:sbarron6@mac.com) if you require additional input.

Sincerely,

Stephen and Michelle Barron



Juniper Ridge HOA

Exhibit A

406 Redbud Trl - Variances

Applicant's Findings of Fact

1. **The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.**

The site's topography and the cut and fill limits per section 7.4.1. of the drainage and erosion control design manual make the site challenging to build on.

2. **There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.**

Many trees that exist on the site are struggling due to the steep slopes and natural drainage patterns. Per our previous variance requests that were approved. The site will be replanted to mitigate for trees being removed with many native plantings.

3. **There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.**

We have studied alternate locations for the house presented at previous zapco meetings. The house in its current proposed location met with significantly less variance requests. We have tried to place the home in the most buildable portion of the site. The topography continues to challenge it.

4. **The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.**

Our slope maps illustrate many portions of the site being 35% or greater slope. The house as you can see is located on the flattest portion of the site. Yet it is still interrupted with steep slopes. Moving the building setback line on a street that will never be developed would allow us to move the footprint out of 35% or greater sloped areas. Some portions like the garage and carport still face challenges.

5. **The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.**

We understand the concern for building on steep slopes is to control erosion and possibly water drainage patterns. The house is sitting directly above and will have foundation walls that will contain the portion of the site with steep slopes. Removing any erosion concerns.

6. **The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.**

The impact of this would not be visible by the neighbors. The perimeter walls of the house still comply with the requirements per DECDM 7.4.1 TABLE 7-1. Reducing any visible impacts to the neighborhood. Its the portion of the site directly under the home that we are requesting a variance for.



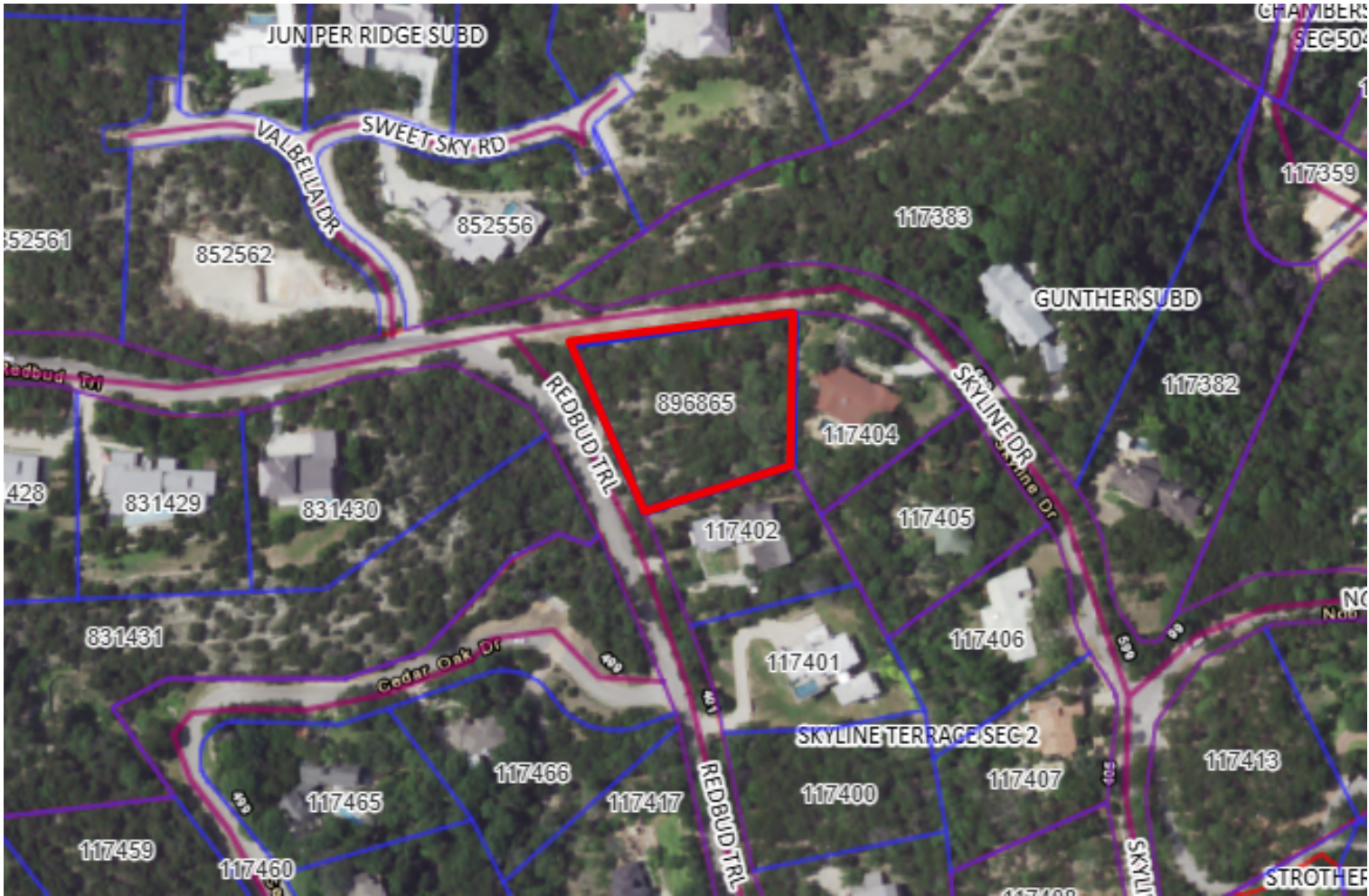
# 406 Redbud Trail

Discuss and consider action based on ZAPCO recommendation on proposed variances:

- a. To allow grading up to 6 feet on slopes of greater than 35%, where no grading is allowed (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Bhavani Singal, Workshop No 5

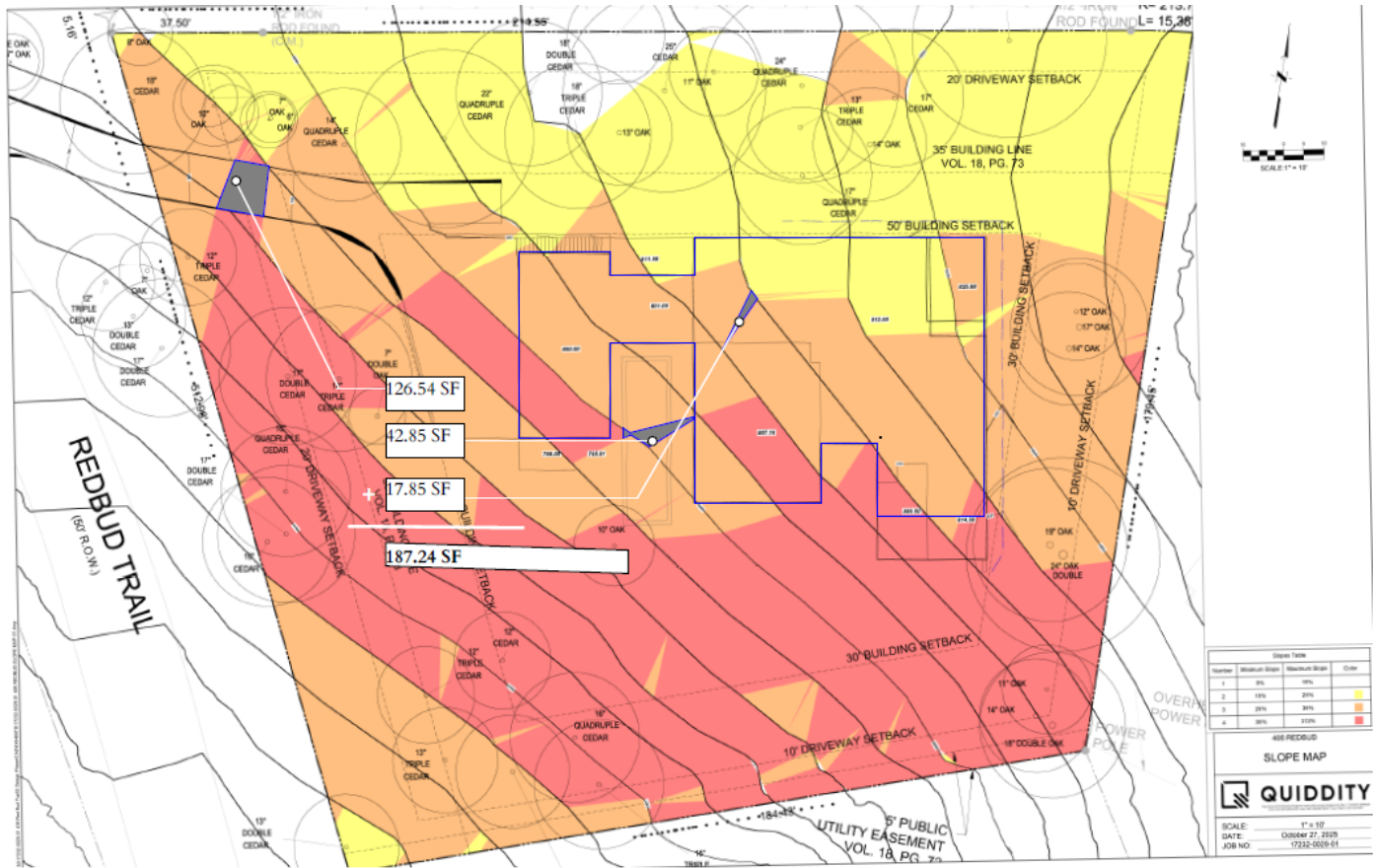
# 406 Redbud Trail



# 406 Redbud Trail

- The applicant is proposing to build a new residential house on an undeveloped lot.
- The property was granted three variances at the June 12, 2024, City Council/BOA meeting:
  - 1) to allow the driveway to exceed the 6-foot height limit to 10 feet,
  - 2) to exceed the closed fill to 10 feet where 6 is the maximum, and
  - 3) to remove 8 trees 14 inches or greater.
- The property requested an additional variance to grade in areas of greater than 35% at the October 15, 2025, ZAPCO meeting, but postponed to provide additional information

# 406 Redbud Trail



Proposed Site

# 406 Redbud Trail

## Site Disturbance deferral to Drainage and Erosion Control Design Manual

**Code Reference:**

**Drainage and Erosion Control Design Manual Section 7.4.1– Cut/Fill Limits**

In order to reduce stormwater runoff, resulting in erosion, sedimentation and conveyance of nonpoint source pollutants, the layout of the street network, lots and building sites shall, to the greatest extent possible, be sited and aligned along natural contour lines, and shall minimize the amount of cut and fill on slopes in order to minimize the amount of land area disturbed during construction. The maximum cut and fill limits are shown in Table 7-1.

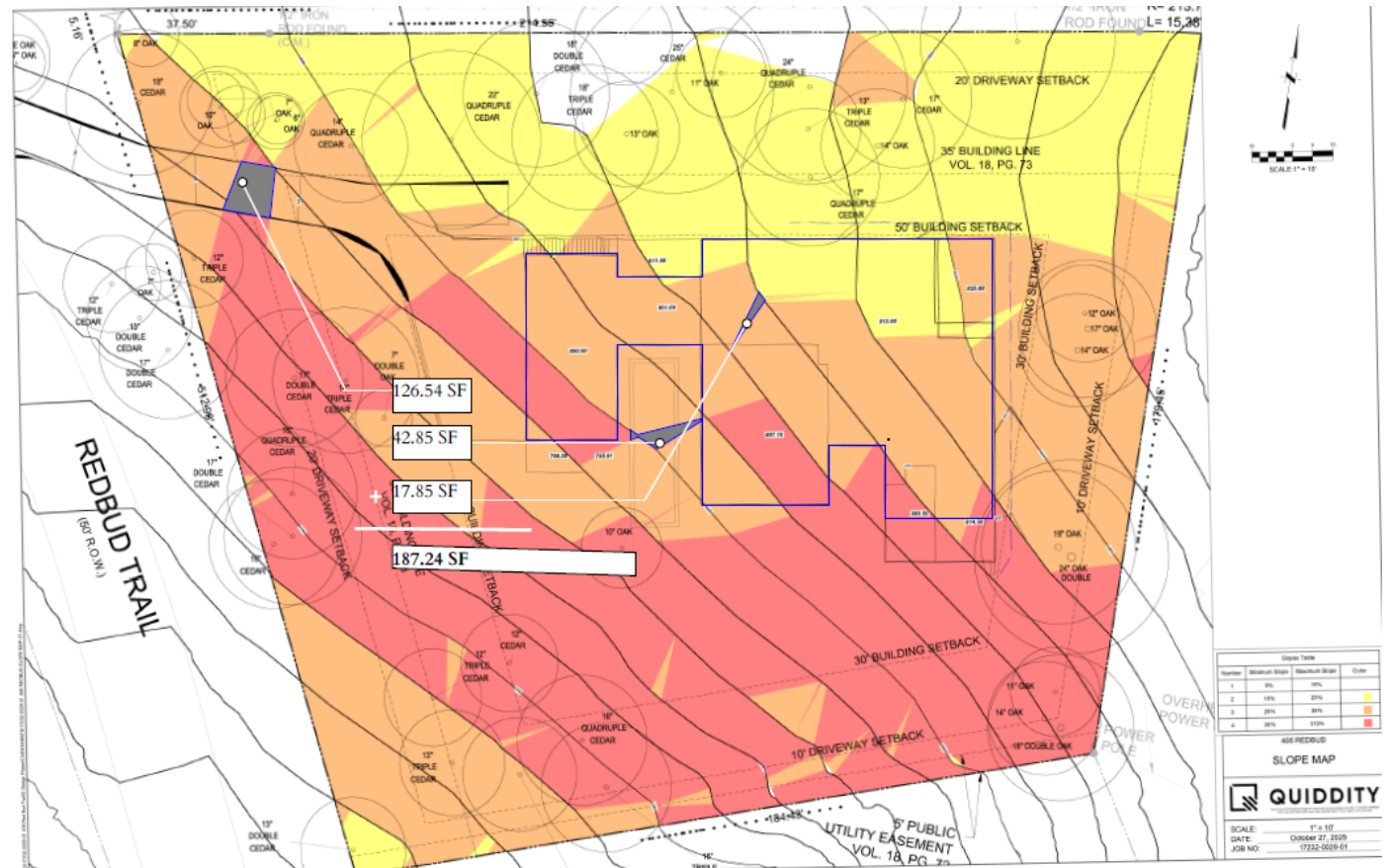
**Table 7-1: Maximum Cut and Fill Limits**

Slope	Open Cuts and Fills	Closed Cuts	Closed Fill
0 - 15%	3 feet	20 feet	6 feet
15 - 25%	1 foot	15 feet	6 feet
25% - 35%	0 feet	10 feet	6 feet
> 35%	0 feet	0 feet	0 feet

# 406 Redbud Trail

## Request:

To grade 6 feet on slopes of greater than 35%, where no grading is allowed. The variance submittal includes an exhibit showing where the footprint of the proposed residence is located on slopes of greater than 35%, but does not include the extent of the grading in those areas.



- Portion of driveway will require 4' excavation in the 35% or greater slope (126.54 sf)
- Pool will require max of 6' closed cut in 35% or greater slope (42.85 sf)
- Living Room will require max of 6' of closed cut in 35% or greater slope (17.85)

# 406 Redbud Trail

**Public Comments:** As of the date of the staff report, three spoken and two emailed in comments opposing the variances were received at the May 20, ZAPCO meeting

# 406 Redbud Trail

Discuss and provide a recommendation including the analysis of the following criteria:

1. The variance may violate the intent of this chapter or the goals of the city's comprehensive plan; and
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners' enjoyment thereof.

The Zoning and Planning Commission, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria.

The Zoning and Planning Commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

**The Zoning and Planning Commission considered this item at the May 20, 2026, meeting and recommended denial by a vote of 3-0.**

# 406 Redbud Trail

## Applicable Interpretative criteria

1. Variances from the terms of this chapter should be granted sparingly.
2. Deviations from the requirements of this chapter are justified only where the hardship resulting from their application is substantial.
3. Usually, the granting of a variance must be predicated on a finding that the applicant's hardship arises from unusual conditions or circumstances, such as exceptional irregularity of shape or topography, which are peculiar to the parcel of land involved and not shared generally by other parcels in the neighborhood or district, or because no other reasonable alternative is available that will alleviate the unnecessary hardship complained of.
4. Normally, a variance is to be denied if conditions or circumstances relied on for a variance were self-created by the person having an interest in the property in disregard of city regulations.
5. The variance shall not violate the goals of the master plan for the city.
6. The variance shall not have an adverse effect on neighborhood properties or unreasonably interfere with the respective owners' enjoyment thereof.
7. The fact that lots, structures, uses or dimensional conditions on properties or structures within 200 feet of the property involved are, because they are nonconforming or because of previously granted variances, similar to the condition which would be created by the variance requested shall be relevant to, but not determinative of, the granting of the requested variance.