



CITY OF WEST LAKE HILLS, TEXAS
NOTICE OF ZONING & PLANNING COMMISSION (ZAPCO) REGULAR MEETING
Wednesday, March 18, 2026 at 6:30 PM

Notice is hereby given that the Zoning and Planning Commission (ZAPCO) of the City of West Lake Hills, Texas, will hold a Regular Meeting on the 18th day of March 2026 at 6:30 p.m., in the Council Chamber, Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas, at which time the following items will be discussed, to-wit:

REMOTE ACCESS - Join Zoom Meeting at <https://us02web.zoom.us/j/3499549035>
Or via telephone: Dial (346) 248-7799
Meeting ID: 349 954 9035

If you wish to speak during the meeting or provide written comments, please email your name, phone number, comments, and the item number you wish to speak on to planner@westlakehills.gov by 1:00 P.M. on March 18, 2026.

1. Call to Order. Chair Robert Meisel.
2. Citizen Communications The Commission welcomes public comments at this point on any issue. If the issue is listed on the agenda, the speaker may choose to comment during the Public Comment period or when the specific agenda item is taken up by the Commission later in the meeting. The Commission cannot respond to or discuss matters not listed on the agenda. The Commission may provide factual information, refer the item to a staff member, or request the item be added to a future meeting agenda. Speakers shall limit their comments to five (5) minutes each.
3. Consent Agenda The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these item/s unless a Commission Member or citizen so requests.
 - a. Approval of the February 18, 2026 Zoning and Planning Commission minutes,
 - b. Report of previous cases ZAPCO acted on by BOA/City Council.
4. Public Hearing Discuss and make a recommendation on a variance to allow a second driveway when a maximum of one is allowed on what will be the property for 98 & 102

Swiftcurrent Trail (Section 22.03.175(e)(2)).

Applicant: Catherine Wilkes, Property Owner of 98 Swiftcurrent and Francisco Rios,
Property Owner of 102 Swiftcurrent

5. Public Hearing Discuss and make a recommendation on proposed variances for the removal of one tree (14.25 inch elm) with trunk diameters of 14 inches or greater, (Section 22.03.304 of the West Lake Hills Code).

Applicant: Nina Falgout Sterrett, Arterberry Cooke Architecture

6. Public Hearing Discuss and consider action to make a recommendation to City Council on the adoption of the amended Drainage and Erosion Control Design Manual.
7. Adjournment. Chair Robert Meisel.

By Jennifer C. Bills, Director of Building &
Development Services

Certificate

I certify that the above Notice of the March 18, 2026 Zoning & Planning Commission Meeting was posted on the bulletin board at the Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas on Thursday, March 12, 2026 at 5:00 pm. and will remain posted continuously until said meeting is convened.

By Joel Sherrouse, Development Coordinator

The City of West Lake Hills is committed to compliance with the Americans with Disabilities Act. Reasonable accommodations and equal access to communications will be provided upon request.

All items on the agenda are for discussion and/or action. ZAPCO reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development).

City of West Lake Hills

MINUTES OF A ZONING & PLANNING COMMISSION (ZAPCO) REGULAR MEETING

Wednesday, February 18, 2026 at 6:30 PM

1. **Call to Order: Chair Robert Meisel**

- a. Meeting begins at 6:30pm
- b. Roll Call
 1. Chair Robert Meisel: Present
 2. Vice-Chair Jim Pledger: Present
 3. Commissioner Julia Webber: Present
 4. Commissioner Karen Bartoletti: Present
 5. Commissioner Patrick Stewart: Present
 6. Commissioner Laurie Maccini: Present

2. **Citizen Communications:**

- a. No public comments.

3. **Consent Agenda:** The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these item/s unless a Commission Member or citizen so requests.

- a. Approval of the January 21, 2026 Zoning and Planning Commission Minutes.
- b. Report of previous cases ZAPCO acted on by BOA/City Council.

Action: Commissioner Stewart moves for approval of the Consent Agenda

- i. Commissioner Webber Seconds
- ii. Motion carries unanimously (5-0)

Chair Meisel moves the discussion of Item 7, 102 Swiftcurrent up on the agenda for discussion.

7. Discuss and consider a recommendation to Board of Adjustments on a variance to allow a second driveway when a maximum of one is allowed (Section 22.03.175(e)(2)).

Applicant: Francisco Rios,

A. Staff Report:

1. Director Bills details the replat of 100 Swiftcurrent which resulted in the property to be landlocked. Director Bills described the details of the proposed driveway with a curb cut on 102 Swiftcurrent to access the

- easement on 98 Swiftcurrent to provide driveway access for 100 Swiftcurrent.
2. Chair Meisel calls to postpone the item to the March ZAPCO meeting
 1. The owners of 98 Swiftcurrent stated their objection to the postponement.

Chair Meisel moves the full discussion and consideration of Item 7 to its initial place in the agenda.

4. **Public Hearing 300 Block of Laurel Valley Rd:** Discuss and make recommendations on proposed variances:
 1. Allow for a driveway height greater than 6 feet above natural grade (Section 22.03.175(e)(1))
 2. Allow building height greater than 32 feet above natural grade on a slope of 25% or greater (Section 22.03.279(b))
 3. Encroach 20 feet into the platted 50-foot front building setback along Yaupon Valley Road (Section 22.03.281)
 4. Encroach 15 feet into both 25-foot side setbacks (Section 22.03.281)
 5. Allow fills up to 15 feet where the maximum allowed is 6 feet on slopes of less than 35% (Section 22.03.170(b)– Drainage and Erosion Control Design Manual Section 7.4.1)
 6. Allow for grading in areas of slopes greater than 35% where none is allowed (Section 22.03.170(b)– Drainage and Erosion Control Design Manual Section 7.4.1)
 7. Allow grading greater than 18 inches within setbacks (Section 22.03.170(f)).

Applicant: Matt Garcia

Note: Items 4 and 5 are related to the same property and are separate due to Zoning variance requests being forwarded to the Board of Adjustments while the Tree variance request is forwarded to City Council. They were largely discussed as a single item, recorded in the minutes for item 4, while the motions were separated.

A. Staff Report:

- a. **Director Bills** describes the history of the property and the variance requests.
- b. **Chair Meisel** asks why the property is taking access off of Yaupon Valley Road instead of Laurel Valley.

- c. **Commissioner Webber** asks if there is room on the property with the proposed development to replace the illegally-removed trees.

B. Public Comments:

- a. **Matt Garcia – Applicant**
 - 1. Indicates that trees had been removed by prior owner
 - 2. Speaks in favor of variance requests
- b. A letter (Attached to minutes as “Exhibit A”) in opposition to the variances from Steve Brown of 300 Cedar Oak Drive was read into the record
- c. A letter (Attached to minutes as “Exhibit B”) in opposition to the variances from Jane Noble of 801 Yaupon Valley Road was read into the record

C. Discussion:

- a. **Commissioner Webber** asks what the proposed square footage of the new house is.
 - 1. **Matt Garcia:** 4320 square feet
- b. **Commissioner Maccini** asks if there has been a recent tree survey of the property.
 - 1. **Director Bills:** None has been provided.
- c. **Commissioner Webber:** The scope of the variances represents a mockery of city code.
- d. **Chair Meisel** indicates that according to the Appraisal District, the ownership hasn’t changed since 2020, and that it was this owner that removed the trees.
- e. **Commissioner Webber:** Space required for tree mitigation needs to be quantified.
- f. **Commissioner Pledger:** There is no hardship, and the magnitude of variances requested would require a dramatic hardship.

D. Action:

- a. **Commissioner Webber** moves to forward all variance requests to the Board of Adjustment with a recommendation of **denial** for lack of hardship.
 - 1. Commissioner Pledger seconds,
 - 2. Motion carries unanimously (5-0).

The variance request and recommendation will be forwarded to the March 11, 2026 Board of Adjustments Meeting.

- 5. Public Hearing 300 Block of Laurel Valley Rd: Discuss and make recommendations on proposed variances:

Allow replacement trees for unpermitted removals to be planted at the end of the project, more than 601 days since the final order (Section 22.03.304(c)(5)).

Applicant: Matt Garcia

Note: Items 4 and 5 are related to the same property and are separate due to Zoning variance requests being forwarded to the Board of Adjustments while the Tree variance request is forwarded to City Council. They were largely discussed as a single item, recorded in the minutes for item 4, while the motions were separated.

A. Staff Report:

- a. See minutes for item 4

B. Public Comments:

- a. See minutes for Item 4

C. Discussion:

- a. See minutes for item 4

D. Action:

- a. **Commissioner Bartoletti** moves to forward the variance request to the Board of Adjustment with a recommendation of **denial** for lack of hardship.
 - i. Commissioner Webber seconds
 - ii. Motion carries unanimously (5-0)

The variance request and recommendation will be forwarded to the March 11, 2026 City Council Meeting.

6. Public Hearing 101 Westhaven Dr. : Discuss and make a recommendation to Board of Adjustment on variances to allow for an accessory structure:

1. To encroach 22 feet into the 30-foot front setback along Bee Cave Road (Section 22.03.276 and 22.03.281)
2. To encroach 20 feet into the 25-foot rear setback (Section 22.03.276 and Section 22.03.281)

Applicant: Pramod Patil, Property Owner

A. Staff Report:

- a. Director Bills details that proposed shed to be in a similar location after a storm destroyed the existing shed.
- b. Director Bills shares that the lot lost 14 feet of the front setback to TXDOT's expansion of Bee Cave Rd.

- c. Stewart asks if the shed was there before 2014 and if it has HVAC, Plumbing, Water.
 - a. Director Bills states that the shed would just have electric.
- d. Bartoletti asks if the shed was in the setback prior to the sale of the portion of the lot.
 - a. Director Bills says yes.
- e. Pledger asks if the shed predates the setback code.
 - a. Director Bills states she is unsure of how old the original shed was, but not older than 2002 according to a survey of the property provided by the applicant.

B. Public Comments:

- a. **Pramod Patil** - Applicant:
 - 1. Presented request for variance.

C. Discussion:

- a. **Commissioner Maccini** states that the variance is a direct hardship and is in support of the variances.
- b. **Commissioner Webber** thanks Patil for the presentation and is in support.

D. Action:

- a. Commissioner Maccini moves to forward the variances to City Council with a recommendation of **approval**.
 - a. Commissioner Webber seconds,
 - b. Motion carries (5-0) unanimously.

The variance request and recommendation will be forwarded to the March 11, 2026 Board of Adjustments Meeting.

- 7. **102 Swiftcurrent.** Discuss and consider a recommendation to Board of Adjustments on a variance to allow a second driveway when a maximum of one is allowed (Section 22.03.175(e)(2))

Applicant: Francisco Rios, Property Owner

Note: Chair Meisel chose to recuse himself from the discussion on the variance request because he was involved in the prior replat of the property as the property owner. Vice-Chair Pledger led the discussion on this item.

a. Staff Report:

- 1. **Director Bills** details that the only applicant on record is 102 Swiftcurrent.

2. **Commissioner Bartoletti** states that the variance request should be postponed to the next meeting because of insufficient information to the application.
 3. **Commissioner Pledger** asks why the other two property owners were not on the application
 4. Maccini asks to hear from the applicant
 5. Bartoletti asks Director Bills and Assistant City Attorney Thamm if the applicant owns the property
 1. **Director Bills** clarifies that the applicant owns 102 Swiftcurrent, but that the goals of the applicants are to receive the variance and sell the portion of the property for which the variance is requested to the owners of 98 Swiftcurrent.
 - a. If the property lines are moved, the properties would need to go through the subdivision process prior to additional development.
- b. Public Comment:**
1. Francisco Rios, Applicant:
 1. Clarified the comments made by the commission and agrees with the commission that all three parties should be involved.
- c. Discussion:**
1. Pledger asks the applicant to postpone to the March ZAPCO meeting
 2. Director Bills shares her recommendation of 98 Swiftcurrent to be the applicant/agent, with 102 Swiftcurrent providing power of attorney.
 3. Maccini asks who will eventually own the driveway.
 1. As proposed by the current owners of 98 and 102 Swiftcurrent, Director Bills states that 98 Swiftcurrent will own the driveway
 4. Pledger states the applicant should be the owner of the driveway and all parties be included.
 5. Webber states that part of the application should include the impervious cover calculations.
 1. Webber asks if it's appropriate for 98 Swiftcurrent to be the applicant.
 - a. Development Coordinator Sherrouse explains that the City has a standard Power of Attorney form that can be submitted to the application to allow the application to represent multiple properties.
 6. Applicant requests postponement to the March 18, 2026 ZAPCO meeting.
- d. Action:**
1. Bartoletti moves that the request be postponed to the March 18, 2026 ZAPCO Meeting
 1. Commission Webber seconds,
 2. The vote passes (5-0) unanimously.

The variance request is postponed to the March 18, 2026 ZAPCO meeting

Chair Robert Meisel returns to the dais.

8. **Adjournment**

Chair Meisel adjourns the meeting at 7:48pm

APPROVED:

Robert Meisel, Chair

ATTEST:

Joel Sherrouse, Development Coordinator

These minutes were approved on _____, 2026.

DRAFT

Exhibit A

From: [REDACTED]
To: [Joel Sherrouse; Jennifer Bills](#)
Subject: Comments for Zapco Meeting, 18 Feb 2026 / 300 Block Laurel Valley
Date: Saturday, February 14, 2026 10:13:37 AM

You don't often get email from [REDACTED]. [Learn why this is important](#)

Hi Jennifer & Joel- I attended the last meeting in person but the window was cut short at the very end to speak. In the event I'm unable to attend in person this week, I may be traveling (but could try virtually), I would like this short email submitted in the building proposal and read out loud at the meeting. If you (or another member of the committee) are unable to perform this, please let me know.

Dear Members of the ZAPCO Commission and the West Lake Hills community,

I am writing regarding the property on the 300 block of Laurel Valley.

Like many in our community, I was deeply disappointed to see the extensive tree clearing on this lot. The natural canopy and screening are a defining part of why residents choose to live in West Lake Hills, and once mature trees are removed, they cannot simply be replaced in any meaningful timeframe. To date, no meaningful replanting has occurred that could begin restoring coverage or visual buffering.

It is also important to note that the site constraints cited in the variance requests were inherent to the lot at the time of purchase. Granting variances under these circumstances risks undermining the intent of our setback, height, and environmental protections — especially in this particular section of Laurel Valley and Yaupon Valley Roads, where homes already sit in close proximity and depend heavily on natural screening, particularly for neighbors across the canyon.

Unfortunately, the actions taken so far appear to move away from — rather than toward — the spirit of West Lake Hills' building and environmental standards.

Finally, Laurel Valley Road and Yaupon Valley Road are among the most actively walked, ridden, and enjoyed roads in our community. As stewards of this unique area, we should do everything possible to preserve the natural character, protections, and visual integrity that make West Lake Hills special for all residents.

Thank you for your time and consideration, and please include this comment in the public record for the February 18 meeting.

Sincerely,

Steve Brown

300 Cedar Oak Dr

Exhibit B

From: [Trey Fletcher](#)
To: [Jennifer Bills](#); [Joel Sherrouse](#)
Subject: FW: Please forward to ZAPCO members
Date: Tuesday, February 17, 2026 3:47:22 PM

From: Jane Noble [REDACTED]
Sent: Tuesday, February 17, 2026 3:31 PM
To: Terry Blanchard <tBlanchard@westlakehills.gov>
Subject: Please forward to ZAPCO members

Dear ZAPCO members,

I am writing in opposition to all of the requested variances for the property at 309 Laurel Valley Road.

This is one of the most overreaching collections of variance requests I've ever seen. And I've seen a lot. This is a simple case of a commercial real estate developer trying to maximize profit by cramming way too much onto a less than one-half acre lot and trying to grab as much of a view as possible to entice potential buyers. I can't think of a single reason to grant any of these variance requests. This is a clearly buildable lot for the appropriate size house. The developer needs to build within the ordinances or sell and move on.

When you recommend denial the variances, as I hope you will, please include in your motion, a recommendation to BOA/Council that they instruct staff to monitor any action on this lot **like hawks**. The developer has already flagrantly violated the ordinances and his own permit by "clear cutting" the lot hours after the city inspector left, apparently in preparation for the current outlandish plan — because the fines assessed by the city don't mean anything to a big guy real estate developer.

Thank you for your consideration of my concerns and for your service to our city.

Jane Noble
801 Yaupon Valley Road



City of West Lake Hills
Zoning & Planning Commission

AGENDA REPORT

Meeting Date:	March 18, 2026	Item Number:	3b
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	N/A	Source of Funds:	N/A

Subject

Report of Previous ZAPCO cases acted on by the BOA/City Council.

Discussion

Since the February 18, 2025 ZAPCO meeting, the following cases forwarded by ZAPCO were considered at City Council/BOA.

Note: The proposed variances for a lot located in the 300 block of Laurel Valley that had been recommended for denial by ZAPCO have been postponed to the April 8 Board of Adjustment meeting at the applicant's request.

Board of Adjustment:

- 101 Westhaven:** Front and rear setback variances for replacement of a utility shed
 - At the March 11, 2026 BOA meeting, the variances were **approved**.

City Council:

- No items forwarded**



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	March 18, 2026	Item Number:	4
	Building & Development		
Department:	Services		
	Jennifer C. Bills, Director of		
Prepared By:	Building & Development	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

98 and 102 Swiftcurrent Trl.: Discuss and make a recommendation on a variance to allow a second driveway when a maximum of one is allowed (Section 22.03.175(e)(2)).

Applicant: Catherine Wilkes, Property Owner of 98 Swiftcurrent & Francisco Rios, Property Owner of 102 Swiftcurrent

Recommendation

Discuss and make a recommendation to the Board of Adjustment including an analysis of whether:

1. The variance may violate the intent of this chapter or the goals of the city's comprehensive plan.
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners' enjoyment thereof.

The Zoning and Planning Commission, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria listed in the variance criteria in the report.

The Zoning and Planning Commission can recommend imposition of, reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The applicant's findings of fact are in Exhibit A.

This item will be forwarded to the April 8, 2026 Board of Adjustment Meeting.

Discussion

Property Information, Zoning & Site Characteristics:**98 Swiftcurrent Trail**

Owner: David & Catherine Wilkes

Legal Description: Mirkwood Subdivision, Lot 12

Lot Size: 1.018 acres

Zoning: R-1, One-Family Residential

Wastewater: On-site Sewer Facility (OSSF)

102 Swiftcurrent Trail

Owner: Francisco & Katie Rios

Legal Description: Mirkwood Subdivision, Lot 12

Lot Size: 1.018 acres

Zoning: R-1, One-Family Residential

Wastewater: On-site Sewer Facility (OSSF)

The properties surrounding the subject property are zoned R-1 One-Family Residential District.

Background & Analysis:

This item was previously discussed at the February 18, 2026 ZAPCO meeting. The item was postponed so the property owners could clarify the appropriate applicants on the request. The owners of 98 Swiftcurrent were added to the application in addition to the owners of 102 Swiftcurrent. As none of the real property affected includes 100 Swiftcurrent, it was determined that they do not need to be a party to the variance request. The applicants also provided an additional exhibit showing the location of the proposed driveway within the new easement and existing trees.

The applicant is requesting a second driveway for access to 100 Swiftcurrent Trail through 102 Swiftcurrent Trail (Attachment 1). 100 Swiftcurrent is an undeveloped landlocked property that was created with the Edwards Hill Subdivision in 1975. At the time, Swiftcurrent Trail did not exist, so access was taken from Old Bee Cave Road (Attachment 2). There was a 15-foot Ingress-Egress and Utility Easement on the plat along the east boundary of what is now 98 and 100 Swiftcurrent. In 2013, an Amending Plat was approved that transferred acreage to 100 Swiftcurrent (Attachment 3). The amending plat abandoned the 15-foot easement and established a 25-foot Ingress/Egress & Utility Easement along a portion of the reconfigured lots which would provide access to the landlocked property from Swiftcurrent Trail.

Construction on 98 Swiftcurrent was started in 2019 and completed in 2023. In the applicant's narrative, in 2022; during construction, the previous owner of 102 Swiftcurrent had a survey prepared that showed the surveys for 98 and 100 Swiftcurrent were incorrect and the proposed driveway for the new construction was going through the property at 102 Swiftcurrent. The driveway for 98 Swiftcurrent was moved further south during construction to the current location which is outside the surveyed Ingress/Egress easement (Attachment 4).

A1232

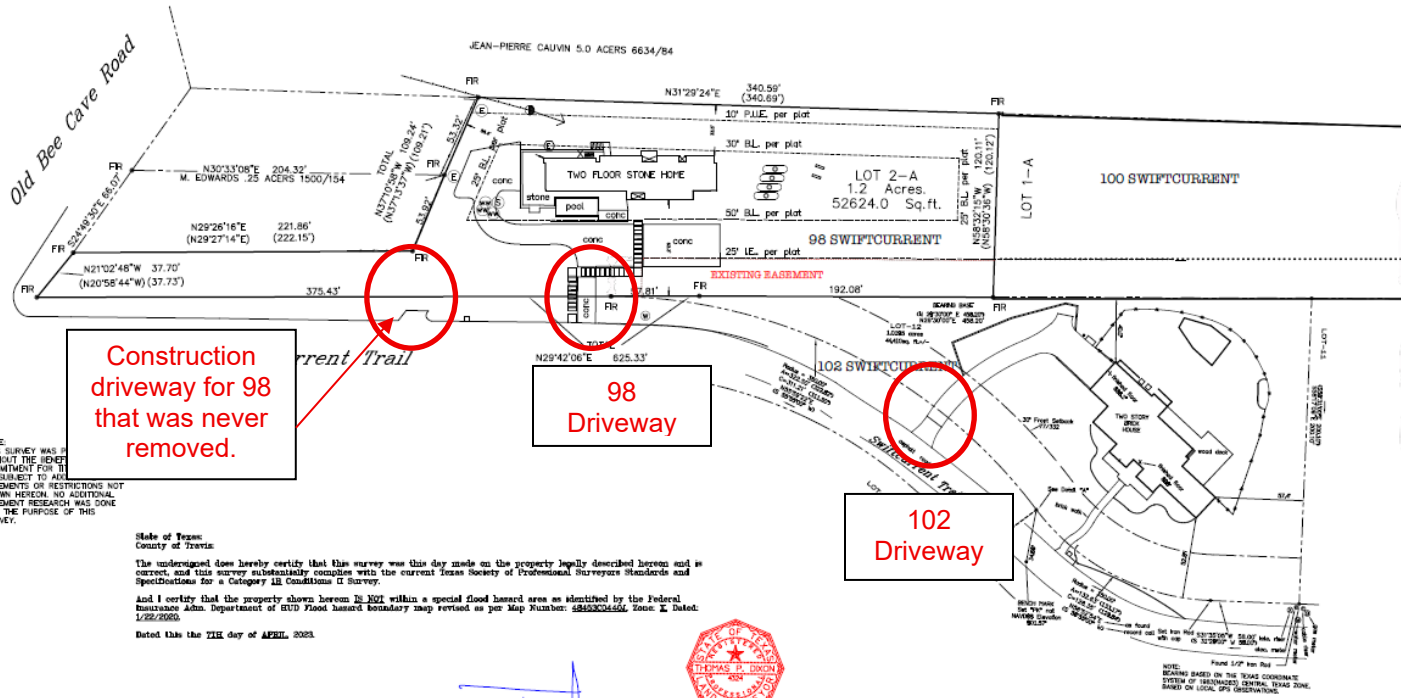
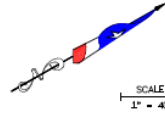
Waterloo Surveyors
SURVEY PLAT
As-Built Survey

OWNER:
 CATHERINE MILKES & DAVID MILKES
 ADDRESS:
 98 SWIFTCURRENT TRAIL, 78746

LEGEND
 RECORD CALL C
 BALANCE SETBACK LINE BL
 PUBLIC UTILITY EASEMENT P.U.E.
 FOREST / EXPRESS EASEMENT LE
 FOUND FEN 100 FR #
 WASTE WATER MAINLINE W
 ELECTRIC MAINLINE E

ELECTRIC PETER
 WATER TANK
 SEPTIC LID
 UTILITY POLE/UTILITY ANCHOR
 UTILITY LINE
 WOOD FENCE
 SIGN POST
 WATER METER

LEGAL DESCRIPTION:
 LOT 2-A, AMENDED PLAT OF EDWARDS HILL SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED AS DOCUMENT NO. 201302243, ORIGINAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.



Construction driveway for 98 that was never removed.

98 Driveway

102 Driveway

NOTE:
 THIS SURVEY WAS MADE WITHOUT THE HIGHEST COMMITMENT FOR IT BE SUBJECT TO ALL EASEMENTS OR RESTRICTIONS NOT SHOWN HEREON. NO ADDITIONAL EASEMENT RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY.

State of Texas
 County of Travis

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and as correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category II Conditions II Survey.

And I certify that the property shown hereon is NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 68400K0460L Zone X Dated: 1/22/2020.

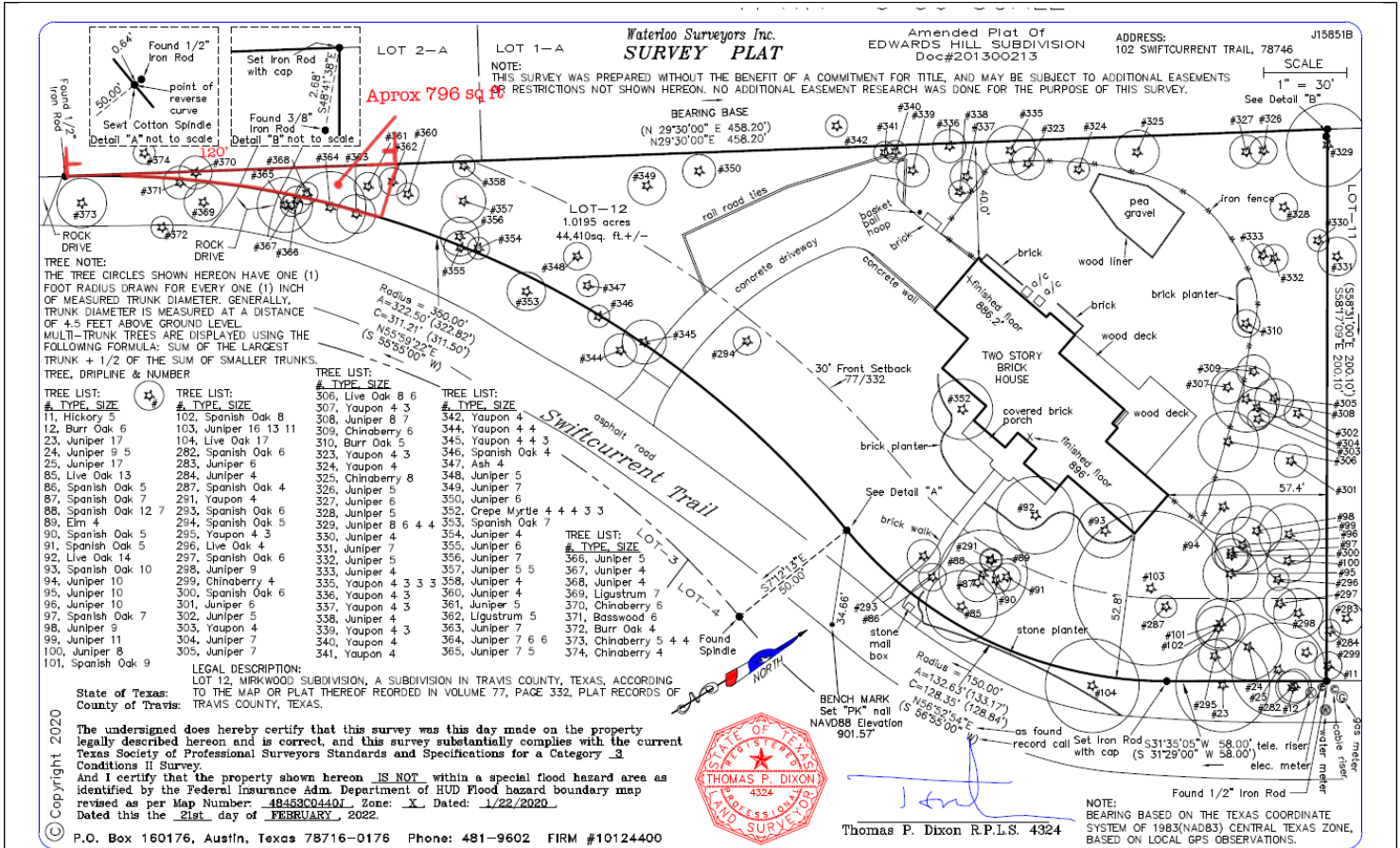
Dated this the THIR day of APRIL, 2023.

Thomas P. Dixon
 Thomas P. Dixon R.P.L.S. 4384



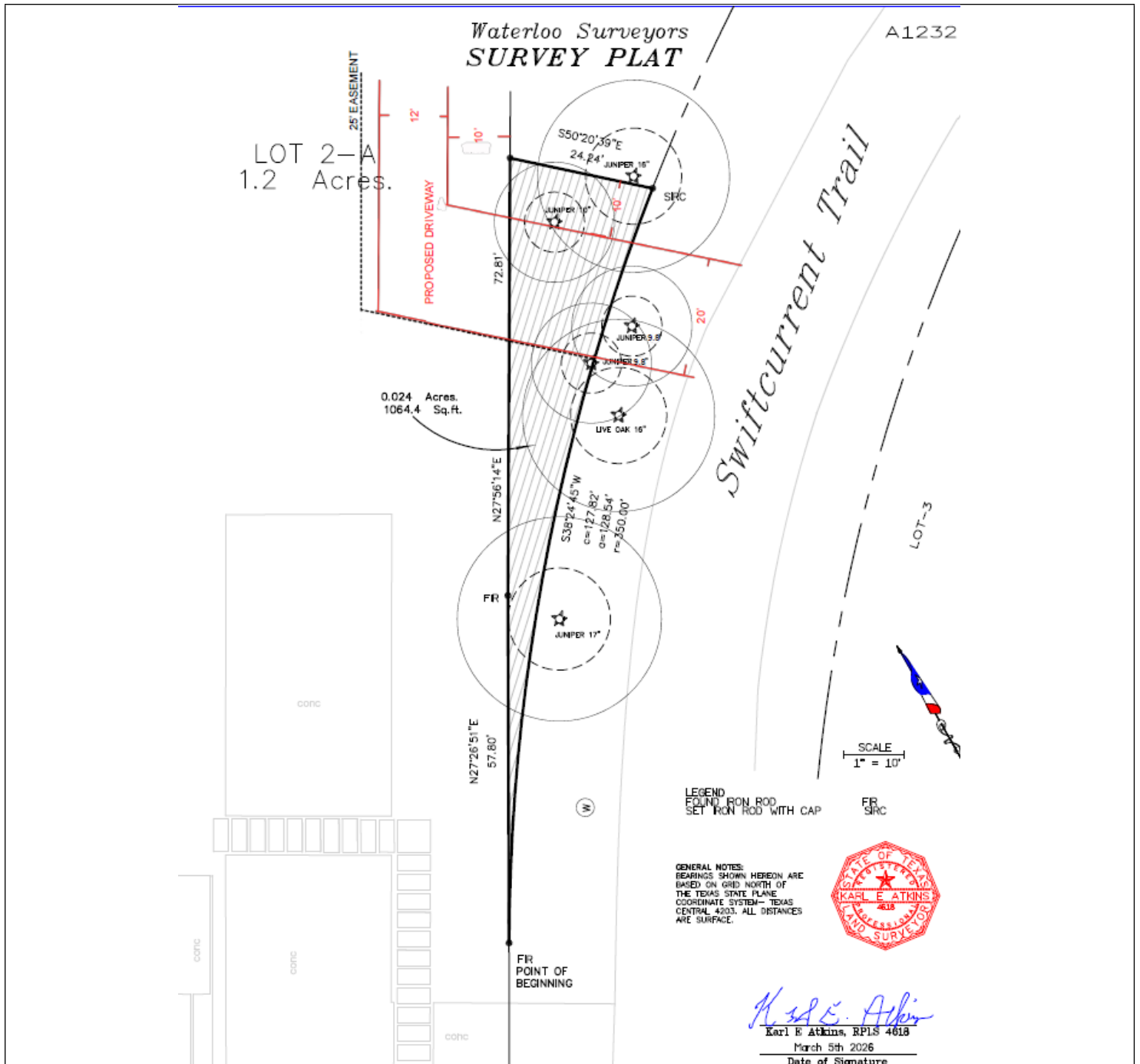
(Attachment 8) 2023 Survey - Existing easement and driveways for 98 and 102 Swiftcurrent Trail

The owners of 98 Swiftcurrent are looking to purchase a piece of 102 Swiftcurrent property to create an additional separate driveway for access to 100 Swiftcurrent.



(Attachment 5) - 2022 Survey for 102 Swiftcurrent depicting area for future purchase

The applicant has provided a conceptual plan drawn on the survey depicting the reconfiguration of the area from 102 to 98 Swiftcurrent and the new proposed driveway. The proposed driveway would encroach on the 10 inch Juniper ¼ critical root zone, which would require removal for construction of the driveway. The applicants have not provided an impervious cover calculation for the additional driveway at this time.



(Attachment 7) Proposed driveway

Driveway Requirements in Residential Areas

Code Reference

22.03.175(e)(2) Off-street parking and parking pad requirements in residential areas

Every driveway entrance/exit shall be at roadway grade level where the driveway intersects the city's right-of-way except as otherwise approved by the city inspector.

(2) Only one driveway is allowed per primary dwelling unit, regardless of the number of lots,

frontage on more than one roadway, or character of accessory structures. The driveway entrance/exit shall not exceed 20 feet in width. The location of all driveways shall be approved by the city inspector. The parking spaces and driveway surfaces shall be those required in sections [22.03.241](#), [22.03.242](#), [22.03.244](#) and [22.03.247](#).

Request

The applicant is requesting a second driveway on a lot with only one dwelling unit where only one driveway is allowed per primary dwelling unit.

Public Comments:

As of the date of the report, one public comment was received prior to the February 18, 2026 ZAPCO meeting (Attachment 9).

Variance Criteria Review:

Per Section 22.03.511 (c) Procedure and notice, Section 22.03.171: Site disturbance (residential buildings), and Section 22.03.276: Setbacks for accessory structures shall be administered in compliance with the rules established by sections 38.05.031 through 38.05.034.

- Section 38.05.031. Provisions subject to variance.

Variances may be granted by the board of adjustment to the provisions of this chapter in accordance with the rules and conditions of this division. A variance may not be granted, however, to authorize a change of use. Variances run with the land, but each variance is specific to the project for which it was granted.

- Section 38.05.032. Conditions required for granting variance.

No variance shall be granted unless the following conditions are fulfilled:

- (1) The applicant has established by competent evidence that:
 - (A) The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.
 - (B) There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
 - (C) There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.
 - (D) The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.
- (2) The recommendation of zoning and planning commission shall include an analysis of whether:
 - (A) The variance may violate the intent of this chapter or the goals of the city's comprehensive plan.
 - (B) (Reserved).

(C) (Reserved).

(D) The variance may have an adverse effect on neighborhood properties, or interfere with the respective owners' enjoyment thereof.

- Section 38.0.033. Interpretative criteria.

The board of adjustment and the zoning and planning commission, in performing their respective duties in reference to applications for variances, may be guided by these interpretative criteria:

- (1) Variances from the terms of this chapter should be granted sparingly.
- (2) Deviations from the requirements of this chapter are justified only where the hardship resulting from their application is substantial.
- (3) Usually, the granting of a variance must be predicated on a finding that the applicant's hardship arises from unusual conditions or circumstances, such as exceptional irregularity of shape or topography, which are peculiar to the parcel of land involved and not shared generally by other parcels in the neighborhood or district, or because no other reasonable alternative is available that will alleviate the unnecessary hardship complained of.
- (4) Normally, a variance is to be denied if conditions or circumstances relied on for a variance were self-created by the person having an interest in the property in disregard of city regulations.
- (5) The variance shall not violate the goals of the master plan for the city.
- (6) The variance shall not have an adverse effect on neighborhood properties or unreasonably interfere with the respective owners' enjoyment thereof.
- (7) The fact that lots, structures, uses or dimensional conditions on properties or structures within 200 feet of the property involved are, because they are nonconforming or because of previously granted variances, similar to the condition which would be created by the variance requested shall be relevant to, but not determinative of, the granting of the requested variance.
- (8) See section 22.03.009(c) for variances to enable the efficient use of solar energy devices.
- (9) When considering variance requests for nonresidential projects, whether granting the variance furthers achievement of the land planning principles set forth in the City's Master Plan, Attachment "B," as codified in the Code of Ordinances.

- Section 38.05.035. Conditions.

The city council can impose, and the zoning and planning commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects, whether, the City can recommend the imposition of reasonable conditions that are necessary to achieve one or more of the land planning principles set forth in the City's Master Plan, Attachment "B", as codified in chapter 28 of the Code of Ordinances.

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City's Code.

Compliance with Adopted International Building Code

The property and future construction will have to comply with all applicable City codes.

Subdivision

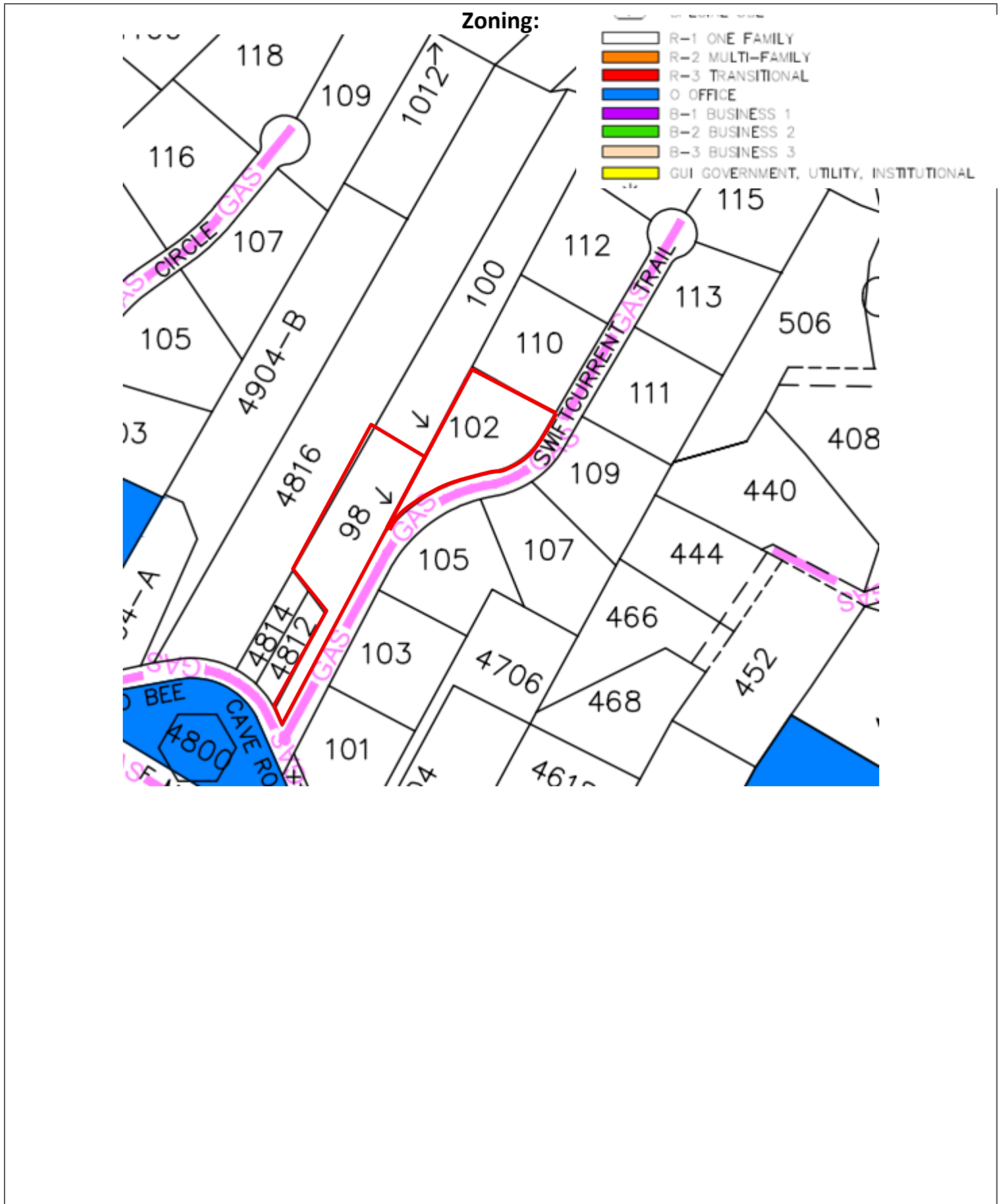
There is no change to the subdivision proposed with this application.

Comprehensive Planning Analysis

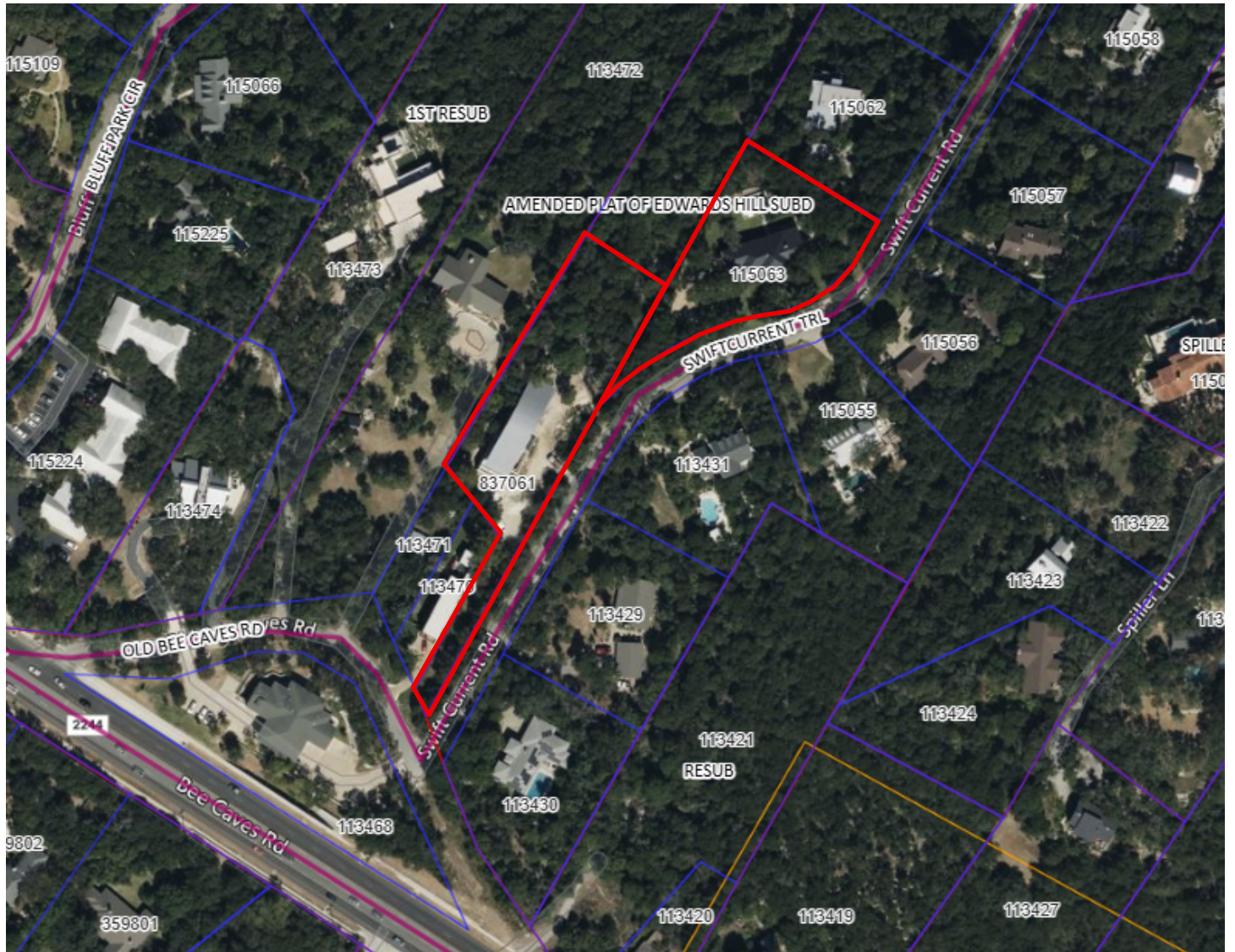
The existing and future land use is in conformance with the City of West Lake Hills Master Plan.

Links to Relevant Code:

- [Section 22.03.175 Off-street parking and parking pad requirements in residential areas](#)
- [Section 22.03.281 Schedule of Regulations](#)
- [Section 22.03.170 Site disturbance \(excavation, grading or filling\)](#)
- [Section 38.05.031 Variances](#)
- [Section 22.03.514 Criteria and process required for granting a variance](#)



Aerial:



1/23/26

Dear ZAPCO Chairperson –

My name is Francisco Rios and I am the owner of 102 Swiftcurrent.

Variance is being requested to construct a 2nd driveway for access to 100 Swiftcurrent Trail. The purpose of variance is to allow access to 100 Swiftcurrent Trail as 98 Swiftcurrent Trail is unable to provide driveway access to 100 Swiftcurrent Trail because of conditions of the real estate, as detailed below.

The west portion of 102 Swiftcurrent is relatively flat and the driveway would follow the existing contours. 98 Swiftcurrent has exhausted all options to provide an easement to 100 Swiftcurrent. Because of the construction and slope of the driveway, 98 Swiftcurrent is unable to provide an easement. Therefore, the driveway shall be provided on 102 Swiftcurrent.

The proposed variance would minimally disturb the vegetation and allow for the safest solution to providing an ingress and egress to 100 Swiftcurrent Trail. Furthermore, the variance maintains the aesthetic integrity of the property and the surrounding area.

The additional driveway will allow access to 100 Swiftcurrent. This will not disturb the neighbors or affect the enjoyment of their properties.

Thank you.

Best regards,

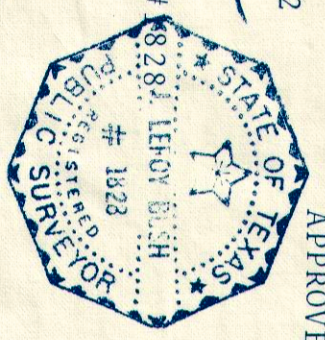
Francisco

EDWARDS' HILL

-LEGEND-
● - IRON STAKE FOUND
○ - IRON STAKE SET

SCALE: 1" = 100'

T. J. CHAMBERS SURVEY # 50477, 1974
J. SWISSEY SURVEY # 5016



CLAUDE F. BUSH, JR.
Reg. Public Surveyor #202
By *J. Leroy Bush*
Leroy Bush
Reg. Public Surveyor #8281
April 6, 1975

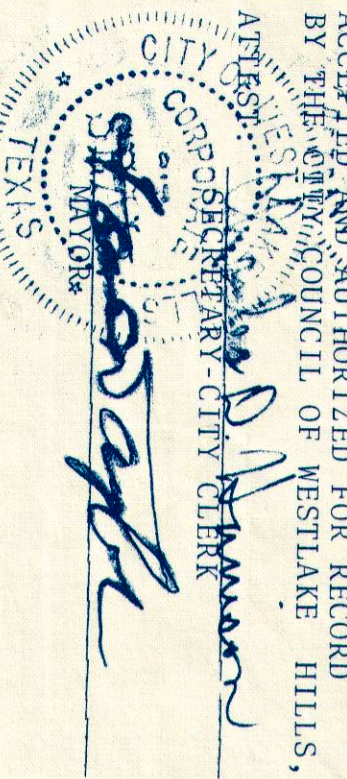
APPROVED: *Hammett Jackson*
CHAIRMAN, ZONING &
PLANNING COMMISSION
CITY OF WESTLAKE HILLS
DATE: April 23 1975

THE STATE OF TEXAS
COUNTY OF TRAVIS
KNOW ALL MEN BY THESE PRESENTS THAT:
R. D. EDWARDS AND WIFE DELLA EDWARDS, OWNERS OF THE TRACT OF LAND SHOWN HEREON, LOCATED IN TRAVIS COUNTY, TEXAS, AND CONVEYED TO US BY DEED RECORDED IN VOLUME 1500, PAGE 151 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING OUT OF THE JOHN SWISSER SURVEY # 506 IN TRAVIS COUNTY, TEXAS, DO HEREBY SUBDIVIDE 3.32 ACRES OF LAND AND DO HEREBY ADOPT THIS PLAT OR MAP TO BE KNOWN AS "EDWARDS' HILL", AND DO HEREBY DEDICATE TO THE PUBLIC, THE STREETS AND EASEMENTS SHOWN HEREON.

WITNES OUR HANDS THIS THE 8TH DAY OF April A.D., 1975.
R. D. EDWARDS
R. D. Edwards
DELLA EDWARDS
Della Edwards

THE STATE OF TEXAS
COUNTY OF TRAVIS
BEFORE ME THE UNDERSIGNED, ON THIS DAY PERSONALLY APPEARED R. D. EDWARDS AND DELLA EDWARDS, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE 8TH DAY OF April A.D., 1975.

ACCEPTED AND AUTHORIZED FOR RECORD
BY THE CITY COUNCIL OF WESTLAKE HILLS, TEXAS, ON THE 12TH DAY OF May A.D., 1975.
ATTEST: *James D. Harmon*
CITY CLERK
NOTARY PUBLIC FOR TRAVIS COUNTY, TEXAS
J. Leroy Bush



NOTE: ALL LOTS IN THIS SUBDIVISION ARE TO BE SUBJECT TO PROVISIONS OF THE CITY OF WESTLAKE HILLS ORDINANCE NO. 108, DATED APRIL 5, 1974. ARTICLE 12.8 OF ORDINANCE NO. 108 GOVERNS THIS SUBDIVISION AS FOLLOWS: "SEPTIC TANKS (OR ANY OTHER PRIVATE SEWERAGE FACILITY) MAY NOT BE USED ON ANY LOT IN THIS SUBDIVISION UNLESS A LICENSE IS FIRST OBTAINED FROM THE CITY OF WESTLAKE HILLS FOR THE PARTICULAR SEPTIC TANK SYSTEM (OR OTHER PRIVATE SEWERAGE FACILITY) AND LOT."

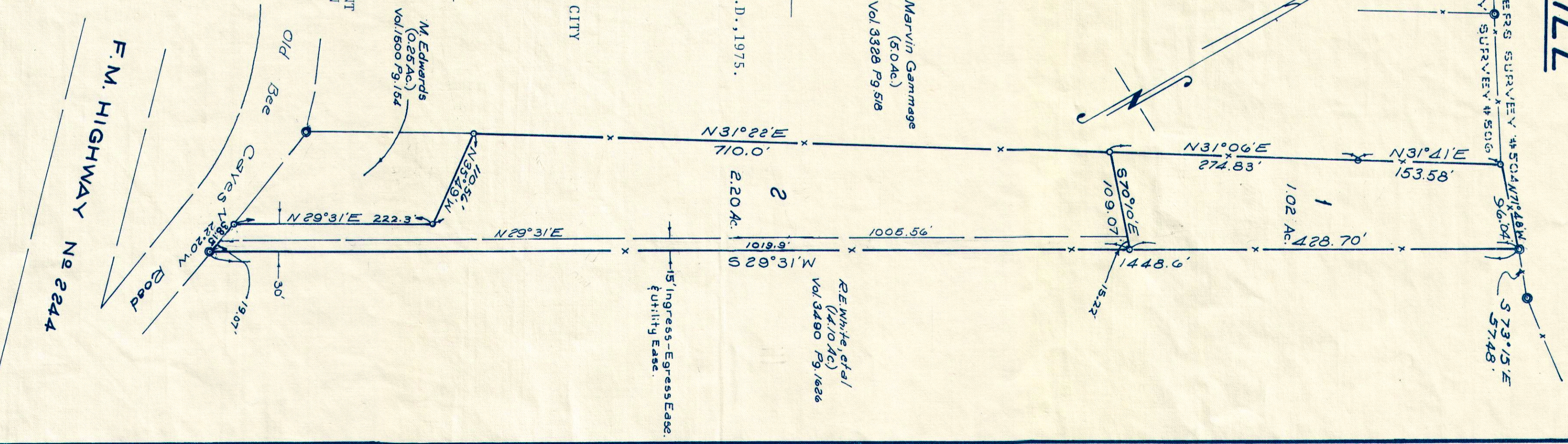
NOTE: AT TIME OF APPLICATION FOR THE APPROVAL OF THIS SUBDIVISION, SATISFACTORY RESULTS HAVE BEEN ESTABLISHED ON THE EXISTING SEPTIC TANK.

THE STATE OF TEXAS
COUNTY OF TRAVIS
I, DORIS SHROPSHIRE, CLERK OF THE COUNTY COURT WITHIN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT WITHIN AND FOREGOING INSTRUMENT OF WRITING WITH ITS CERTIFICATION OF AUTHENTICATION WAS FILE FOR RECORD IN MY OFFICE ON THE 14 DAY OF May A.D., 1975 AT 11:20 O'CLOCK A.M. AND DULY RECORDED ON THE 14 DAY OF May A.D., 1975 AT 11:50 O'CLOCK A.M. IN THE PLAT RECORDS OF SAID COUNTY IN BOOK 72, PAGE 35

WITNESS MY HAND AND SEAL OF THE COURT OF SAID COUNTY THE DATE LAST WRITTEN ABOVE
DEPUTY *Mike Kilgus*
DORIS SHROPSHIRE
CLERK, COUNTY COURT

FILED FOR RECORD ON THE 14 DAY OF May A.D., 1975 AT 11:30 O'CLOCK A.M.
DORIS SHROPSHIRE, CLERK COUNTY COURT, TRAVIS COUNTY, TEXAS.

BY *Mike Kilgus* DEPUTY
NOTE: ALL UNDEVELOPED LOTS IN THIS SUBDIVISION ARE SUBJECT TO ORDINANCE NO. 55 AS AMENDED.



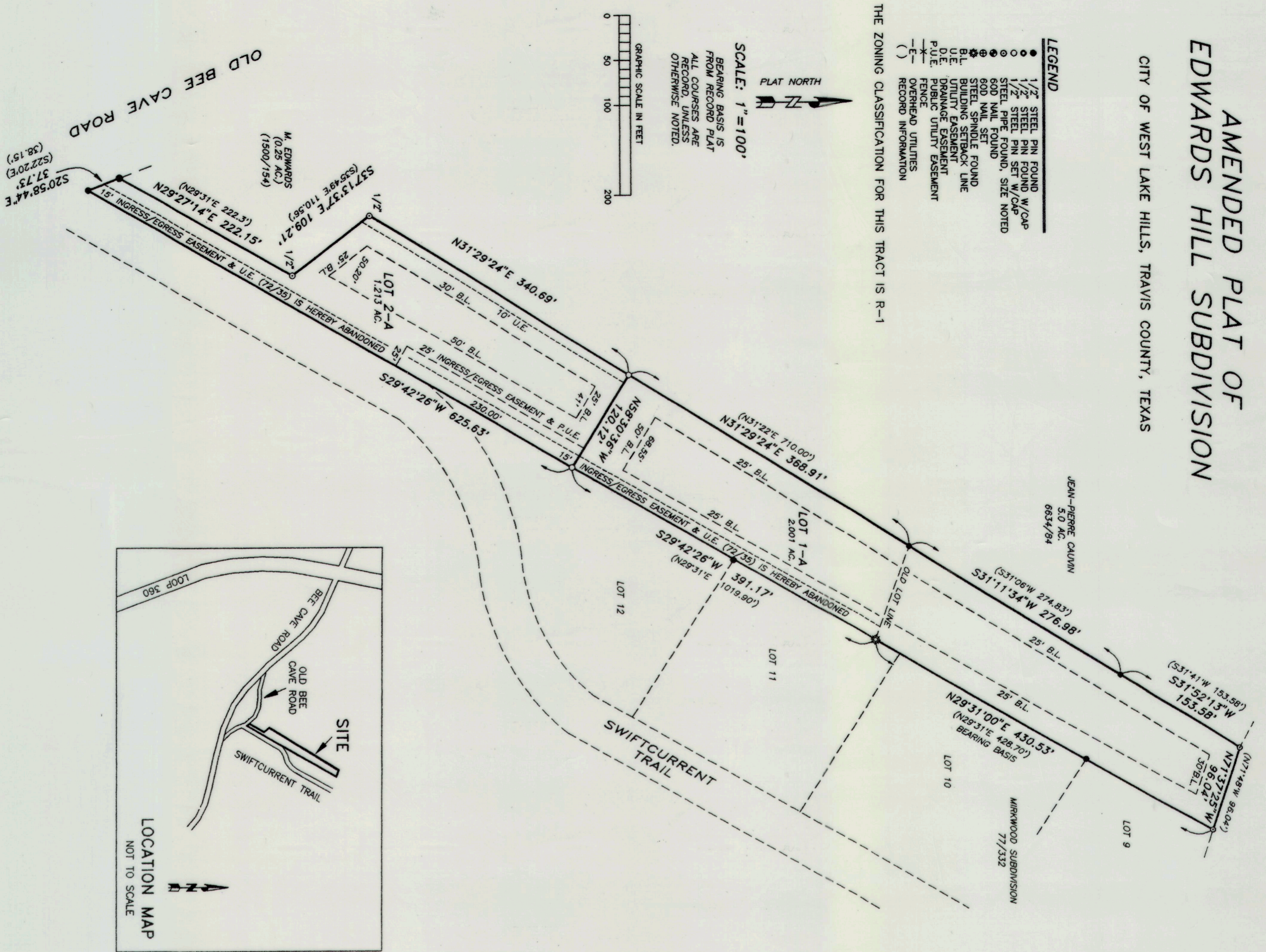
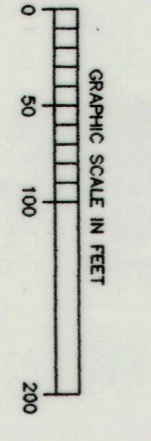
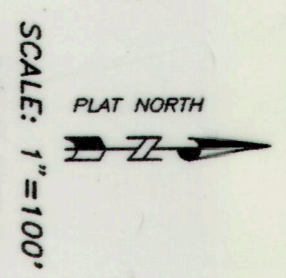
201300243

AMENDED PLAT OF EDWARDS HILL SUBDIVISION

CITY OF WEST LAKE HILLS, TRAVIS COUNTY, TEXAS

THE ZONING CLASSIFICATION FOR THIS TRACT IS R-1

- LEGEND**
- 1/2" STEEL PIN FOUND W/CAP
 - 1/2" STEEL PIN FOUND W/CAP
 - STEEL NAIL FOUND, SIZE NOTED
 - STEEL NAIL FOUND
 - 60D NAIL SET
 - 60D NAIL SET
 - STEEL SPINDLE FOUND
 - BUILDING SETBACK FOUND
 - UTILITY EASEMENT
 - DRAINAGE EASEMENT
 - P.U.E. PUBLIC UTILITY EASEMENT
 - FENCE
 - OVERHEAD UTILITIES
 - RECORD INFORMATION



STATE OF TEXAS: COUNTY OF TRAVIS: I, Dana Debeauvoir, Clerk of the County Court of Travis County, Texas, do hereby certify that on the _____ day of _____, 2013 A.D., the Commissioners Court of Travis County, Texas, passed an Order authorizing the filing for record of this plat, and that said Order has been entered into the Minutes of Said Court, as Document No. _____, 2013 A.D.

Witness my hand and seal of the office of the County Clerk, this _____ day of _____, 2013 A.D.

Dana Debeauvoir, County Clerk
Travis County Texas

By: _____
Deputy

STATE OF TEXAS: COUNTY OF TRAVIS: WHEREAS, 4810 Swiftcurrent, LLC, a Texas Limited Liability Company, acting herein through its Managers, being the owner of 3.214 acres of land out of the John Swissey Survey No. 506, Travis County, Texas, being all of Lot 1 and Lot 2, EDWARDS HILL, a subdivision recorded in Volume 72, Page 35, Plat Records of Travis County, Texas, said Lot 1 being conveyed to it by deed recorded in Document No. 2013039685 and said Lot 2 being conveyed to it by deed recorded in Document No. 2013057823, of the Travis County Official Public Records,

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That the undersigned owner of the land shown on this plat does hereby amend and rename said Lots 1 and 2 for the sole purpose of relocating the lot lines, pursuant to Section 212.014 of the Local Government Code, in accordance with the map as shown hereon, to be known as AMENDED PLAT OF EDWARDS HILL SUBDIVISION, and do hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, public easements, and public places thereon shown.

Witness our hands, this 24 day of October 2013.

4810 Swiftcurrent, LLC
800 Forest View Drive
West Lake Hills, Texas 78746

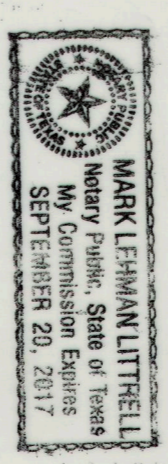
by: Robert Meisel Manager
by: Eric Erickson Manager

STATE OF TEXAS: COUNTY OF TRAVIS: This instrument was acknowledged before me on the 24 day of October 2013, by Robert Meisel, as Manager of 4810 Swiftcurrent LLC, on behalf of said company.

Janet Hogers My commission expires 12/27/16
NOTARY PUBLIC, State of Texas

STATE OF TEXAS: COUNTY OF TRAVIS: This instrument was acknowledged before me on the 24 day of October, 2013, by Eric Erickson, as Manager of 4810 Swiftcurrent, LLC, on behalf of said company.

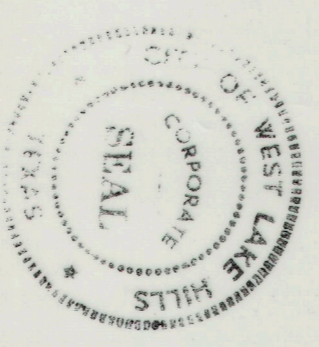
Janet Hogers My commission expires 12/27/16
NOTARY PUBLIC, State of Texas



This plat has been submitted to and considered by the Zoning and Planning Commission of the City of West Lake Hills, Texas and is hereby recommended for approval by the City Council.

Dated this 24 day of October, 2013 A.D.

Robert Meisel
ZAPCO Chairperson, Robert Meisel



Approved and authorized for record by the City Council of the City of West Lake Hills, Texas.

Dated this 24 day of October, 2013 A.D.

Janet Hogers Attest: Janet Hogers, City Secretary

The tract of land described on this plat within the boundaries of Travis County Water Control and Improvement District (WCID) No. 10 and has no service available.

Robert Wood 11.20.2013
President of the Board Date

I, the undersigned, City Administrator of the City of West Lake Hills, Texas, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of the City for which my approval is required.

Robert Wood Date
City Administrator
City of West Lake Hills, Texas

I, Dana Debeauvoir, Clerk of the County Court of Travis County, Texas, hereby certify that the foregoing instrument with its Certification of Authentication was filed in my office at 11:04 o'clock A. M. on the 22 day of November, 2013, in the Plat Records of Travis County, Texas, as Document No. 201300243.

Witness my hand and seal of the office of the County Clerk, this 22 day of November, 2013 A.D.

Dana Debeauvoir, County Clerk
Travis County Texas

Janet Hogers Rebecca

By: _____
Deputy

Timeline and narrative:

In 2013, 4810 Old Bee Caves Road was subdivided by 4810 Swiftcurrent LLC into 2 lots 98 Swiftcurrent and 100 Swiftcurrent. In order to allow access to 100 Swiftcurrent, an access easement was created on 98 Swiftcurrent. The intent was for a shared driveway for 98 and 100.

In December 2013, Catherine and David Wilkes purchased a lot at 98 Swiftcurrent Trail.

In early 2014, Joseph and Ebby Lucas purchased a lot at 100 Swiftcurrent Trail.

In 2019 Tom Edwards purchased a house at 102 Swiftcurrent.

October of 2019, Wilkes began construction on 98 Swiftcurrent.

May of 2022, in preparation for listing his house for sale, Edwards got a new survey of 102 Swiftcurrent. The new survey revealed that the survey used in the sale of 100 Swiftcurrent and 98 Swiftcurrent was incorrect. The permitted and under construction house at 98 Swiftcurrent's driveway now is on 102 Swiftcurrent's property. The Wilkeses approached Edwards to try to purchase the approximately 800 square feet of property to accommodate the original design for the driveway. Edwards would not sell this property to the Wilkes even though to him or future owners of 102 Swiftcurrent, this land was unusable and unbuildable.

The Wilkeses incurred numerous expenses due to the original incorrect survey including plumbing to re-route water lines, architectural fees to move the driveway, additional permit fees, construction management fees, surveys, additional trenching and legal fees. The house at 98 Swiftcurrent was also delayed in construction several months while the homeowners worked out details with the City of Westlake Hills, architects, etc.

Francisco and Katie Rios purchased the house at 102 Swiftcurrent from Edwards in mid-2022.

Today, the Lucases do not have access to the access easement on 98 Swiftcurrent.

All parties have exhausted all efforts to allow the Lucases access to 100 Swiftcurrent.

The current driveway for 98 Swiftcurrent is over 50 feet south of where the original shared driveway was supposed to be located. The Wilkeses designed the house based on an incorrect survey. The majority of the front of the house is glass. If the current driveway serves as access for both 100 and 98, there would be a driveway running parallel to the front of the house for almost the entire length of the house. This would be extremely

disruptive to the owners of 98 Swiftcurrent. It would also require much more paving and disruption to the natural vegetation along with some grading issues.

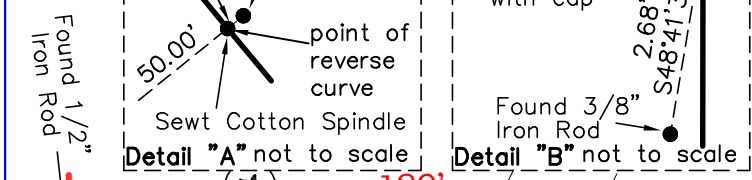
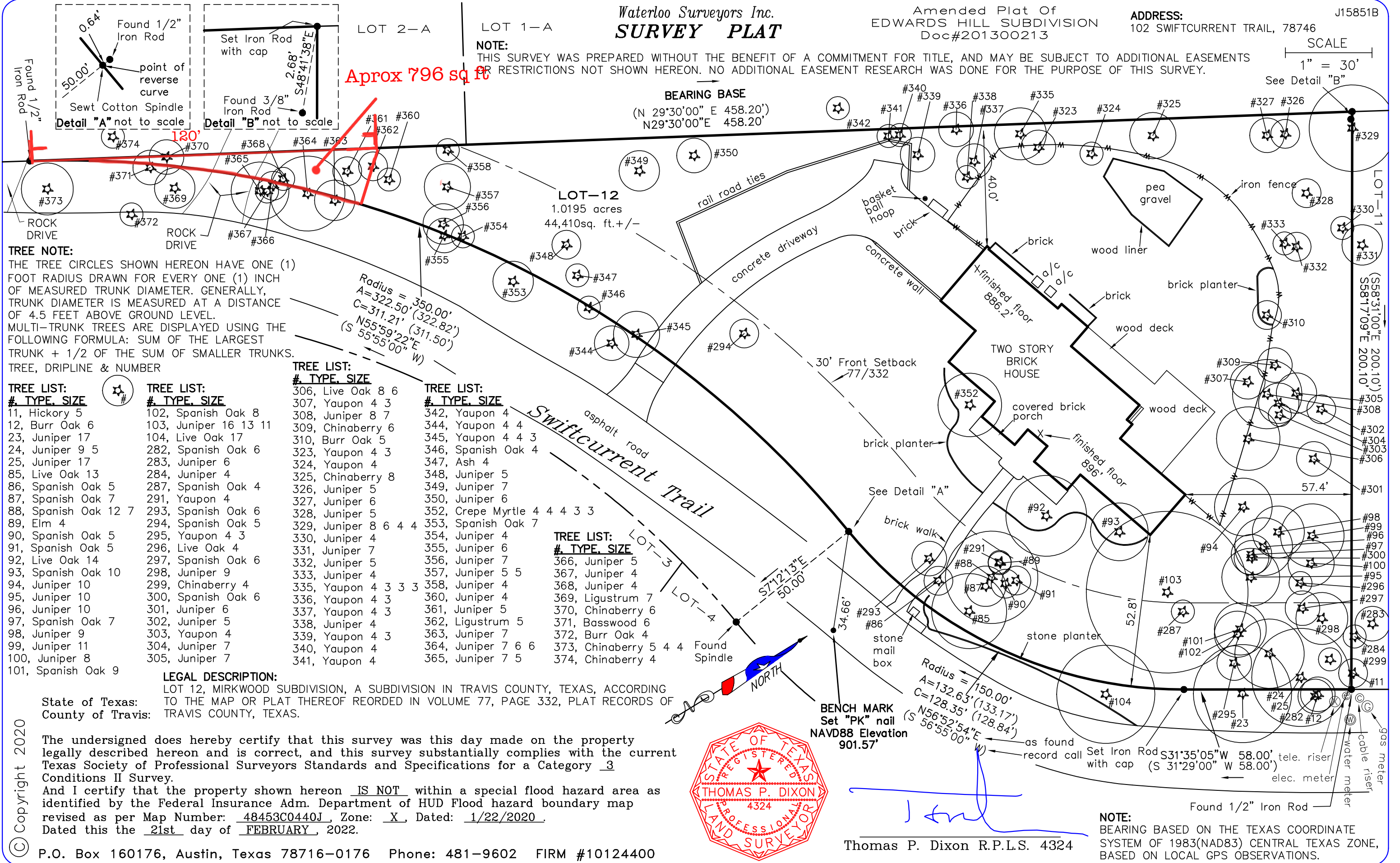
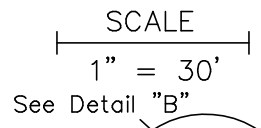
The optimal solution that will minimize grade disruptions and maximize the enjoyment and use of all of the homeowners is to allow for a second driveway for 98 Swiftcurrent. Mr. Rios has agreed to sell approximately 800 square feet to the Wilkeses on the condition that the Wilkeses can get a variance to use that property for a second driveway to allow access for the Lucas family to 100 Swiftcurrent.

Waterloo Surveyors Inc.
SURVEY PLAT

Amended Plat Of
EDWARDS HILL SUBDIVISION
Doc#201300213

ADDRESS:
102 SWIFTCURRENT TRAIL, 78746 J15851B

NOTE:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE, AND MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RESTRICTIONS NOT SHOWN HEREON. NO ADDITIONAL EASEMENT RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY.



TREE NOTE:
THE TREE CIRCLES SHOWN HEREON HAVE ONE (1) FOOT RADIUS DRAWN FOR EVERY ONE (1) INCH OF MEASURED TRUNK DIAMETER. GENERALLY, TRUNK DIAMETER IS MEASURED AT A DISTANCE OF 4.5 FEET ABOVE GROUND LEVEL. MULTI-TRUNK TREES ARE DISPLAYED USING THE FOLLOWING FORMULA: SUM OF THE LARGEST TRUNK + 1/2 OF THE SUM OF SMALLER TRUNKS. TREE, DRIPLINE & NUMBER

TREE LIST:

#	TYPE	SIZE
11	Hickory	5
12	Burr Oak	6
23	Juniper	17
24	Juniper	9 5
25	Juniper	17
85	Live Oak	13
86	Spanish Oak	5
87	Spanish Oak	7
88	Spanish Oak	12 7
89	Elm	4
90	Spanish Oak	5
91	Spanish Oak	5
92	Live Oak	14
93	Spanish Oak	10
94	Juniper	10
95	Juniper	10
96	Juniper	10
97	Spanish Oak	7
98	Juniper	9
99	Juniper	11
100	Juniper	8
101	Spanish Oak	9

TREE LIST:

#	TYPE	SIZE
102	Spanish Oak	8
103	Juniper	16 13 11
104	Live Oak	17
282	Spanish Oak	6
283	Juniper	6
284	Juniper	4
287	Spanish Oak	4
291	Yaupon	4
293	Spanish Oak	6
294	Spanish Oak	5
295	Yaupon	4 3
296	Live Oak	4
297	Spanish Oak	6
298	Juniper	9
299	Chinaberry	4
300	Spanish Oak	6
301	Juniper	6
302	Juniper	5
303	Yaupon	4
304	Juniper	7
305	Juniper	7

TREE LIST:

#	TYPE	SIZE
306	Live Oak	8 6
307	Yaupon	4 3
308	Juniper	8 7
309	Chinaberry	6
310	Burr Oak	5
323	Yaupon	4 3
324	Yaupon	4
325	Chinaberry	8
326	Juniper	5
327	Juniper	6
328	Juniper	5
329	Juniper	8 6 4 4
330	Juniper	4
331	Juniper	7
332	Juniper	5
333	Juniper	4
335	Yaupon	4 3 3 3
336	Yaupon	4 3
337	Yaupon	4 3
338	Juniper	4
339	Yaupon	4 3
340	Yaupon	4
341	Yaupon	4

TREE LIST:

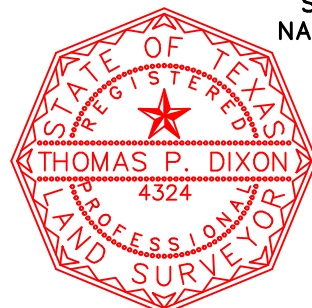
#	TYPE	SIZE
342	Yaupon	4
344	Yaupon	4 4
345	Yaupon	4 4 3
346	Spanish Oak	4
347	Ash	4
348	Juniper	5
349	Juniper	7
350	Juniper	6
352	Crepe Myrtle	4 4 4 3 3
353	Spanish Oak	7
354	Juniper	4
355	Juniper	6
356	Juniper	7
357	Juniper	5 5
358	Juniper	4
360	Juniper	4
361	Juniper	5
362	Ligustrum	5
363	Juniper	7
364	Juniper	7 6 6
365	Juniper	7 5

TREE LIST:

#	TYPE	SIZE
366	Juniper	5
367	Juniper	4
368	Juniper	4
369	Ligustrum	7
370	Chinaberry	6
371	Basswood	6
372	Burr Oak	4
373	Chinaberry	5 4 4
374	Chinaberry	4

Radius = 350.00'
A = 322.50' (322.82')
C = 311.21' (311.50')
N55°59'22"E
(S 55°55'00" W)

Radius = 150.00'
A = 132.63' (133.17')
C = 128.35' (128.84')
N56°52'54"E
(S 56°55'00" W)



BENCH MARK
Set "PK" nail
NAVD88 Elevation 901.57'

Thomas P. Dixon R.P.L.S. 4324

LEGAL DESCRIPTION:
LOT 12, MIRKWOOD SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 77, PAGE 332, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 3 Conditions II Survey.
And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0440J, Zone: X, Dated: 1/22/2020.
Dated this the 21st day of FEBRUARY, 2022.

NOTE:
BEARING BASED ON THE TEXAS COORDINATE SYSTEM OF 1983(NAD83) CENTRAL TEXAS ZONE, BASED ON LOCAL GPS OBSERVATIONS.

Copyright 2020

P.O. Box 160176, Austin, Texas 78716-0176 Phone: 481-9602 FIRM #10124400

Waterloo Surveyors

SURVEY PLAT

As-Built Survey

OWNER:
CATHERINE WILKES & DAVID WILKES

ADDRESS:
98 SWIFTCURRENT TRAIL 78746

LEGEND
 RECORD CALL ()
 BUILDING SETBACK LINE B.L.
 PUBLIC UTILITY EASEMENT P.U.E.
 INGRESS / EGRESS EASEMENT I.E.
 FOUND IRON ROD FIR ●
 WASTE WATER MANHOLE WW ●
 ELECTRIC MANHOLE E ●

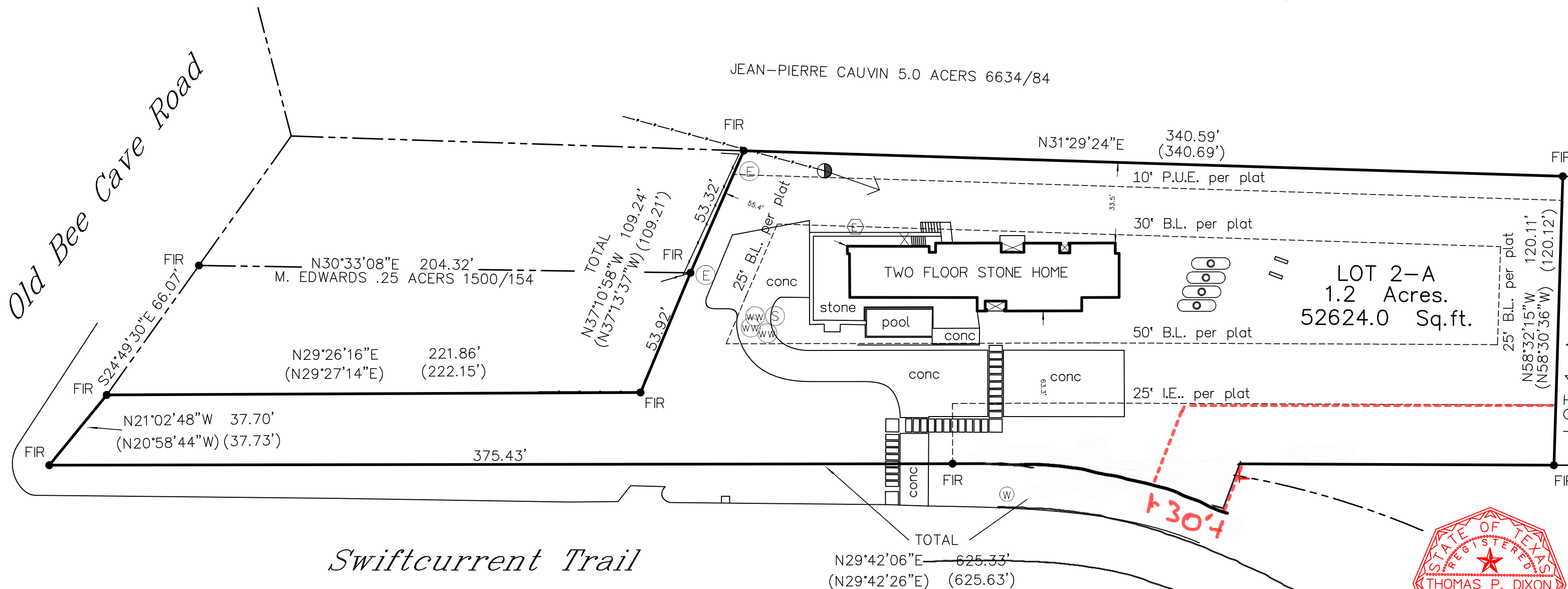
ELECTRIC METER (E)
 WATER TANK (S)
 SEPTIC LID (S)
 UTILITY POLE/GUY ANCHOR (P)
 UTILITY LINE (P-P-P-P-P-P)
 WOOD FENCE (d)
 SIGN POST (W)
 WATER METER (W)

A1232

SCALE
1" = 40'

LEGAL DESCRIPTION:

LOT 2-A, AMENDED PLAT OF EDWARDS HILL SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED AS DOCUMENT NO. 201300243, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.



New property lines and easement proposal

NOTE:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE, AND MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RESTRICTIONS NOT SHOWN HEREON. NO ADDITIONAL EASEMENT RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY.

State of Texas:
County of Travis:

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Conditions II Survey.

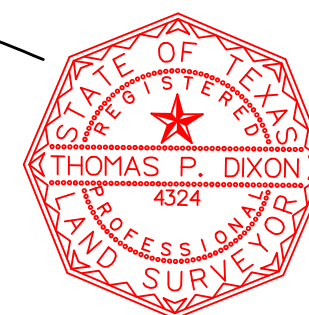
And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0440J, Zone: X, Dated: 1/22/2020.

Dated this the 7TH day of APRIL, 2023.

P.O. Box 160176, Austin, Texas 78716-0176

Phone: 481-9602 FIRM #10124400

Thomas P. Dixon R.P.L.S. 4324



© Copyright 2023

Waterloo Surveyors
SURVEY PLAT

A1232

LOT 2-A
1.2 Acres.

25' EASEMENT

12'

10'

PROPOSED DRIVEWAY

72.81'

0.024 Acres.
1064.4 Sq.ft.

N27°56'14"E

S38°24'45"W

c=127.82'

a=128.54'

r=350.00'

N27°26'51"E

57.80'

FIR

JUNIPER 17"



JUNIPER 17"

(W)

FIR
POINT OF
BEGINNING

S50°20'39"E
24.24' JUNIPER 16"

JUNIPER 10"

SIRC

JUNIPER 9.8"

JUNIPER 9.8"

LIVE OAK 16"

20'

Swiftcurrent Trail

LOT-3

SCALE
1" = 10'

LEGEND
FOUND IRON ROD
SET IRON ROD WITH CAP

FIR
SIRC

GENERAL NOTES:
BEARINGS SHOWN HEREON ARE
BASED ON GRID NORTH OF
THE TEXAS STATE PLANE
COORDINATE SYSTEM- TEXAS
CENTRAL 4203. ALL DISTANCES
ARE SURFACE.



Karl E. Atkins

Karl E Atkins, RPLS 4618

March 5th 2026

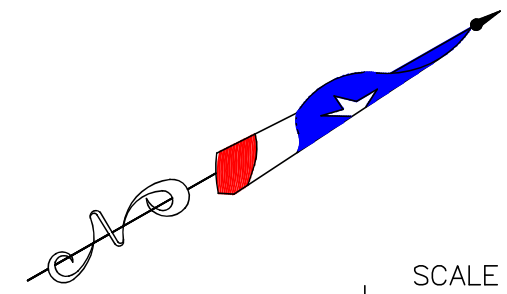
Date of Signature

Waterloo Surveyors
SURVEY PLAT
As-Built Survey

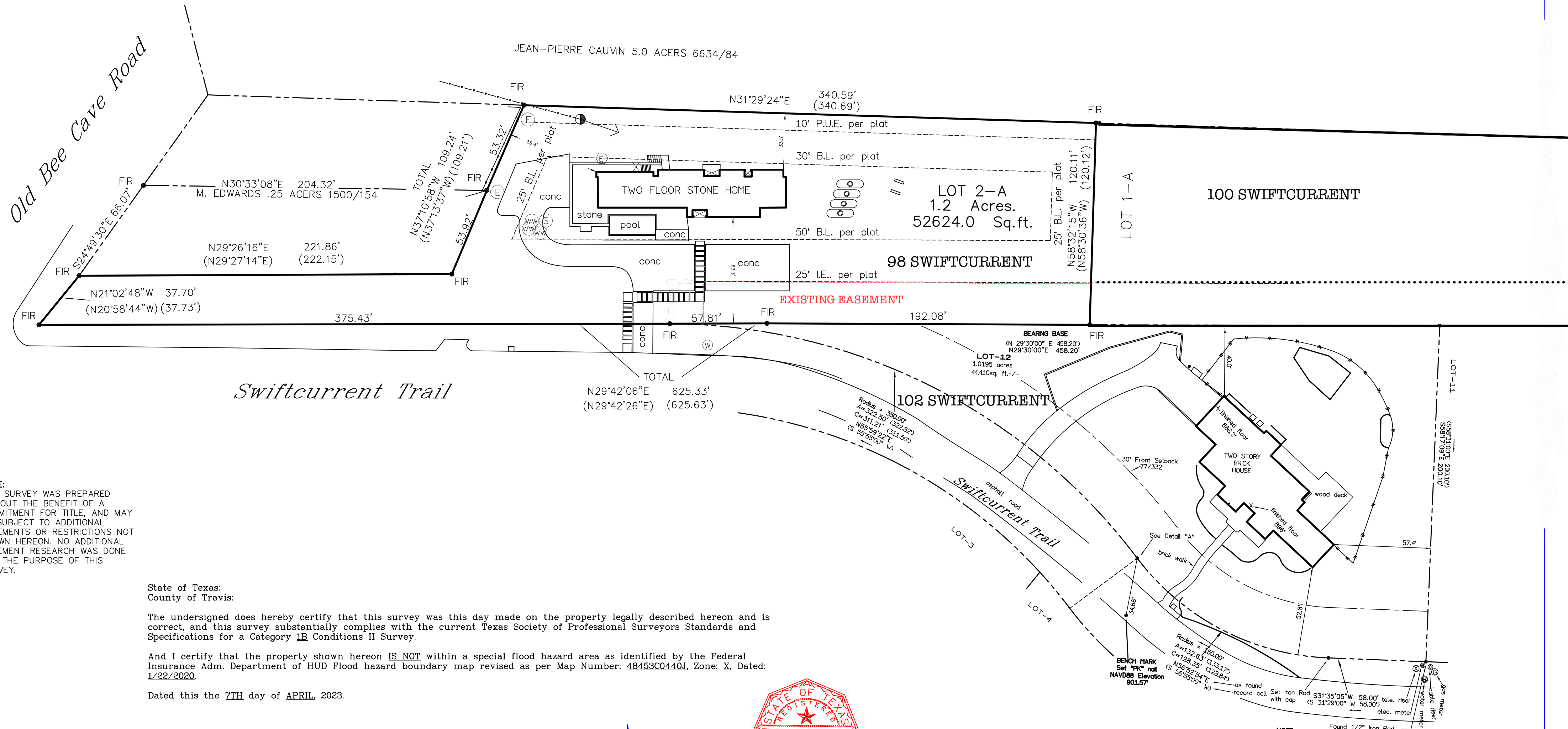
OWNER:
 CATHERINE WILKES & DAVID WILKES

ADDRESS:
 98 SWIFTCURRENT TRAIL 78746

- LEGEND**
- RECORD CALL ()
 - BUILDING SETBACK LINE B.L.
 - PUBLIC UTILITY EASEMENT P.U.E.
 - INGRESS / EGRESS EASEMENT I.E.
 - FOUND IRON ROD FIR
 - WASTE WATER MANHOLE ww
 - ELECTRIC MANHOLE E
 - ELECTRIC METER
 - WATER TANK
 - SEPTIC LID
 - UTILITY POLE/GUY ANCHOR
 - UTILITY LINE
 - WOOD FENCE
 - SIGN POST
 - WATER METER



LEGAL DESCRIPTION:
 LOT 2-A, AMENDED PLAT OF EDWARDS HILL SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED AS DOCUMENT NO. 201300243, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.



NOTE:
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE, AND MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RESTRICTIONS NOT SHOWN HEREON. NO ADDITIONAL EASEMENT RESEARCH WAS DONE FOR THE PURPOSE OF THIS SURVEY.

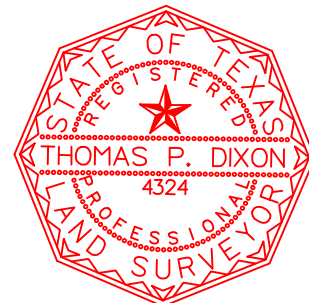
State of Texas:
 County of Travis:

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Conditions II Survey.

And I certify that the property shown hereon is NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD Flood hazard boundary map revised as per Map Number: 48453C0440J, Zone: X, Dated: 1/22/2020.

Dated this the 7TH day of APRIL, 2023.

[Signature]
 Thomas P. Dixon R.P.L.S. 4324



NOTE:
 BEARING BASED ON THE TEXAS COORDINATE SYSTEM OF 1983(NAD83) CENTRAL TEXAS ZONE, BASED ON LOCAL GPS OBSERVATIONS.

From: [JOSEPH LUCAS](#)
To: [Planner](#)
Subject: Response from 100 Swiftcurrent on Item #7 - ZAPCO hearing on 02/18/2026
Date: Wednesday, February 18, 2026 12:25:05 PM

You don't often get email from [REDACTED]. [Learn why this is important](#)

02/18/2026

Respected Members of Zoning & Planning Commission,

Subject: Public Hearing 102 Swiftcurrent Trl.

There is a lawsuit between 100 Swiftcurrent and the Wilkes (98 Swiftcurrent) in the Travis County District Court over an easement dispute. The parties have been working together to come to an agreement and are still negotiating. No formal agreement has been reached or signed. Until an agreement is signed, the request for the variance is premature and should be reset for next month or sometime in the future.

Thank you.

Joseph Lucas
Ebby Lucas
100 Swiftcurrent Trl

Exhibit A

102 Swiftcurrent Driveway Variance

Applicant's Findings of Fact

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.

Allow access to 100 Swiftcurrent Trail as 98 Swiftcurrent Trail is unable to provide driveway access to 100 Swiftcurrent Trail because of conditions of the real estate, as detailed below.

2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.

The west portion of 102 Swiftcurrent is relatively flat and the driveway would follow the existing contours.

3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

98 Swiftcurrent has exhausted all options to provide an easement to 100 Swiftcurrent. Because of the construction and slope of the driveway, 98 Swiftcurrent is unable to provide an easement. Therefore, the driveway shall be provided on 102 Swiftcurrent

4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

The proposed variance would minimally disturb the vegetation and allow for the safest solution to providing an ingress and egress to 100 Swiftcurrent Trail.

5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.

The variance maintains the aesthetic integrity of the property and the surrounding area.

6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.

The additional driveway will allow access to 100 Swiftcurrent. This will not disturb the neighbors or affect the enjoyment of their properties.



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	March 18, 2026	Item Number:	5
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

419 Ridgewood Trail: Discuss and make a recommendation on proposed variances for the removal of one tree (14.25 inch elm) with a trunk diameter of 14 inches or greater, (Section 22.03.304 of the West Lake Hills Code).

Applicant: Nina Falgout Sterrett, Arterberry Cooke Architecture

Recommendation

Discuss and make a recommendation to the City Council including an analysis of whether:

1. The variance may violate the intent of this chapter or the goals of the city's comprehensive plan.
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners' enjoyment thereof.

The Zoning and Planning Commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The findings of fact as alleged by the applicant are attached in Exhibit A.

This item will be forwarded to the City Council meeting on April 8, 2026 for review and a public hearing

Discussion

Property Information, Zoning & Site Characteristics:

Owner: Michelle & David Ewart

Legal Description: Lot 3R Ridgewood Village Section 2 Replat of portions of Lots 3 and 4

Lot Size: 0.2544 acres

Zoning: R-1

Wastewater: City Wastewater

The properties surrounding the subject property are zoned R-1, One-Family.

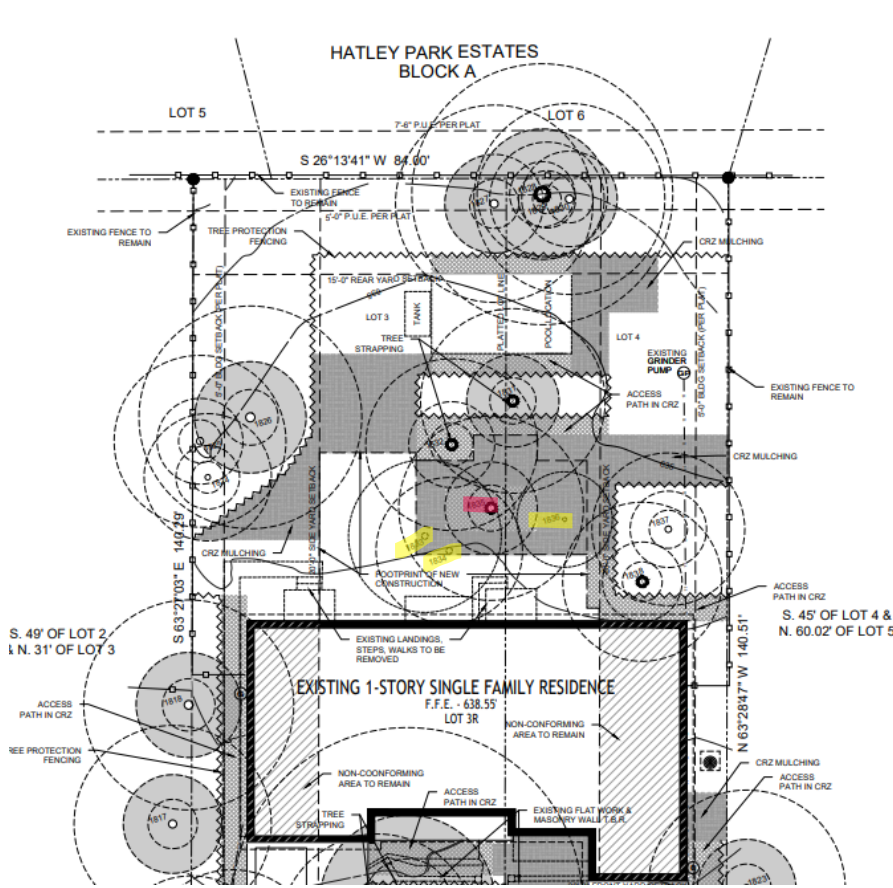
Background & Analysis:

The applicant is proposing to remove one 14.25" Elm tree in the backyard of their property (Attachment 1). In November 2025, a Remodel/Addition permit was approved which allowed the removal of three trees (Attachment 4) surrounding the 14.25" Elm. The proposed mitigation for the removed trees is shown to be placed around the perimeter of the backyard property.

A letter from the owner's certified arborist (Attachment 5) details the tree to be in fair condition. The letter further details that until the approved tree removal permit, the tree had four other smaller Cedar Elm trees growing in close proximity and depended on each other structurally. According to the arborist, the removal of the surrounding trees opens-up more exposure to wind load, which could cause further stress to the compromised trunk.

The owners of the home installed cables to heal the tree after wind and ice caused a partial failure. The arborist states that the cables yielded some success, partially healing a wound in the tree.

The arborist states the tree has external defects, causing reasonable concern for the integrity of the internal structure of the trunk, affirming that the removal of the tree would relieve the owner's liability concerns.



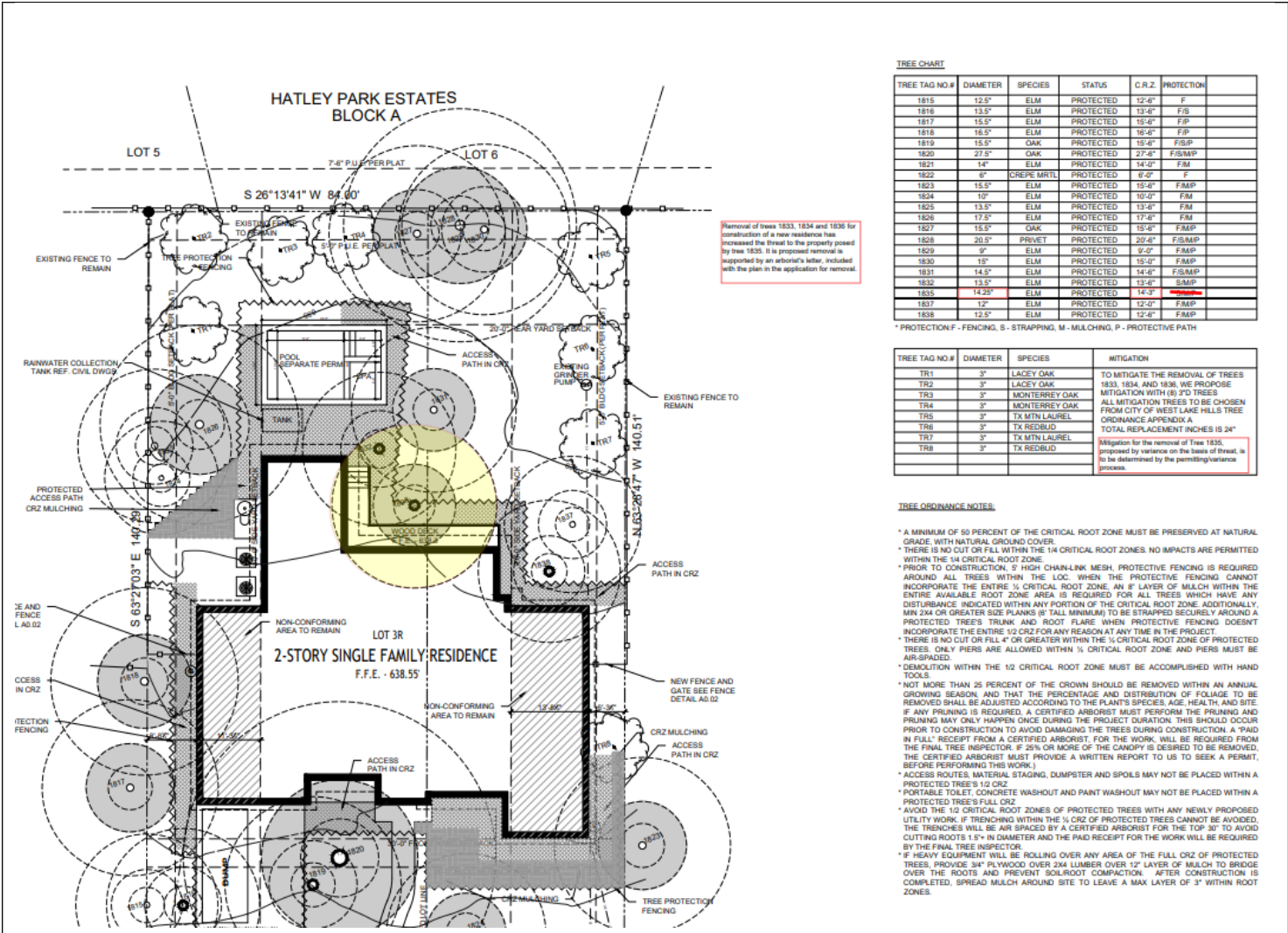
TREE TAG NO.#	LOCATION	DIAMETER	SPECIES	STATUS	C.R.Z.	PROTECTION	MITIGATION
1815	SETBACK	12.5"	ELM	PROTECTED	12'-6"	F	
1816	SETBACK	13.5"	ELM	PROTECTED	13'-6"	F/B	
1817	NEIGHBOR	15.5"	ELM	PROTECTED	15'-6"	F/B	
1818	NEIGHBOR	16.5"	ELM	PROTECTED	16'-6"	F/B	
1819	SETBACK	15.5"	OAK	PROTECTED	15'-6"	F/SBP	
1820	SETBACK	27.5"	OAK	PROTECTED	27'-6"	F/SAMP	
1821	SETBACK	14"	ELM	PROTECTED	14'-0"	F/M	
1822	NEIGHBOR	8"	CREPE MYRTLE	PROTECTED	8'-0"	F	
1823	NEIGHBOR	15.5"	ELM	PROTECTED	15'-6"	FAMP	
1824	SETBACK	10"	ELM	PROTECTED	10'-0"	F/M	
1825	SETBACK	13.5"	ELM	PROTECTED	13'-6"	F/M	
1826	SETBACK	17.5"	ELM	PROTECTED	17'-6"	F/M	
1827	SETBACK	15.5"	OAK	PROTECTED	15'-6"	FAMP	
1828	SETBACK	20.5"	PRIVET	PROTECTED	20'-6"	F/SAMP	
1829	SETBACK	9"	ELM	PROTECTED	9'-0"	FAMP	
1830	SETBACK	18"	ELM	PROTECTED	18'-0"	FAMP	
1831	CONST	14.5"	ELM	PROTECTED	14'-6"	F/SAMP	
1832	CONST	13.5"	ELM	PROTECTED	13'-6"	SAMP	
1833	CONST	12"	ELM	TO BE REMOVED	12'-6"		9"
1834	CONST	11.25"	ELM	TO BE REMOVED	11'-6"		8.75"
1835	CONST	14.5"	ELM	PROTECTED	14'-6"	SAMP	
1836	CONST	7.5"	ELM	TO BE REMOVED	7'-6"		5.75"
1837	SETBACK	12"	ELM	PROTECTED	12'-0"	FAMP	
1838	SETBACK	12"	ELM	PROTECTED	12'-6"	FAMP	

PROTECTION F - FENCING, S - STRAPPING, M - MULCHING, P - PROTECTIVE PATH

TREE ORDINANCE NOTES:

- * A MINIMUM OF 50 PERCENT OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
- * THERE IS NO CUT OR FILL WITHIN THE 1/4 CRITICAL ROOT ZONES. NO IMPACTS ARE PERMITTED WITHIN THE 1/4 CRITICAL ROOT ZONE.
- * PRIOR TO CONSTRUCTION, 5' HIGH CHAINLINK MESH, PROTECTIVE FENCING IS REQUIRED AROUND ALL TREES WITHIN THE LOC. WHEN THE PROTECTIVE FENCING CANNOT INCORPORATE THE ENTIRE 1/4 CRITICAL ROOT ZONE, AN 8" LAYER OF MULCH AROUND THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE. ADDITIONALLY, MIN 2X4 OR GREATER SIZE PLANKS (8" TALL MINIMUM) TO BE STRAPPED SECURELY AROUND A PROTECTED TREE'S TRUNK AND ROOT FLARE WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT. THERE IS NO CUT OR FILL 4" OR GREATER WITHIN THE 1/2 CRITICAL ROOT ZONE OF PROTECTED TREES. ONLY PIERS ARE ALLOWED WITHIN 1/2 CRITICAL ROOT ZONE AND PIERS MUST BE AIR-SPACED.
- * DEMOLITION WITHIN THE 1/2 CRITICAL ROOT ZONE MUST BE ACCOMPLISHED WITH HAND TOOLS.
- * NOT MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED WITHIN AN ANNUAL GROWING SEASON, AND THAT THE PERCENTAGE AND DISTRIBUTION OF FOLIAGE TO BE REMOVED SHALL BE ADJUSTED ACCORDING TO THE PLANT'S SPECIES, AGE, HEALTH AND SITE. IF ANY PRUNING IS REQUIRED, A CERTIFIED ARBORIST MUST PERFORM THE PRUNING AND PRUNING MAY ONLY HAPPEN ONCE DURING THE PROJECT DURATION. THIS SHOULD OCCUR PRIOR TO CONSTRUCTION TO AVOID DAMAGING THE TREES DURING CONSTRUCTION. A "PAID IN FULL" RECEIPT FROM A CERTIFIED ARBORIST, FOR THE WORK, WILL BE REQUIRED FROM THE FINAL TREE INSPECTOR. IF 25% OR MORE OF THE CANOPY IS DESIRED TO BE REMOVED, THE CERTIFIED ARBORIST MUST PROVIDE A WRITTEN REPORT TO US TO SEEK A PERMIT, BEFORE PERFORMING THIS WORK.
- * ACCESS ROUTES, MATERIAL STAGING, DUMPSTER AND SPILLS MAY NOT BE PLACED WITHIN A PROTECTED TREE'S 1/2 CRZ.
- * PORTABLE TOILET, CONCRETE WASHOUT AND PAINT WASHOUT MAY NOT BE PLACED WITHIN A PROTECTED TREE'S FULL CRZ.
- * AVOID THE 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES WITH ANY NEWLY PROPOSED UTILITY WORK. IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL BE AIR SPACED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER AND THE PAD RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
- * IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 2" WITHIN ROOT ZONES.

Existing Site Plan/Tree Survey (Attachment 6)



Proposed tree removal (Attachment 3)

Tree and vegetation removal and replacement

Code Reference:

Section 22.03.304(a)(4)

Removal policy.

- (1) Existing vegetation shall be left undisturbed to the maximum extent possible. In most circumstances, if a tree must be removed, it shall be replaced with a native, non-invasive species so that the native, natural landscape of the city is preserved for future generations.
- (2) Trees less than ten (10) inches in diameter measured at a point fifty-four (54) inches above the ground may be removed with a permit in accordance with section 22.03.303(b).
- (3) Trees greater than or equal to ten (10) inches and less than fourteen (14) inches in diameter measured at a point fifty-four (54) inches above the ground may be removed with a permit in accordance with section

22.03.303(b)(4). If a tree greater than or equal to ten (10) inches and less than fourteen (14) inches in diameter does not meet the requirements of section 22.03.303(b)(4) then the removal shall be requested through a variance as described by subsection (a)(4) of this section.

(4) The removal of trees greater than or equal to fourteen (14) inches in diameter measured at a point fifty-four (54) inches above the ground, or a tree greater or equal to ten (10) inches and less than fourteen (14) inches in diameter that does not meet the requirements of section 22.03.303(b)(4), is prohibited except as allowed under section 22.03.303(b)(7) and therefore such removal requires a variance from the city council as outlined in section 22.03.308.

Request:

To remove a 14.25" elm tree.

Public Comments:

As of the date of the staff report, no written comments have been received.

Variance Criteria Review:

Trees follow the procedure and notice found in Section 22.03.511 Procedure and notice:

- (a) The city council, when petitioned for a variance, after 16 days' written notice to all property owners within 300 feet of the subject property, shall hold a hearing, and the city council may vary the application of any provision of this article to any particular case when, in its opinion, the enforcement thereof would do manifest injustice, and would be contrary to the spirit and purpose of this article or public interest, or when, in its opinion, the interpretation and recommendation of the zoning and planning commission should be modified or reversed.
- (b) A decision of the city council to vary the application of any provision of this article shall specify in what manner such variance is made, the conditions upon which it is made and the reasons thereof.

The criteria and process for granting a variance found in Section 22.03.514:

No variance shall be granted under this chapter unless the following criteria are fulfilled:

- Findings. The applicant has established by competent evidence that:
 - The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.
 - There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
 - There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.
 - The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.
- ZAPCO. The recommendation of zoning and planning commission shall include an analysis of whether:

- The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
 - The variance may have an adverse effect on neighborhood properties, or interfere with the respective owners’ enjoyment thereof; and
 - When considering variance requests for nonresidential projects in the Commercial Overlay District, whether the variance, when considered as part of the proposed project (as a whole), furthers achievement of the land planning principles set forth in the city’s master plan, attachment B, as codified in article 28.02 of this code.
- Conditions. The city council can impose, and the zoning and planning commission can recommend imposition of, reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects in the commercial overlay district are necessary to achieve one or more of the land planning principles set forth in the city’s master plan, attachment B, as codified in article 28.02 of this code.

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City’s Code.

Compliance with Adopted International Building Code

The property and future construction will have to comply with all applicable City codes.

Subdivision

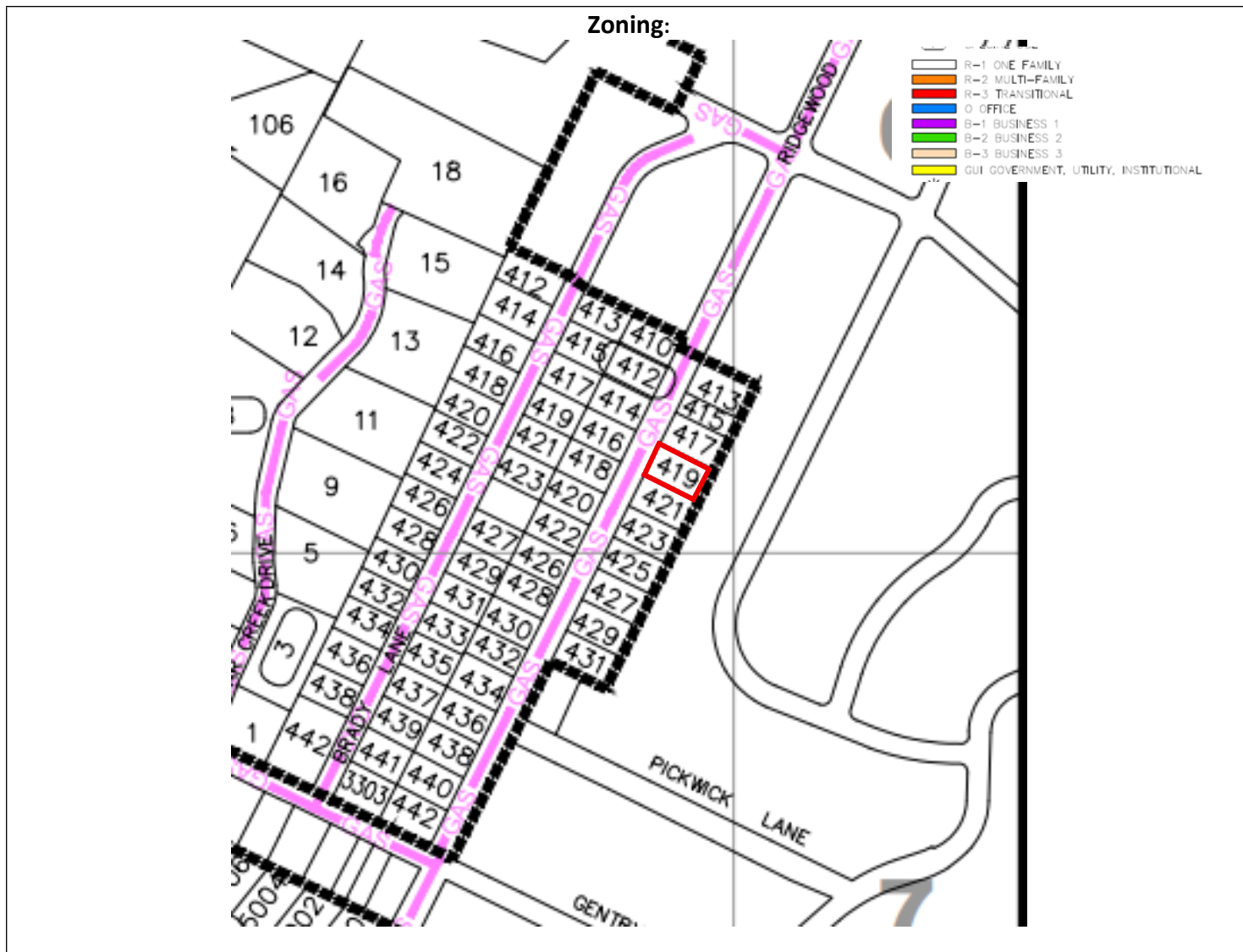
There is no change to the subdivision proposed with this application.

Comprehensive Planning Analysis

The existing and future land use is in conformance with the City of West Lake Hills Master Plan.

Links to Relevant Code:

- [Section 22.03.034](#) [Tree and Vegetation Removal and Replacement](#)
- [Section 22.03.511](#) [Variances](#)
- [Section 22.03.514](#) [Criteria and process required for granting variance](#)



Aerial:



ARTERBERRY COOKE architecture

January 30, 2026

Re. Variance Request 419 Riddgewood Road

Dear Chairman Meisel and Members of the Zoning and Planning Commission,

The letter accompanies our application for variance for the property at 419 Ridgewood Road. We request your consideration to remove a protected tree on behalf of our client, the Owners, Michelle and David Ewart.

Remodel and additions to the residence at 419 Ridgewood Rd are underway. As part of this permitted project trees were removed at the center of the lot. The removed trees were supporting and protecting Tree 1835, a 14.25" cedar elm tree. This protected tree was to remain in place. However, after the removal of surrounding trees, it was clearly observed that the tree's structure and health are compromised. Additionally, it no longer has the support of the removed trees to rely on in wind and weather events. Given the tree's condition, the Owners believe Tree 1835 poses a threat to construction activities and to their future home. This belief is supported by the accompanying letter provided by Douglas Dear, Certified Arborist, who evaluated the tree onsite and presented his findings to city inspector Alex Sanchez.

As their architects we considered several development schemes for this site with attempts to preserve its character for the benefit of the homeowners, neighbors, and public domain. The approved plans assumed this tree would remain and provided for its protection from construction impacts. Ultimately, given the tree's history of incomplete repair, its proximity to construction activities and the proposed residence, it poses an ongoing hazard. It is not a good candidate for trimming or additional repair to stabilize it.

The removal of Tree 1835 will allow the Owners to mitigate ongoing liability concerns. They humbly request variance to remove and replace it as prescribed by code. The variance request seeks to protect construction activities, the Owners' investment, and neighboring properties from damage.

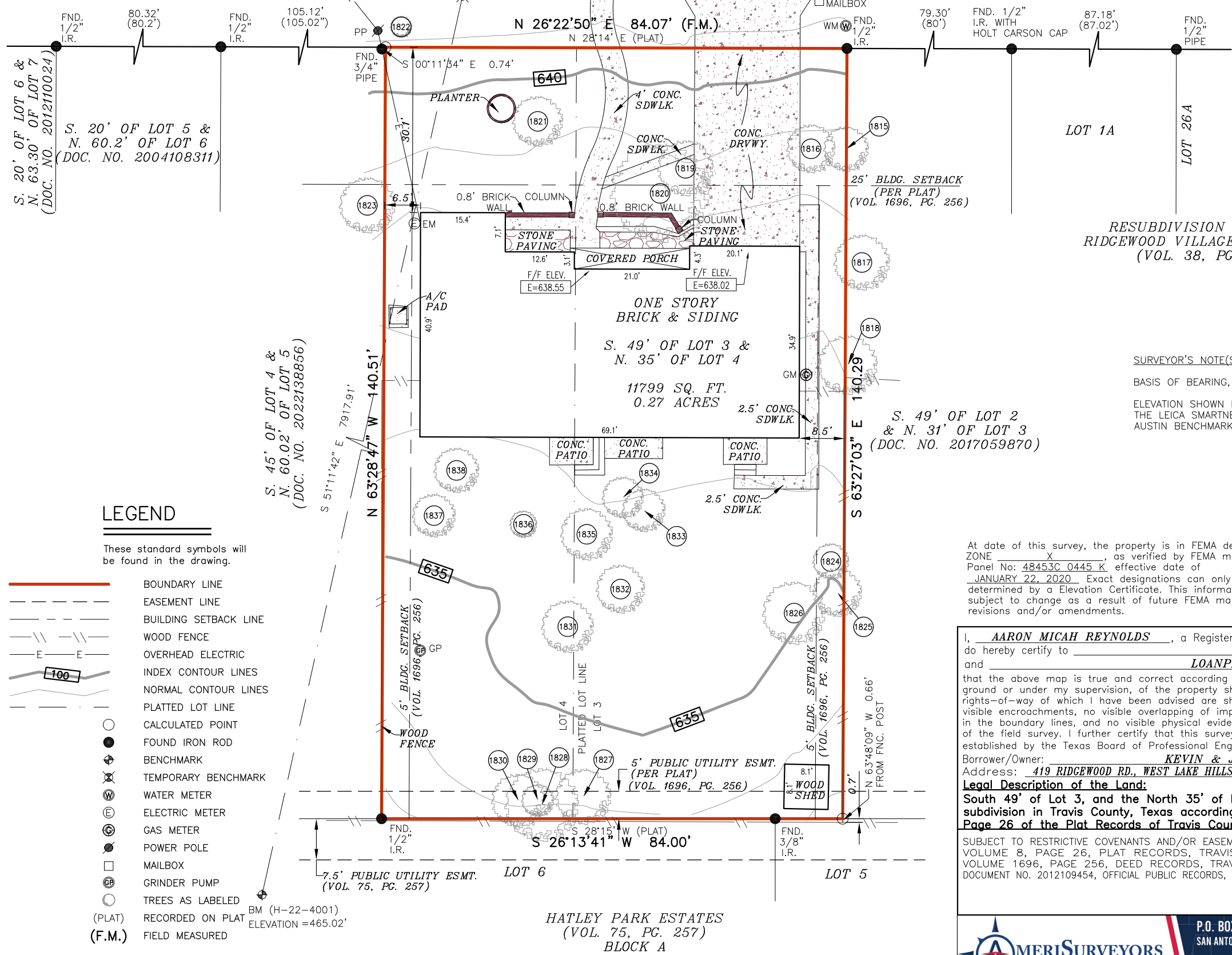
Sincerely



Alice Arterberry
Principal
Arterberry Cooke Architecture

RIDGEWOOD ROAD
(60' R.O.W.-PER PLAT)

TBM (SET X)
E:3099339.91
N:10074323.71
ELEVATION: 641.69'



TREE TAG NO.#	DIAMETER	DESCRIPTION
1815	12.5"	ELM
1816	13.5"	ELM
1817	15.5"	ELM
1818	16.5"	ELM
1819	15.5"	OAK
1820	27.5"	OAK
1821	14"	ELM
1822	6"	CREPE MYRTLE
1823	15.5"	ELM
1824	10"	ELM
1825	13.5"	ELM
1826	17.5"	ELM
1827	15.5"	OAK
1828	20.5"	PRIVET
1829	9"	ELM
1830	15"	ELM
1831	14.5"	ELM
1832	13.5"	ELM
1833	12"	ELM
1834	11.5"	ELM
1835	14.5"	ELM
1836	7.5"	ELM
1837	12"	ELM
1838	12.5"	ELM

**RESUBDIVISION PLAT OF
RIDGEWOOD VILLAGE SECTION 2
(VOL. 38, PG. 18)**

SURVEYOR'S NOTE(S):

BASIS OF BEARING, TEXAS CENTRAL ZONE, NAD 83.

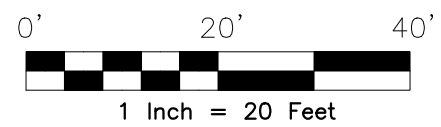
ELEVATION SHOWN HEREON ARE BASED ON GPS OBSERVATIONS USING THE LEICA SMARTNET RTK NETWORK AND REFERENCED TO THE CITY OF AUSTIN BENCHMARK AS SHOWN HEREON. VERTICLE DATUM: NAVD 88

LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- OVERHEAD ELECTRIC
- INDEX CONTOUR LINES
- NORMAL CONTOUR LINES
- PLATTED LOT LINE
- CALCULATED POINT
- FOUND IRON ROD
- BENCHMARK
- TEMPORARY BENCHMARK
- WATER METER
- ELECTRIC METER
- GAS METER
- POWER POLE
- MAILBOX
- GRINDER PUMP
- TREES AS LABELED
- RECORDED ON PLAT
- FIELD MEASURED

GRAPHIC SCALE



At date of this survey, the property is in FEMA designated ZONE X, as verified by FEMA map Panel No: 48453C 0445 K effective date of JANUARY 22, 2020. Exact designations can only be determined by an Elevation Certificate. This information is subject to change as a result of future FEMA map revisions and/or amendments.

The survey is hereby accepted with the discrepancies, conflicts, or shortages in area or boundary lines, encroachments, protrusions, or overlapping of improvements shown.

I, AARON MICAH REYNOLDS, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to CORRIDOR TITLE and LOANPEOPLE, LLC

that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon. I further certify that all easements and rights-of-way which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Engineers and Land Surveyors (Section 138.89).

Borrower/Owner: KEVIN & JULIA HARTNETT TRUST
Address: 419 RIDGEWOOD RD., WEST LAKE HILLS, TX 78746 GF No. 24-0086-D

Legal Description of the Land:
South 49' of Lot 3, and the North 35' of Lot 4, of RIDGEWOOD VILLAGE, SEC. 2, a subdivision in Travis County, Texas according to the map or plat of record in Volume 8, Page 26 of the Plat Records of Travis County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 8, PAGE 26, PLAT RECORDS, TRAVIS COUNTY, TEXAS VOLUME 1696, PAGE 256, DEED RECORDS, TRAVIS COUNTY, TEXAS DOCUMENT NO. 2012109454, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



"TREE" & "TOPOGRAPHY" SURVEY

JOB NO.:	2401098446	NO.	REVISION	DATE
DATE:	01/30/24			
DRAWN BY:	JD/UR/IM			
APPROVED BY:	AMR			



Aaron M. Reynolds
AARON MICAH REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 6644



P.O. BOX 160369
SAN ANTONIO, TEXAS 78280
PHONE: (210) 572-1995
WEB: WWW.AMERISURVEYORS.COM

PROPOSED AREA CALCULATIONS

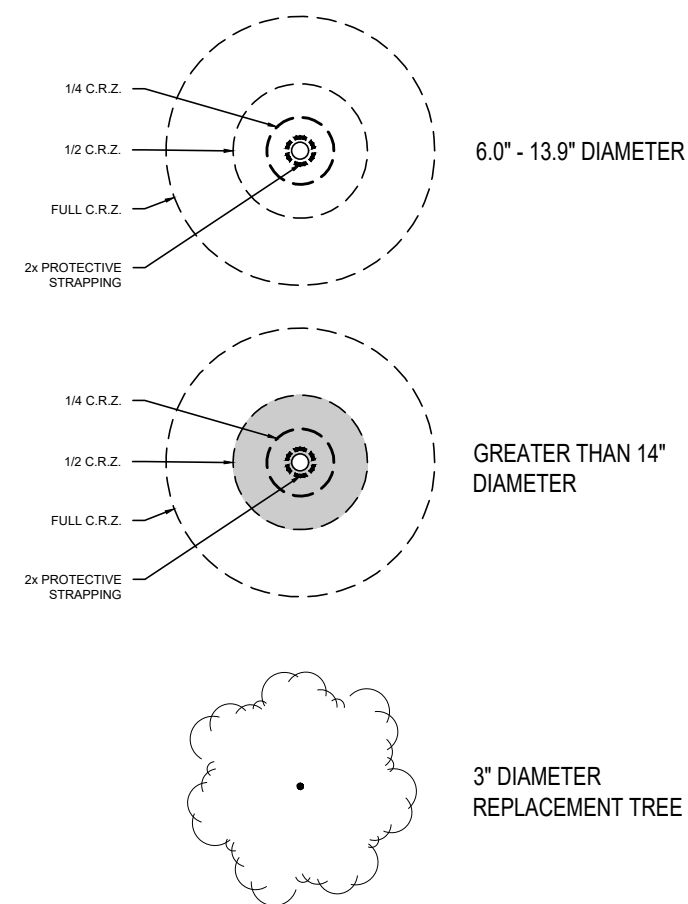
IMPERVIOUS COVER	2,555 SQFT
RESIDENCE	538 SQFT
ATTACHED GARAGE	78 SQFT
COVERED PORCH	521 SQFT
PERMEABLE DRIVEWAY (75%)	74 SQFT
WOOD DECK (50%)	50 SQFT
EQUIPMENT PADS/MISC FLATWORK	168 SQFT
SIDEWALK	191 SQFT
POOL	36 SQFT
SPA	81 SQFT
POOL COPING	4,292 SQFT
IMPERVIOUS COVER	
LOT AREA	11,798 SQFT
IMPERVIOUS COVER	4,292 SQFT
PERCENTAGE OF IC	36.4%
ALLOWABLE IC	36.5% (4306.27 SQFT)

CONDITIONED AREA	2,555 SQFT
FIRST FLOOR	1,544 SQFT
SECOND FLOOR	1,011 SQFT
TOTAL AREA	4,099 SQFT

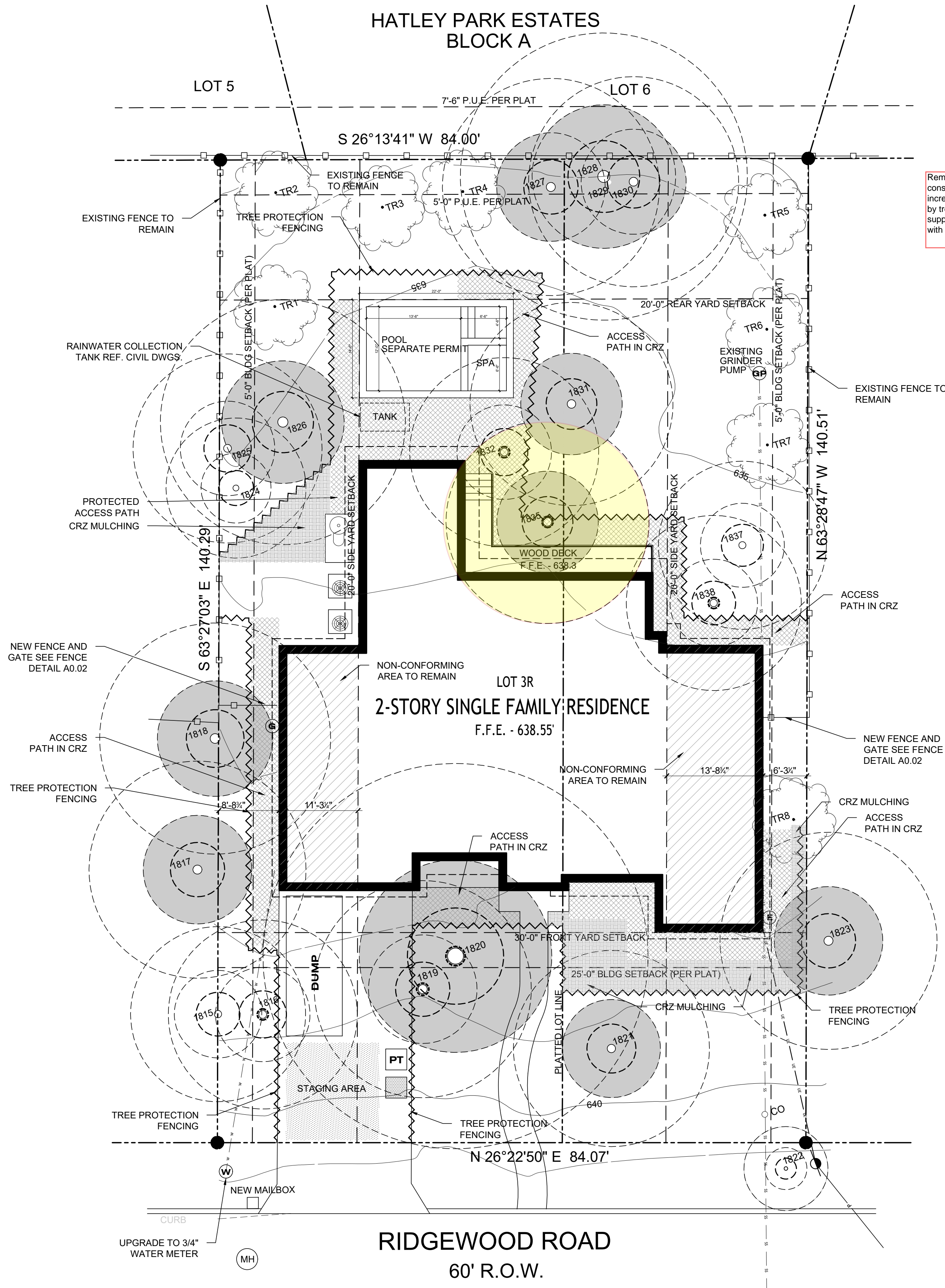
LEGEND

- STAGING AREA
- ROOF OUTLINE
- SETBACK / EASEMENT
- PROPERTY LINE
- WOOD FENCING
- TREE PROTECTIVE FENCING
- DUMPSTER / SPOILS
- WASHOUT(S)
- PORTABLE TOILET
- WASTE WATER
- GAS LINE
- WATER SUPPLY
- UNDERGROUND ELEC
- OVERHEAD POWER
- PROTECTIVE MULCHING, SEE TREE NOTES
- 4'-0" WIDE ACCESS PATH WITHIN CRZ, SEE TREE NOTES
- WATER, GAS, POWER UTILITY METERS
- FINISH FLOOR ELEVATION
- AIR CONDITIONER
- POOL EQUIPMENT

CRITICAL ROOT ZONES



- NOTES:
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES
 - PERMIT REQUIRED PRIOR TO REMOVAL OR PRUNING OF ANY TREE
 - CONTRACTOR TO CALL FOR INSPECTION PRIOR TO REMOVAL OF ANY TREE OR BRANCH OF ANY SIZE FOR WHICH A PERMIT HAS NOT BEEN APPROVED FOR APPROVAL
 - REFERENCE COWLH TREE NOTES FOR ADDITIONAL INFORMATION
 - REFERENCE CIVIL DRAWINGS FOR EROSION AND SEDIMENTATION CONTROLS
 - REFERENCE CIVIL DRAWINGS FOR IMPERVIOUS COVERAGE CALCULATIONS
 - SEE TREE CHART FOR NEW TREES REQUIRED FOR MITIGATION OF TREE REMOVAL



Removal of trees 1833, 1834 and 1836 for construction of a new residence has increased the threat to the property posed by tree 1835. It is proposed removal is supported by an arborist's letter, included with the plan in the application for removal.

TREE CHART

TREE TAG NO.#	DIAMETER	SPECIES	STATUS	C.R.Z.	PROTECTION
1815	12.5"	ELM	PROTECTED	12'-6"	F
1816	13.5"	ELM	PROTECTED	13'-6"	F/S
1817	15.5"	ELM	PROTECTED	15'-6"	F/P
1818	16.5"	ELM	PROTECTED	16'-6"	F/P
1819	15.5"	OAK	PROTECTED	15'-6"	F/S/P
1820	27.5"	OAK	PROTECTED	27'-6"	F/S/M/P
1821	14"	ELM	PROTECTED	14'-0"	F/M
1822	6"	CREPE MRTL	PROTECTED	6'-0"	F
1823	15.5"	ELM	PROTECTED	15'-6"	F/M/P
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1827	15.5"	OAK	PROTECTED	15'-6"	F/M/P
1828	20.5"	PRIVET	PROTECTED	20'-6"	F/S/M/P
1829	9"	ELM	PROTECTED	9'-0"	F/M/P
1830	15"	ELM	PROTECTED	15'-0"	F/M/P
1831	14.5"	ELM	PROTECTED	14'-6"	F/S/M/P
1832	13.5"	ELM	PROTECTED	13'-6"	S/M/P
1835	14.25"	ELM	PROTECTED	14'-3"	S/M/P
1837	12"	ELM	PROTECTED	12'-0"	F/M/P
1838	12.5"	ELM	PROTECTED	12'-6"	F/M/P

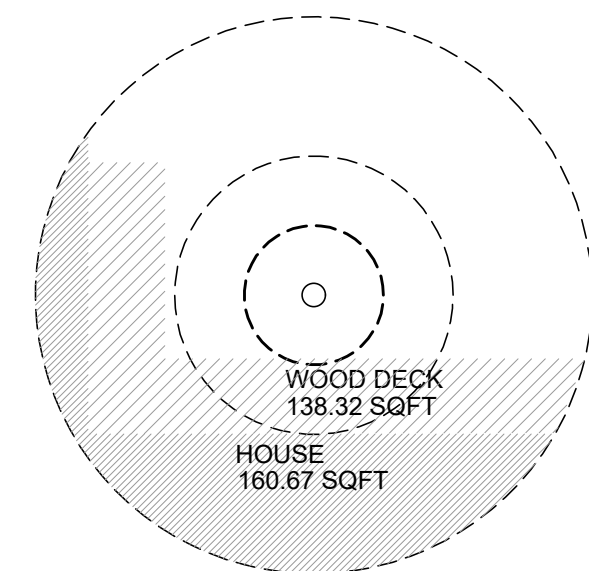
* PROTECTION: F - FENCING, S - STRAPPING, M - MULCHING, P - PROTECTIVE PATH

TREE TAG NO.#	DIAMETER	SPECIES	MITIGATION
TR1	3"	LACEY OAK	TO MITIGATE THE REMOVAL OF TREES 1833, 1834, AND 1836, WE PROPOSE MITIGATION WITH (8) 3"D TREES ALL MITIGATION TREES TO BE CHOSEN FROM CITY OF WEST LAKE HILLS TREE ORDINANCE APPENDIX A TOTAL REPLACEMENT INCHES IS 24"
TR2	3"	LACEY OAK	
TR3	3"	MONTERREY OAK	
TR4	3"	MONTERREY OAK	
TR5	3"	TX MTN LAUREL	Mitigation for the removal of Tree 1835, proposed by variance on the basis of threat, is to be determined by the permitting/variance process.
TR6	3"	TX REDBUD	
TR7	3"	TX MTN LAUREL	
TR8	3"	TX REDBUD	

TREE ORDINANCE NOTES:

- * A MINIMUM OF 50 PERCENT OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
- * THERE IS NO CUT OR FILL WITHIN THE 1/4 CRITICAL ROOT ZONES. NO IMPACTS ARE PERMITTED WITHIN THE 1/4 CRITICAL ROOT ZONE.
- * PRIOR TO CONSTRUCTION, 5' HIGH CHAIN-LINK MESH, PROTECTIVE FENCING IS REQUIRED AROUND ALL TREES WITHIN THE LOC. WHEN THE PROTECTIVE FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRITICAL ROOT ZONE, AN 8" LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE. ADDITIONALLY, MIN 2X4 OR GREATER SIZE PLANKS (6' TALL MINIMUM) TO BE STRAPPED SECURELY AROUND A PROTECTED TREE'S TRUNK AND ROOT FLARE WHEN PROTECTIVE FENCING DOESNT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
- * THERE IS NO CUT OR FILL 4" OR GREATER WITHIN THE 1/2 CRITICAL ROOT ZONE OF PROTECTED TREES. ONLY PIERS ARE ALLOWED WITHIN 1/2 CRITICAL ROOT ZONE AND PIERS MUST BE AIR-SPADED.
- * DEMOLITION WITHIN THE 1/2 CRITICAL ROOT ZONE MUST BE ACCOMPLISHED WITH HAND TOOLS.
- * NOT MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED WITHIN AN ANNUAL GROWING SEASON, AND THAT THE PERCENTAGE AND DISTRIBUTION OF FOLIAGE TO BE REMOVED SHALL BE ADJUSTED ACCORDING TO THE PLANT'S SPECIES, AGE, HEALTH, AND SITE. IF ANY PRUNING IS REQUIRED, A CERTIFIED ARBORIST MUST PERFORM THE PRUNING AND PRUNING MAY ONLY HAPPEN ONCE DURING THE PROJECT DURATION. THIS SHOULD OCCUR PRIOR TO CONSTRUCTION TO AVOID DAMAGING THE TREES DURING CONSTRUCTION. A "PAID IN FULL" RECEIPT FROM A CERTIFIED ARBORIST, FOR THE WORK, WILL BE REQUIRED FROM THE FINAL TREE INSPECTOR. IF 25% OR MORE OF THE CANOPY IS DESIRED TO BE REMOVED, THE CERTIFIED ARBORIST MUST PROVIDE A WRITTEN REPORT TO US TO SEEK A PERMIT, BEFORE PERFORMING THIS WORK.)
- * ACCESS ROUTES, MATERIAL STAGING, DUMPSTER AND SPOILS MAY NOT BE PLACED WITHIN A PROTECTED TREE'S 1/2 CRZ
- * PORTABLE TOILET, CONCRETE WASHOUT AND PAINT WASHOUT MAY NOT BE PLACED WITHIN A PROTECTED TREE'S FULL CRZ
- * AVOID THE 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES WITH ANY NEWLY PROPOSED UTILITY WORK. IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL BE AIR SPACED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER AND THE PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
- * IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

IMPACT DIAGRAM FOR TREE 1835:



FULL CRZ AREA: 660.52 SQFT
COVERAGE: 48.27% COVERAGE

SITE PLAN

Scale 1" = 10'-0" (TABLOID: Scale 1" = 20'-0")

Revisions By
#1 Permitting Update NFS
#2 Permitting Update NFS

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

Project Address:
419 Ridgewood Rd
West Lake Hills 78746

Contractor:
Captex Construction

SITE PLAN

drawn by: MJS
checked by: NS
scale: 1" = 10'-0"
first issue: 06/19/2025
plot date: 11/19/2025

PERMIT SET

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PROPOSED AREA CALCULATIONS

IMPERVIOUS COVER	
RESIDENCE	2,555 SQFT
ATTACHED GARAGE	538 SQFT
COVERED PORCH	78 SQFT
PERMEABLE DRIVEWAY (75%)	521 SQFT
WOOD DECK (50%)	224 SQFT
EQUIPMENT PADS/MISC FLATWORK	104 SQFT
POOL	161 SQFT
SPA	36 SQFT
POOL COPING	78 SQFT
TOTAL AREAS	4,295 SQFT

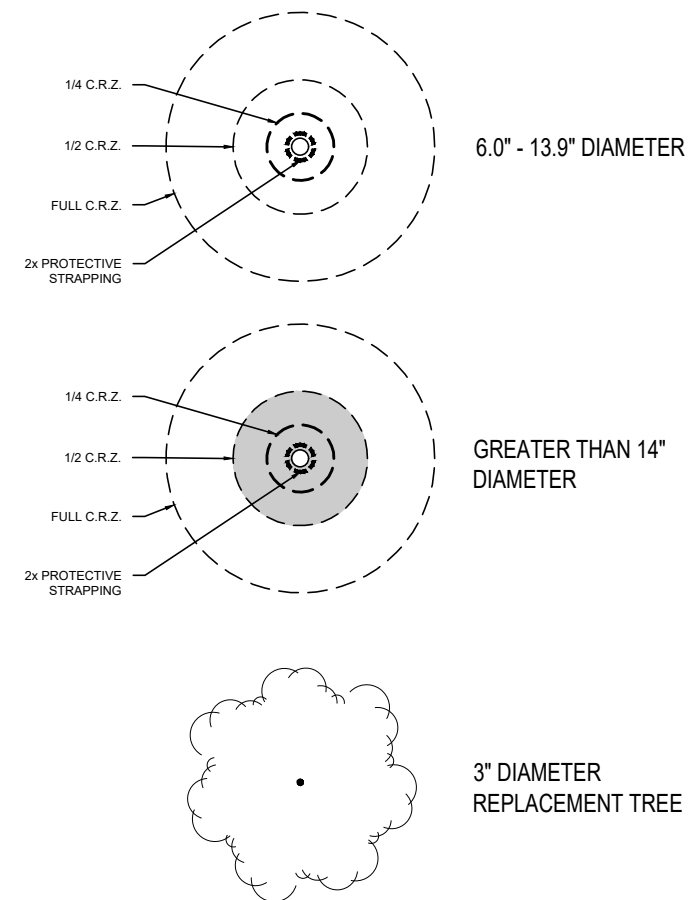
LOT AREA	11,798 SQFT
IMPERVIOUS COVER	4,295 SQFT
PERCENTAGE OF IC ALLOWABLE IC	36.5% (4306.27 SQFT)

CONDITIONED AREA	
FIRST FLOOR	2,555 SQFT
SECOND FLOOR	1,544 SQFT
TOTAL AREA	4,099 SQFT

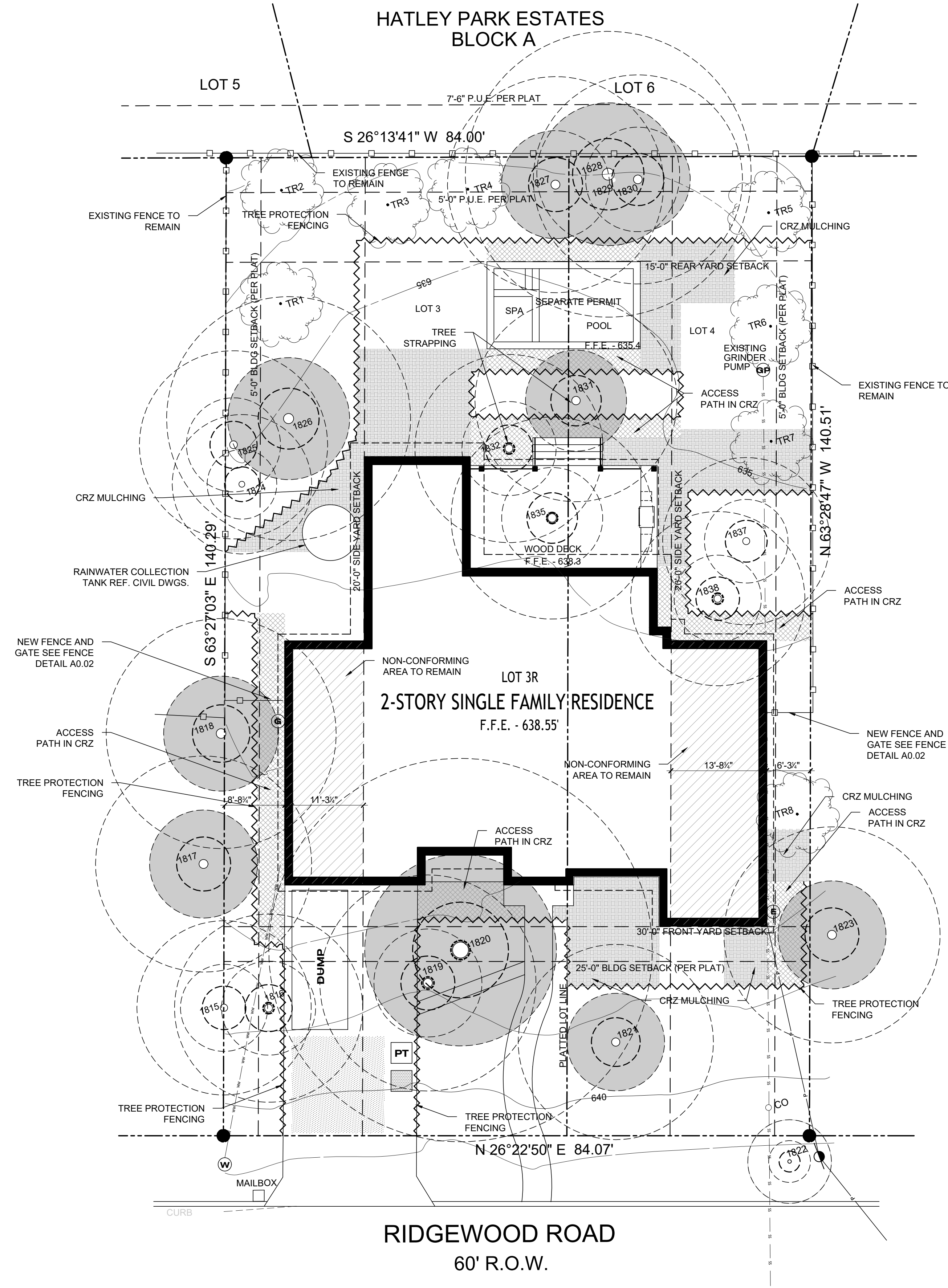
LEGEND

- STAGING AREA
- ROOF OUTLINE
- SETBACK / EASEMENT
- PROPERTY LINE
- WOOD FENCING
- TREE PROTECTIVE FENCING
- DUMPSTER / SPOILS
- WASHOUT(S)
- PORTABLE TOILET
- WASTE WATER
- GAS LINE
- WATER LINE
- UNDERGROUND ELEC
- OVERHEAD POWER
- PROTECTIVE MULCHING
- 4'-0" WIDE ACCESS PATH WITHIN CRZ
- WATER, GAS, POWER UTILITY METERS
- F.F.E. FINISH FLOOR ELEVATION
- AIR CONDITIONER
- POOL EQUIPMENT

CRITICAL ROOT ZONES



- NOTES:
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES
 - PERMIT REQUIRED PRIOR TO REMOVAL OR PRUNING OF ANY TREE
 - CONTRACTOR TO CALL FOR INSPECTION PRIOR TO REMOVAL OF ANY TREE OR BRANCH OF ANY SIZE FOR WHICH A PERMIT HAS NOT BEEN APPROVED FOR APPROVAL
 - REFERENCE COWLH TREE NOTES FOR ADDITIONAL INFORMATION
 - REFERENCE CIVIL DRAWINGS FOR EROSION AND SEDIMENTATION CONTROLS
 - SEE LANDSCAPE PLANS FOR NEW TREES REQUIRED FOR MITIGATION OF TREE REMOVAL
 - REFERENCE CIVIL DRAWINGS FOR IMPERVIOUS COVERAGE CALCULATIONS



SITE PLAN

Scale 1" = 10'-0" (TABLOID: Scale 1" = 20'-0")

TREE CHART

TREE TAG NO.#	DIAMETER	SPECIES	STATUS	C.R.Z.	PROTECTION
1815	12.5"	ELM	PROTECTED	12'-6"	F
1816	13.5"	ELM	PROTECTED	13'-6"	F/S
1817	15.5"	ELM	PROTECTED	15'-6"	F/P
1818	16.5"	ELM	PROTECTED	16'-6"	F/P
1819	15.5"	OAK	PROTECTED	15'-6"	F/S/P
1820	27.5"	OAK	PROTECTED	27'-6"	F/S/M/P
1821	14"	ELM	PROTECTED	14'-0"	F/M
1822	6"	CREPE MRTL	PROTECTED	6'-0"	F
1823	15.5"	ELM	PROTECTED	15'-6"	F/M/P
1824	10"	ELM	PROTECTED	10'-0"	F/M
1825	13.5"	ELM	PROTECTED	13'-6"	F/M
1826	17.5"	ELM	PROTECTED	17'-6"	F/M
1827	15.5"	OAK	PROTECTED	15'-6"	F/M/P
1828	20.5"	PRIVET	PROTECTED	20'-6"	F/S/M/P
1829	9"	ELM	PROTECTED	9'-0"	F/M/P
1830	15"	ELM	PROTECTED	15'-0"	F/M/P
1831	14.5"	ELM	PROTECTED	14'-6"	F/S/M/P
1832	13.5"	ELM	PROTECTED	13'-6"	S/M/P
1835	14.5"	ELM	PROTECTED	14'-6"	S/M/P
1837	12"	ELM	PROTECTED	12'-0"	F/M/P
1838	12.5"	ELM	PROTECTED	12'-6"	F/M/P

* PROTECTION: F - FENCING, S - STRAPPING, M - MULCHING, P - PROTECTIVE PATH

TREE TAG NO.#	DIAMETER	SPECIES	MITIGATION
TR1	3"	TBD	TO MITIGATE THE REMOVAL OF TREES 1833, 1834, AND 1836, WE PROPOSE MITIGATION WITH (8) 3"D TREES ALL MITIGATION TREES TO BE CHOSEN FROM CITY OF WEST LAKE HILLS TREE ORDINANCE APPENDIX A TOTAL REPLACEMENT INCHES IS 24"
TR2	3"	TBD	
TR3	3"	TBD	
TR4	3"	TBD	
TR5	3"	TBD	
TR6	3"	TBD	
TR7	3"	TBD	
TR8	3"	TBD	

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Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



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SITE PLAN

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CERTIFIED ARBOR CARE

PO BOX 1868 ROUND ROCK, TEXAS 78680 - 512.671.8733 OFFICE - 512.532.6272 FAX - WWW.CERTIFIEDARBORCARE.NET

Mr. Ray Hannawell
Project Manager
Arterberry Cooke Architecture
3411 Windsor Road
Austin, Texas 78746
ray@arterberrycooke.com
512-771-9136

January 22, 2026
Sent via email

Project name: Home Remodel- Ewart Residence
Project address: 419 Ridgewood Road
West Lake Hills, Texas 78746
Scope of work: Tree Assessment-Cedar Elm #1835

Dear Mr. Hannawell,

On December 18, 2025, a site meeting was held to discuss Cedar Elm tree (#1835) located in the backyard.

Those in attendance were Building Inspector Alex Sanchez, Ray Hannawell, Project Superintendent Daniel Prosis from Cap Tex Construction and myself.

The existing structural defects and health condition of the tree were discussed. The tree was re-measured and I confirmed the measurement to be 14.25" diameter at breast height (dbh). I also pointed out to Inspector Sanchez the tree is now vulnerable to increased "Wind Load" that wasn't there before the adjacent trees were removed, with Permit. Inspector Sanchez suggested the best path forward, would be a Variance request, submitted to the City of West Lake Hills for review. A Tree Assessment from the Certified Arborist would also need to accompany the submittal.

On December 22nd I conducted a tree assessment for tree #1835, a Cedar Elm located in the center of the backyard. My scope of work, included walking the site, measuring the tree, reviewing the tree structure, observing the critical root zone and tree health. I also photographed the tree and surroundings.

Conditions on site include: (see pictures below)

1. The Cedar Elm (#1835) is located in the center of the backyard of the existing home. It has been previously reviewed and permitted to remain to co-exist with the new home remodel and pool.
2. The tree is in "Fair" health with a slender structure commonly found when multiple trees are growing close together. The canopy is viable but slight in leaf volume, typical of closely clustered, growing trees. The tree size measures 14-1/4" diameter at breast height (dbh) and calculates to have a full Critical Root Zone of 14'-3" and a half Critical root zone of 7'-1-1/2". The tree has co-dominate central trunk leaders that occur approximately 22' above natural grade. Until recently, this tree had four other, smaller Cedar Elm trees growing in close proximity with one another. These trees were of the same species and depended on each other structurally.
3. **Contributing factors:** This tree structure displays a partial failure in the past (likely from wind or ice storm damage 4-5 years previous). The partial failure consists of a four-foot long, shear crack, split down the trunk and is very evident just below the co-dominant stem connection. After that storm event the previous property owners elected to have the co-dominate stems "Cabled" together, versus removing the tree. The single cable did allow for the tree to "Partially heal-up" but an open wound / cavity, still exists in the main tree trunk. At the time of that weather event, the tree was likely not as tall and with help from the adjacent trees, the wind stress was less, this allowed the "Cable" technique some success.
4. The adjacent trees closest to #1835 have been removed with Permit and this opens-up more exposure to "Wind Load" for this tree's canopy, magnifying the stress on the compromised trunk structure.



Tree # 1835 Slender shape and canopy



Tree # 1835 14.25" Cedar Elm with co-dominant trunk leaders



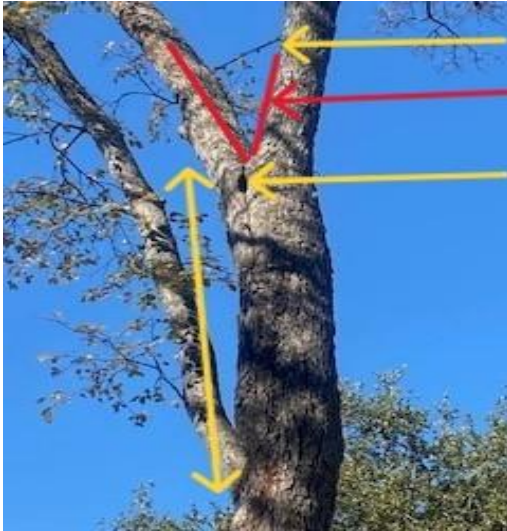
Previously installed cable location.

Co-dominant trunk leaders

Shear crack approximately 4 feet in length (in yellow).

Co-dominant trunk condition begins approximately 22' above grade.(shown in white).

Tree # 1835



Previously installed cable and location.

“V” shaped, co-dominant trunk leader (indicated by red lines).

“Open hole” in “Shear Crack” leading to interior cavity.

“Shear Crack” from previous storm damage approximately 4 feet in length, (indicated by yellow arrow).

Assessment summary:

This Cedar Elm (#1835) is viable but has visible internal and external defects. With these external defects there is reasonable cause and concern for the integrity of the internal trunk structure of the tree. The tree has multiple “Targets” including the new house, exterior stairs, walkway and pool area that will be affected if a weather event presents conditions that could cause the tree to fail. The tree is not a good candidate for monitoring or management because tree health and structural improvement cannot be quantified.

The property owner’s liability concerns are valid and it is my conclusion that removal of the tree will be the best way to mitigate their liability concerns

This concludes my assessment.

Certified Arbor Care is available to assist with all your tree care and removal needs. This includes Remedial Tree Care, tree removals, pruning, stump grinding, root zone air-spading, tree limb pruning, root pruning and fertilizations.

Thank you for the opportunity to assist you with this Project.

Sincerely,

Douglas Land Dear, ASLA

Landscape Architect TX #1838
ISA Certified Arborist TX #3919
ISA Tree Risk Assessment Qualified, Arborist
Texas ISA Oak Wilt Qualified, Arborist TX-216
Texas ISA Wildfire Risk Reduction Qualified, Arborist TX-120
TCEQ Licensed Irrigator LI #5131
512-818-5840

GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ALL CODE(S) AND GUIDELINES OF FEDERAL, STATE, COUNTY AND MUNICIPALITY HAVING JURISDICTION. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS, INCLUDING:

- 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 INTERNATIONAL FIRE CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 INTERNATIONAL PLUMBING CODE, 2015 INTERNATIONAL MECHANICAL CODE, AND 2017 NATIONAL ELECTRICAL CODE WITH STATE AND LOCAL AMENDMENTS AS ADOPTED BY THE LOCAL JURISDICTION.

IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICTS WITH OR ARE IN VIOLATION OF APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS OWN RISK. UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY ARCHITECT, WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, REGULATIONS AND/OR ORDINANCES, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL COST TO OWNER.

CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED PER GOVERNING AGENCY AND CODE REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY TEMPORARY SHORING AND BRACING TO INSURE THE SAFETY OF THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION FOR SIDEWALKS, DRIVEWAYS, CURBS, GUTTERS, STREETLIGHTS, EASEMENTS, UTILITIES, FENCES, SIGNS, BARRICADES, ETC. ADJACENT TO THE PROPERTY, AND SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS.

CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL, AND ARCHITECTURAL WORK.

WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. SUCH WORK AND OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION.

INFORMATION CONTAINED IN THESE DOCUMENTS WHICH DESCRIBE OR LOCATE EXISTING SITE AND BUILT ELEMENTS, IS BASED ON INFORMATION (DRAWINGS, NOTES, SURVEYS, ETC.) SUPPLIED BY THE OWNER AND/OR HIS ARCHITECTS, AND LIMITED SITE OBSERVATION. THE CONTRACTOR/OWNER'S SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FINISH CONDITIONS APPLICABLE TO THE WORK DESCRIBED HEREIN.

THE CONTRACTOR IS TO SURVEY EXISTING SITE CONDITIONS AS REQUIRED FOR COORDINATION WITH EXISTING UTILITIES AND THEIR CONNECTIONS, WHERE DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL ADVISE THE OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL TAKE PROTECTION MEASURES THAT WILL BE UTILIZED DURING

CONSTRUCTION TO PROTECT ADJOINING AND NEARBY PROPERTIES (PUBLIC AND PRIVATE) FROM NOISE, DUST, DIRT, FIRE HAZARDS AND POTENTIAL PROBLEMS CAUSED BY SUCH CONSTRUCTIONS.

PROPERTY AND PREMISE LINES ADJACENT TO THE BUILDING SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEYOR AND A SURVEY REPORT SHALL BE AVAILABLE ON SITE PRIOR TO FOUNDATION INSPECTION.

FUTURE OWNER IMPROVEMENTS REQUIRE SEPARATE BUILDING PERMITS.

THIS DOCUMENT, THE IDEAS, AND THE DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.

LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER THOSE OF SMALLER SCALE. WHERE DISCREPANCIES ARE FOUND BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF OTHER CONSULTANTS, THE ARCHITECTURAL DRAWINGS SHALL GENERALLY BE ASSUMED TO GOVERN.

DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.

DIMENSIONS ARE TO FACE OF STUD FRAMING MEMBERS OR EXTERIOR FINISHED SURFACES ON NEW CONSTRUCTION. DIMENSIONS ARE FROM FACE OF FINISH SURFACE TO FACE OF FINISH SURFACE ON EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.

THE ARCHITECT HEREBY STATES THAT SHE HAS NO KNOWLEDGE OF ANY POSSIBLE EXISTENCE OF HAZARDOUS MATERIALS AT THIS SITE AND THAT SHE CANNOT AND WILL NOT BE HELD LIABLE FOR ANY UNSEEN OR UNKNOWN HAZARDOUS MATERIAL RELATED CONDITIONS THAT MAY ARISE DURING THE WORK. IF SUCH CONDITIONS SHOULD BE DISCOVERED THE CONTRACTOR SHALL STOP ALL WORK IMMEDIATELY AND NOTIFY THE OWNER OF SUCH. THE OWNER SHALL BE RESPONSIBLE FOR MAKING ARRANGEMENTS FOR THE SAFE AND LEGAL REMOVAL OF HAZARDOUS MATERIAL AND REMEDYING ANY HAZARDOUS CONDITIONS AS REQUIRED BY THE GOVERNING AUTHORITIES. THE CONTRACTOR SHALL NOT BE EXPECTED TO RESUME WORK UNTIL SUCH REMOVALS ARE EFFECTED IN A SAFE AND LEGAL MANNER.

DETAILS NOT SHOWN ARE TO BE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY ONE WILL BE AS BINDING AS IF CALLED FOR BY ALL. SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED AS APPROVED BY THE ARCHITECT AND/OR OWNER

ALL INSULATING MATERIAL SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE. DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT

GALVANIC ACTION.

IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.

PROVIDE CARBON MONOXIDE ALARM OUTSIDE EACH SLEEPING AREA

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO SANITARY SEWER, KITCHEN SINKS, LAVS, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO APPROVED WATER SUPPLY.

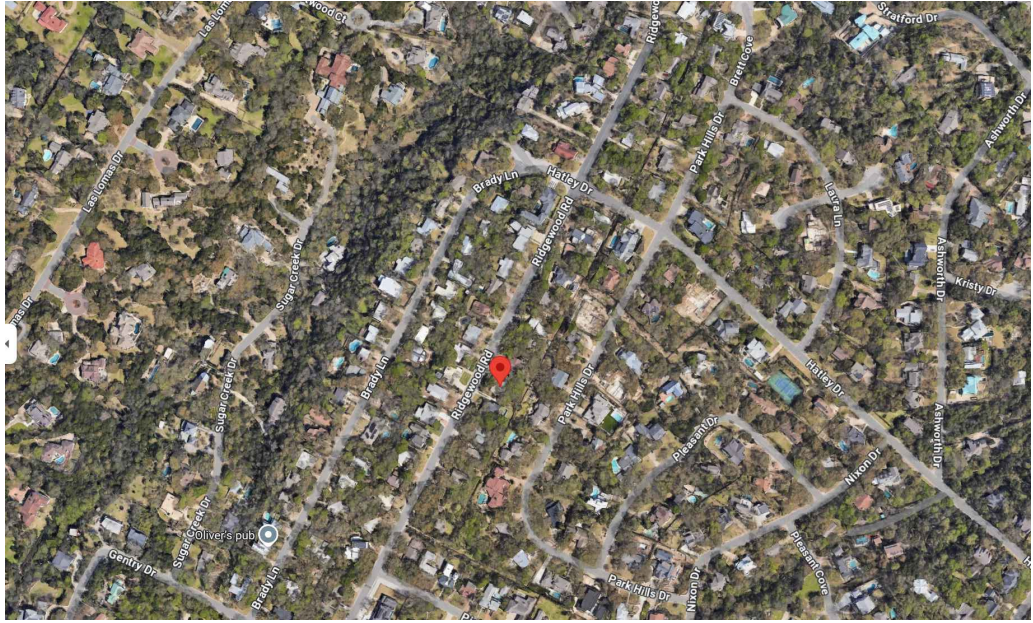
EXTEND THROUGH ROOF FLUES AND VENTS UP THROUGH ROOF IN ACCORDANCE WITH THE IRC TO ACHIEVE REQUIRED CLEARANCES. FLASH AND SEAL ALL ROOF PENETRATIONS.

NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR AND SHALL TERMINATE OUTSIDE THE BUILDING.

PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQFT AND 44" MAX TO SILL)

PROVIDE SOLID BLOCKING WITHIN WALLS FOR ALL MILLWORK, WALL HUNG ACCESSORIES, TV, AND EQUIPMENT. PROVIDE BLOCKING IN CEILINGS AT ALL HEAVY PENDANT AND CEILING FANS. FIELD VERIFY AND COORDINATE ALL REQUIRED BLOCKING.

Table with 4 columns: DRAWING INDEX, COVER, A3.4, EDGE OF SLAB PLAN, A3.5, ROOF PLAN, A4.0, EXTERIOR ELEVATIONS, A4.1, EXTERIOR ELEVATIONS, A5.0, BUILDING SECTIONS, A5.1, BUILDING SECTIONS, A5.2, BUILDING SECTIONS, A6.0, WALL SECTIONS, A6.1, WALL SECTIONS, A6.2, WALL SECTIONS, A6.3, WALL SECTIONS, E1.0, 1ST FLOOR ELECTRICAL PLAN, E1.1, 2ND FLOOR ELECTRICAL PLAN, E2.0, 1ST FLOOR REFLECTED CEILING PLAN, E2.1, 2ND FLOOR REFLECTED CEILING PLAN, A3.3, 2ND FLOOR PLAN - DIMENSIONS



VICINITY MAP SCALE: 1:N.T.S.

SCOPE OF WORK RENOVATION AND SECOND FLOOR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND RELATED SITE DEVELOPMENT

SYMBOL LEGEND

- REVISION TAG
WALL TYPE TAG
DOOR TAG
WINDOW TAG
EXTERIOR ELEVATION TAG
INTERIOR ELEVATION TAG
BUILDING SECTION TAG
DETAIL TAG

BRIEF SPECIFICATION

EXECUTION AND CLOSEOUT REQUIREMENTS - THE EXECUTION OF ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS AND MANUFACTURER'S WRITTEN SPECIFICATIONS OR MATERIAL'S INSTITUTE STANDARDS. CONTRACTOR TO INVESTIGATE PROPOSED PRODUCT SUBSTITUTIONS AND DETERMINE THAT THEY ARE EQUAL OR SUPERIOR IN ALL RESPECTS TO PRODUCTS SPECIFIED. COORDINATE INSTALLATION OF ACCEPTED SUBSTITUTIONS INTO THE WORK, MAKING SUCH CHANGES AS MAY BE REQUIRED FOR THE WORK TO BE COMPLETE IN ALL RESPECTS. WHERE THE MANUFACTURER'S RECOMMENDED DETAILS ARE USED, THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THEIR PRODUCT. ALL WORK NOT SPECIFICALLY MENTIONED THAT IS REQUIRED TO MAKE THE WORK COMPLETE AND OPERATIONAL SHALL BE INCLUDED.

CODES - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO INSURE COMPLIANCE WITH SAID CODES AND MODIFY THE SPECIFICATIONS AS NEEDED TO COMPLY WITH SUCH CODES.

MEASUREMENTS - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTED DIMENSIONS TAKE PRECEDENCE.

WORKMANSHIP - WORKMANSHIP SHALL CONFORM TO THE BEST AND HIGHEST STANDARDS OF QUALITY IN EACH TRADE AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION AND INSTALLATION. ALL WORK SHALL BE COMPLETED BY SKILLED TRADESMEN AND MECHANICS. INSTALLATION OF ALL EQUIPMENT AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

INSURANCE - BUILDERS RISK INSURANCE SHALL BE MAINTAINED BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION UNTIL FINAL ACCEPTANCE BY THE OWNER. ALL BONDING AND INSURANCE REQUIREMENTS SHALL BE COORDINATED WITH THE OWNER PRIOR TO BEGINNING CONSTRUCTION. ALL CONTRACTORS SHALL PROVIDE AND BE SOLELY RESPONSIBLE FOR NECESSARY BARRICADES AND SAFETY PRECAUTIONS, AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING THE OSHA ACT.

CLEANING AND WASTE MANAGEMENT - CONSTRUCTION SITE TO BE IN A CLEAN AND ORDERLY CONDITION THROUGHOUT THE CONSTRUCTION PROCESS. CLEAN INTERIOR SPACES PRIOR TO THE START OF FINISH PAINTING AND THE APPLICATION OF OTHER FINISHES. AT THE COMPLETION OF CONSTRUCTION, THE PROJECT SHALL BE CLEANED. THIS SHOULD INCLUDE BUT NOT BE LIMITED TO, CLEANING THE INTERIOR AND EXTERIOR GLASS, SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. POLISH TRANSPARENT AND GLOSSY SURFACES. VACUUM CARPETED AND SOFT SURFACE AREAS, SWEEP AND MOP ALL TILED SURFACES, ETC. REPLACE FILTERS OF OPERATING EQUIPMENT, CLEAN EQUIPMENT AND FIXTURES TO A SANITARY CONDITION. CLEAN EXTERIOR SUCH AS DEBRIS FROM ROOF, GUTTERS, LANDSCAPE AREAS, DRIVEWAYS AND WALKS, ETC. REMOVE ALL WASTE AND OTHER SURPLUS MATERIALS.

TEMPORARY FACILITIES - CONTRACTOR SHALL MAKE NECESSARY CONNECTION TO EXISTING UTILITIES FOR TEMPORARY POWER AND WATER SUPPLY PRIOR TO BEGINNING CONSTRUCTION. COORDINATE SUCH USE WITH THE OWNER PRIOR TO CONNECTION. CONTRACTOR SHALL PROVIDE AND MAINTAIN IN A NEAT AND SANITARY CONDITION SUCH ACCOMMODATIONS FOR THE USE OF HIS EMPLOYEES AS WILL COMPLY WITH LAWS AND REGULATIONS. TEMPORARY TOILET FACILITIES MAY CONSIST OF PORTABLE TOILETS. TOILET FACILITIES SHALL BE KEPT SUPPLIED AND CLEAN AND IN SANITARY CONDITION UNTIL THE COMPLETION OF THE WORK AND THEN SHALL BE REMOVED FROM THE SITE. UPON REMOVAL, THE SITE SHALL BE CLEANED AND GRADED. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES TO SEPARATE CONSTRUCTION AREAS FOR PUBLIC SAFETY AROUND ENTIRE PERIMETER OF CONSTRUCTION AREA.

PROTECTING MATERIALS AND INSTALLED CONSTRUCTION - THE CONTRACTOR SHALL PROVIDE A MATERIAL STORAGE AREA ADJACENT TO THE AREA OF CONSTRUCTION. LOCATION SHALL BE COORDINATED WITH THE OWNER. MATERIALS SHALL BE PROTECTED FROM RAIN AND OTHER SOURCES OF MOISTURE. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. CONTRACTOR TO PROTECT ALL INSTALLED CONSTRUCTION, IF PRODUCTS OR MATERIALS COME WITH A PROTECTIVE COATING, CONTRACTOR SHALL MAINTAIN PROTECTIVE COATING THROUGH CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL REPLACE ANY ITEMS THAT BECOME DEFECTIVE OR DAMAGED, ALL DUCTS AND OTHER RELATED MECHANICAL SUPPLY AND RETURN OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HVAC EQUIPMENT.

EXISTING CONDITIONS - CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND PROVIDE NECESSARY SITE WORK, EXCAVATION AND GRADING AS REQUIRED TO CONSTRUCT SAID PROJECT.

MASONRY - CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND PROVIDE LABOR AND MATERIALS PERTAINING TO MASONRY WORK AS REQUIRED IN SAID DOCUMENTS AND AS SPECIFIED HEREIN, WHILE COMPLYING WITH ALL APPLICABLE BUILDING CODES. DRY BRUSH MASONRY SURFACE AT THE END OF EACH DAY'S WORK AND AFTER FINAL POINTING USING WIRE BRUSHES TO REMOVE MORTAR BUT EXERCISE CARE NOT TO SCRATCH OR DAMAGE WORK. FINAL CLEANING OF MASONRY TO OCCUR MINIMUM 7 DAYS AFTER MASONRY WORK IS COMPLETED. COMPLY WITH RECOMMENDATIONS OF MANUFACTURERS OF CHEMICAL CLEANERS FOR PROTECTING BUILDING SURFACES, LANDSCAPE, PERSONS AND PROPERTY AGAINST DAMAGE FROM EXPOSURE TO THEIR PRODUCTS. MORTAR SHALL BE TYPE "M" OR "S" IN ACCORDANCE WITH ASTM C270, 2500 PSI. GROUT SHALL BE IN ACCORDANCE WITH ASTM C270, TYPE M, 2500 PSI CONCRETE USING PEA GRAVEL FOR COARSE AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND AN 8" MINIMUM TO 11" MAXIMUM SLUMP. MORTAR JOINTS THICKNESS AND PROFILE TO MATCH EXISTING. CONTINUOUS FLASHING SHALL BE INSTALLED AT THE BOTTOM OF THE WALL ABOVE GRADE, WITH WEEP-HOLES AT 32" OC. FLASHING SHOULD BE INSTALLED AT THE HEADS AND SILLS OF ALL OPENINGS, PROVIDE WEEP-HOLES, SPACED APPROXIMATELY 32 INCHES ON CENTER IN VERTICAL JOINTS OF FIRST COURSE AND OVER ALL COUNTER FLASHING AND THROUGH WALL FLASHING ON INTERIOR WALLS. UNITS WITH SIZE, COLOR AND SHAPE TBD.

INTERIOR WALLS - INTERIOR WALLS SHALL BE 2"x4" WOOD STUDS OR, WHERE PLUMBING STACKS ARE PRESENT, 2"x6" WOOD STUDS AT 16" OC, WITH SINGLE BOTTOM PLATES AND DOUBLE TOP PLATES THROUGHOUT. REFER TO STRUCTURAL DRAWINGS. PROVIDE SOLID BLOCKING AT MID-HEIGHT OF ALL WALLS WHICH EXCEED 9'-0" IN HEIGHT AND ADDITIONAL BLOCKING AS SHOWN ON THESE DRAWINGS OR REQUIRED BY CODE.

FINISH CARPENTRY - ALL ARCHITECTURAL TRIM AND WOODWORK SHALL BE PRIMED FJ PINE NO. 1 GRADE MATERIAL SUITABLE FOR PAINT FINISHES. WOOD THAT WILL BE STAINED SHALL BE CLEAR OF KNOTS WITH CONCEALED JOINTS. PROVIDE AND INSTALL INTERIOR WOOD TRIM AS SHOWN ON INTERIOR DRAWINGS/SCHEDULE.

WOOD STAIRS - GENERALLY THE VERTICAL DIMENSION OF EACH RISER SHOULD BE NO MORE THAN 7.5" AND THE HORIZONTAL DIMENSION OF EACH TREAD WILL BE 11". A MINIMUM OF 6"-8" CLEAR HEADROOM IS REQUIRED, MEASURED FROM THE FRONT EDGE OF THE TREAD TO A LINE PARALLEL TO THE TREAD SURFACE. EITHER 1/2" OR 3/4" THICK FINISH GRADE LUMBER RISERS SHOULD BE CONSTRUCTED OF 3/4" FINISH GRADE LUMBER. STRUCTURAL STAIR STRINGERS SHALL BE CONSTRUCTED OF 2"x12"s. GLUE AND NAIL STAIR ASSEMBLY TOGETHER.

METAL RAILINGS - INSTALL METAL HAND RAILINGS AND GUARDRAILS TO MEET ALL APPLICABLE BUILDING CODES, WITH APPROPRIATE DETAILING AND PATTERNS AS SHOWN IN CONSTRUCTION DOCUMENTS. METAL SHALL BE SHOP BUILT, WELDED TOGETHER, CLEANED THOROUGHLY AND PAINTED WITH TWO COATS OF AN ANTI-RUST PRIMER. AFTER INSTALLATION, APPLY AN ADDITIONAL COAT OF ANTI-RUST PRIMER IN PREPARATION FOR FINISH COATS.

EXTERIOR MOLDS - HIGH DENSITY, DURABLE, NON-WATER ABSORBING, POLYURETHANE POLYMER COMPARABLE TO KILN-DRIED WHITE PINE MILLWORK, WITH HIGHER SKIN DENSITY. PROVIDE UNITS WITH MANUFACTURERS STANDARD BARRIER COAT AND SHOP-APPLIED PRIMER TO RECEIVE FIELD APPLIED FINISH PAINT COATING. FASTENERS, JOINT COMPOUND AND ADHESIVE SOURCED AND INSTALLED AS RECOMMENDED BY MANUFACTURER.

THERMAL AND MOISTURE PROTECTION - CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND PROVIDE LABOR AND MATERIALS PERTAINING TO THERMAL AND MOISTURE PROTECTION WORK AS REQUIRED IN SAID DOCUMENTS AND AS SPECIFIED HEREIN, WHILE COMPLYING WITH ALL APPLICABLE BUILDING CODES.

DAMP PROOFING AND WATERPROOFING - OVER STUDS AND SHEATHING, INSTALL ONE LAYER OF APPROVED MOISTURE BARRIER OVERLAPPED A MINIMUM OF 6" EXCEPT AT STUCCO FINISH. PROVIDE 2 LAYERS, ALL JOINTS AND PENETRATIONS IN WALLS, FLOORS, AND ROOFS SHALL BE MADE WATER TIGHT USING APPROVED METHODS AND MATERIALS. WATERPROOFING AND DAMPROOFING RECOMMENDATIONS CONTAINED HEREIN ARE MINIMUM. CHECK WITH LOCAL CODE OFFICIALS FOR ADDITIONAL REQUIREMENTS. THERMAL PROTECTION - EFFECTIVE R VALUES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE ENERGY CODES. ALL PLUMBING CHASES SHALL BE INSULATED WITH BATT INSULATION FOR SOUND ATTENUATION.

THERMAL PROTECTION - EFFECTIVE R VALUES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE ENERGY CODES. ALL PLUMBING CHASES SHALL BE INSULATED WITH BATT INSULATION FOR SOUND ATTENUATION.

EXTERIOR WALLS - MIN WALL INSULATION SHALL BE R VALUE OF 19.

INTERIOR WALLS - INSTALL, R-11 BATT-INSULATION AT BATH ROOMS, PLUMBING CHASES, LAUNDRY ROOMS, MECHANICAL CLOSETS AND OTHERWISE SPECIFIED FOR SOUND ATTENUATION.

CEILING - ATTIC INSULATION SHALL BE BLOWN CELLULOSE (OR EQUAL) AND HAVE MIN. R-VALUE OF 38. PROVIDE BAFFLES AT EAVES TO PROVIDE FOR VENTILATION. AT FLAT ROOFS PROVIDE MIN 10" DENSELY PACKED, 3.5 LBS/CUFT DENSITY, BLOWN CELLULOSE BETWEEN ROOF/CEILING JOISTS, HELD IN PLACE WITH BREATHABLE MESH SUSPENDED FROM STRUCTURE (INSULVALUE OR EQUAL) AS NEEDED. USE OF MIN R-VALUE OF COMBINATION IS R38.

UNDERLAYER - ON ALL ROOF SURFACES INSTALL A PEEL AND STICK UNDERLAYMENT CONSISTS OF A HIGH-DENSITY POLYESTER OR POLYETHYLENE LAYER. THIS IS SATURATED IN MODIFIED BITUMEN. FOR ROOFS THAT ARE STEEPER THAN A 6:12 PITCH USE A SINGLE LAYER OF UNDERLAYER. FOR ROOFS WITH LESS THAN A 6:12 PITCH INSTALL A DOUBLE LAYER OF UNDERLAYER AND OVERLAP A MINIMUM OF 18". OVERLAP UNDERLAYER A MINIMUM OF 4" VERTICALLY AND 12" HORIZONTALLY. CONTINUE FELT 6" UP ALL VERTICAL SURFACES AND 4" OVER GUTTER AND VALLEY METAL. LAY COURSES PARALLEL WITH EAVES. DO NOT STRETCH COURSES.

CEMENT TILE ROOF SYSTEM - INSTALL ROOF TILE SYSTEM WITH ONE OF THE FOLLOWING PROFILES: FLAT/LOW PROFILE, MEDIUM PROFILE, OR HIGH/BARREL PROFILE. OVER SPECIFIED ROOF FRAMING AND SHEATHING. INSTALL #30 ROOF UNDERLAYMENT OVER SHEATHING WITH BATTEN SYSTEM SPACED AND FASTENED AS SPECIFIED BY MANUFACTURER.

LOW SLOPE METAL ROOF - INSTALL 50 YEAR WARRANTY LOW-SLOPE METAL ROOF SYSTEM WITH CONCEALED FASTENERS. INSTALL A LAYER OF FIRE-RETARDANT UNDERLAYER BETWEEN ROOF STRUCTURE AND METAL. COLOR TBD.

MANUFACTURED GUTTERS AND DOWNSPOUTS - INSTALL 25 GAUGE ALUMINUM 6" WIDE COVERED GUTTERS AND 5" DOWNSPOUTS. ATTACH EVERY 2'-6" ON CENTER (OC) WITH STRAPS AND/OR FASTENERS. COORDINATE LOCATION OF DOWNSPOUTS TO CARRY WATER AWAY FROM THE FOUNDATION.

STUCCO - INSTALL SELF FURRING METAL LATH OVER 2 LAYERS WEATHER RESISTIVE BARRIER. APPLY WEEP SCREED AT BASE. STUCCO SHOULD BE HELD MIN 6" FROM ADJACENT HORIZONTAL SURFACE. MINIMIZE LATH LAPPING. SECURE LATH UNIFORMLY WITH OPEN ENDS SECURED TIGHTLY. CONTROL JOINTS SHALL BE AS SPECIFIED BY MANUFACTURER, BUT MINIMALLY, AT WINDOWS AND DOORS, AT LENGTHS OVER 16', AND AREAS GREATER THAN 160 SQFT. INSTALL LAHARRA FASTWALL 100 STD/OC SYSTEM (OR EQUAL) INCLUDING BASE COAT, ACRYLIC PRIMER, AND ACRYLIC FINISH COAT AS SPECIFIED BY MANUFACTURER. COMPLETE INSTALLATION WITH SEALANTS AT PENETRATIONS, WEEP SCREEDS, JOINT AND CORNER BEADS AND OTHER INSTALLATION ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER.

FLASHING AND SHEET METAL - INSTALL APPROPRIATE FLASHING AT ALL CHIMNEYS, JOINTS OF WALLS, VENT PIPES AND OTHER CONNECTION POINTS TO PREVENT THE INFILTRATION OF WATER. FLASHING SHALL BE ASSEMBLED OF 26 GAUGE MINIMUM GALVANIZED, CORROSION RESISTANT SHEET METAL. VALLEYS SHALL BE WRAPPED WITH 20" WIDE GALVANIZED FLASHING AND EXTEND 10" IN EACH DIRECTION FROM CENTER LINE OF VALLEY. USE #16G X 4" HIGH X 10' LONG GALVANIZED FLASHING BETWEEN WALL SIDINGS AND ROOF. KEEP FLASHING CONCEALED EXCEPT WHERE EXPOSED ON VERTICAL SURFACES OR COUNTER FLASHINGS.

JOINT SEALANTS - USE A 50 YEAR WARRANTY SILICON BASED CALK AT HIGH EXPANSION/COMPRESSION AREAS, SUCH AS AROUND CHIMNEYS, TILE, CERAMIC, AND AROUND ENAMEL AND PRE-FABRICATED TUBS AND SHOWERS. CALK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOORS AND AT EXTERIOR SIDING JOINTS. FOR EXTERIOR WINDOWS, DOOR FRAMES, INTERIOR TRIM, WOODWORK AND OTHER PAINTABLE SURFACES USE A CLEAR LATEX BASED CALK. COLOR SHALL MATCH PAINT.

OPENINGS - MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS LISTED IN THE RESIDENTIAL ENERGY CODE. SITE-CONSTRUCTED DOORS AND WINDOWS, EXTERIOR JOINTS, AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE CALKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED, EXCEPT FIRE RATED DOORS OR WINDOWS, AND UNFRAMED GLASS DOORS. SEE A0.4 FOR ADDITIONAL REQUIREMENTS AND SCHEDULES. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED BY PLUMBING, MECHANICAL AND OTHER TRADES, AND AS REQUIRED BY CODES, LOCATION(S) AND TYPE(S) TO BE APPROVED BY THE OWNER.

GYPSON BOARD - GYPSON BOARD MUST BE HELD FIRMLY AGAINST THE FRAMING WHILE FASTENING TO AVOID LATER MOVEMENT OF GYPSON BOARD ON THE SHANK OF THE NAILS OR SCREWS. SHEATH WALLS WITH 1/2" GYPSON WALLBOARD, AND CEILINGS WITH 5/8" GYPSON WALL BOARD, EITHER 1/2" OR 5/8" PARALLEL TO GRADE OR PERPENDICULAR TO GRADE WITH LONG EDGES AT RIGHT ANGLES TO FRAMING MEMBERS. SQUARE CORNERS. APPLY ONE LAYER TO ALL WALL SURFACES. OFFSET JOINTS BETWEEN LAYERS AT LEAST 10". WALL AND CEILING FINISH LEVEL 5. SMOOTH TEXTURE. IN GARAGES, AROUND GAS WATER HEATERS AND AS REQUIRED BY APPLICABLE BUILDING CODES, INSTALL 5/8" TYPE "X" FIRE-RATED GYPSON WALLBOARD; FINISH LEVEL 2. AROUND SHOWERS, TUBS, WHIRLPOOLS, OR AS REQUIRED BY APPLICABLE BUILDING CODES, INSTALL 1/2" WATER RESISTANT FIBER CEMENT BOARD, FINISH LEVEL 2

FLOORING - CONTRACTOR SHALL PROPERLY CLEAN ALL SURFACES TO BE COVERED AND INSTALL APPROPRIATE UNDERLAYMENT PER MANUFACTURERS RECOMMENDATIONS.

TILING - TILES SHALL BE APPROPRIATE GRADE AND FINISH IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND OWNER REQUIREMENTS. INSTALLATION SHOULD BE CARRIED OUT OVER APPROPRIATE UNDERLAYMENT WITH A SLOW SETTING CEMENT ADHESIVE, WELL MIXED PER MANUFACTURER RECOMMENDATIONS. GROUTING OF CONTROL JOINTS CAN BE EXECUTED EITHER WITH CEMENT BASED GROUT OR WITH RESIN BASED ORGANIC MATERIALS.

WOOD FLOORING - INSTALL A SINGLE LAYER OF 15 LB FELT VAPOR BARRIER BETWEEN SUB-FLOOR DECKING AND HARDWOOD FLOORS. WHEN INSTALLING HARDWOODS OVER A CONCRETE SLAB INSTALL A LAYER OF 3/4" PLYWOOD AS UNDERLAYMENT OVER 6 MIL POLYETHYLENE. ALONG WALLS AND PERMANENT OBJECTS, INSTALL A 1" QUARTER ROUND MOLDING TO CONCEAL EXPANSION AREA. WOOD FLOORING SHALL BE TONGUE AND GROOVE CONSTRUCTION AND TRUE SQUARE EDGED FOR A FLAT SMOOTH SURFACE. WOOD FLOORING CAN BE FASTENED WITH APPROPRIATE NAILS, STAPLES OR GLUE. CHECK SPECIFIC MANUFACTURERS RECOMMENDATIONS.

EXTERIOR PAINTING - ALL NAIL HEADS SHALL BE SET BELOW THE SURFACE AND FINISHED SMOOTH. IF MILDEW IS EVIDENT, THE MILDEW MUST BE REMOVED AND SURFACE TREATED TO INHIBIT FURTHER MILDEW GROWTH. EXTERIOR WALLS SHALL RECEIVE A PRIMER COAT AND TWO COATS OF FLAT OR SEMI-GLOSS PAINT. PRE-PRIME THE EDGES AND ENDS OF LUMBER AND SIDING PRIOR TO CONSTRUCTION, WHEN STAINING, PRE-PRIME WITH THE SAME PRODUCT AS SPECIFIED FOR THE FINAL COAT. SAND AND PUTTY WOOD SURFACE SMOOTH BEFORE FINISH IS APPLIED. SURFACES SHALL BE SANDED BEFORE EACH FINISH LAYER IS APPLIED. PRIME WOOD SURFACES INCLUDING FACES, EDGES AND ENDS BEFORE INSTALLATION. AFTER INSTALLATION, APPLY AT LEAST ONE COAT OF WOOD PRIMER AND TWO COATS OF FINISH PAINT. ALLOW 4 COLOR SCHEME.

INTERIOR PAINTING - ALL NAIL HEADS SHALL BE SET BELOW THE SURFACE AND FINISHED SMOOTH. JOINTS SHOULD BE TAPED AND COVERED WITH A SUITABLE DRYWALL JOINT COMPOUND, SAND THE SPACKLED NAIL HEADS AND JOINT COMPOUND SMOOTH AND DUST WELL BEFORE PRIMING. INTERIOR WALLS SHALL RECEIVE A PRIMER COAT AND TWO COATS OF FLAT OR SEMI-GLOSS PAINT. SURFACES SHALL BE SANDED BEFORE EACH FINISH LAYER IS APPLIED.

INTERIOR WOOD - WOOD SURFACES SHALL BE SANDED SMOOTH BEFORE FINISH IS APPLIED. PUTTY AREAS WITH A WOOD BASED FILLER WHERE NAILS OR OTHER DEFECTS APPEAR IN THE SURFACE. PRIME WOOD SURFACES INCLUDING FACES, EDGES AND ENDS BEFORE INSTALLATION. AFTER INSTALLATION, APPLY AT LEAST ONE COAT OF WOOD PRIMER AND TWO COATS OF FINISH PAINT. SURFACES SHALL BE SANDED BEFORE EACH FINISH LAYER IS APPLIED.

TERMITE CONTROL - FOUNDATIONS SHALL BE PRE-TREATED UNDER ALL SLABS AND CRAWLSPACE AREAS BETWEEN VAPOR BARRIER AND GRANULAR SUB-BASE TO CONFORM WITH HUD MINIMUM STANDARDS AND APPLICABLE BUILDING CODES. TREATMENTS SHALL NOT BE MADE WHEN SOIL IS EXCESSIVELY WET OR AFTER HEAVY RAINS. CONTRACTOR SHALL PROVIDE A ONE-YEAR RENEWABLE WARRANTY, AT PER AND PERMETER FOUNDATIONS, INSTALL CONTINUOUS FLASHING ON ALL SIDES AND TOP SURFACE TO PREVENT SUB-TERRAIN TERMITES FROM PENETRATING THE WOOD STRUCTURE.

FOUNDATION DRAINAGE PIPING - INSTALL A MINIMUM 6" SLOTTED DRAIN PIPE WITH A POSITIVE OUTFLOW AROUND EXTERIOR WALL FOOTINGS, IMBEDDED IN 2" DEEP FILL GRAVEL. MINIMUM 12" DEEP SLOTTED DRAIN PIPE SHOULD BE WRAPPED WITH AN APPROPRIATE GEO-TECHNICAL FABRIC TO PREVENT SILT BUILDUP. INSTALL OTHER DRAINS NECESSARY FOR POSITIVE SITE DRAINAGE.

FIRE SPRINKLER - A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2016 NFPA 13D OR THE 2015 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MPRFS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED. COORDINATE AND ALIGN SPRINKLER HEADS WITH LIGHTING GRIDS WHEREVER POSSIBLE. REVIEW SPRINKLER LAYOUT WITH ARCHITECT PRIOR TO INSTALL.

ABBREVIATIONS

Table with 3 columns: AC, ADJ., A.B., A.F.F., ALUM., ANOD., APPROX., BD., BOT., BRG., C.H., CHNL., C.I.P., CLG., C.J., CLR., C.M.U., UNIT, ADJ., CPMR., CONC., CONT., C.P.T., C.T., DBL., DEMO., DIA., DIM., DN., DR., D.W., DWG., EA., E.J., ELEC., ELEV., EXIST., EXT., F.D., F.F., FIN., FIX., FLR., FLSH., FND., F.V., GA., G.B., GALV., GYP., HOC., HGT., HC., HDWR., HR., H.M., INSUL., INT., IN.T., LAM., LAV., M.O., MAT'L., MAX., M.C., MK., MECH., MEMBR., MIN., MIRR., MTL., M.T., N.I.C., NO., N.T.S., O.F.C.I., O.R.D., O.H., O.P., OPNG., P.C.C., PNL., PATT., PEN., PERF., PLUMB., P.H., PLT., PLAS., GAUGE, GRAB BAR, GALVANIZED, GYPSUM, HOLLOW CORE, HEIGHT, HANDICAP, BOARD, BOTTOM, BEARING, CEILING HEIGHT, CHANNEL, CAST IN PLACE, CEILING, CONTRACTION JOINT, CLEAR, CONCRETE MASONRY, COLUMN, COMPRESSIBLE, CONCRETE, CONTINUOUS, CARPET, CERAMIC COMPOSITE, SHINGLES, DOUBLE, DEMOLITION, DIAMETER, DIMENSION, DOWN, DOOR, DISH WASHER, DRAWING, EACH, EXPANSION JOINT, OVER HEAD, OPPOSITE, OPENING, PRE-CAST CONCRETE, PANEL, PATTERN, PENETRATION, PERFORATED, PLUMBING, PAPER HOLDER, PLATE, PLASTIC, PLYWOOD, PRESSURE TREATED, PAPER TOWEL, DISPENSER, PAINT, RADIUS, RUBBER, REFLECTED CEILING, PLAN, ROOF DRAIN, REINFORCED, REQUIRED, REFERENCE, ROOM, SCHL., SOIL CORE, SOAP DISH, SIM, SPECIFICATION, SPC, SPRINKLER, STAINLESS STEEL, STEEL, STRUCTURAL, TONGUE AND GROOVE, TELEPHONE, TOILET, TOWEL BAR, TO BE REMOVED, TOWEL HOOK, TOP OF CONCRETE, TOP OF PLATE, TOP OF STEEL, TEMPERED, THRESHOLD, THICK, TRANSITION STRIP, TYPICAL, URINAL, WITH, WATER CLOSET, WOOD, WOLMANIZED, W.W.M, WELDED WIRE MESH.

CITY OF WEST LAKE HILLS NOTES (ALSO SEE A0.01 AND A0.02)

- Mechanical equipment can encroach into the side or rear setbacks up to five feet, if attached to the main structure. (Section 22.03.275)
o Eaves or overhangs a minimum of 8 feet off the ground can encroach into the setbacks up to two feet. (Section 22.03.275)
o Glass cannot have a reflectivity factor of 20% or greater. Samples of metallic, reflective, or shiny exterior building materials shall be provided to the city inspector before installation and such materials shall not be installed if the city inspector judges these materials to be in violation of this section of this code.
o New fence is included on this permit.
o Swimming pools require a separate permit and count against impervious cover.
o All improvements in the street right-of-way require a permit (landscaping, mailbox, etc)
o No excavation, grading or filling shall be permitted in setbacks except for up to 18 inches in height or depth.
o Exposed foundations with 4 vertical feet or more exposed that are visible from the street or neighboring property must be concealed with dense, evergreen vegetative buffers.
o All walls of three (3) feet or more shall require shrubbery and/or vines of healthy stock and of a minimum of two (2) feet in height immediately after planting in front of the retaining wall. All shrubbery and/or vines shall be planted and maintained so as to form a continuous, unbroken, solid, visual screen which will grow to the same height or more of the retaining wall. (Section 22.03.170 (j))
o All exterior compressors and other mechanical equipment or devices shall be shielded and insulated so as to ensure that sound emanating therefrom does not interfere with the use and enjoyment of surrounding property (22.03.171).
o Prior to any work, contact Texas One-Call (811) and Crossroads (512-246-1400) for utility locations.
o Prior to Certificate of Occupancy, a letter of concurrence must be provided by the following design architect, and site design engineer.

THIS SET TO REMAIN ON-SITE

Revisions By table with 2 columns and 5 rows.

ARTERBERY COOKE architecture

Architect: Alice Arterbery 3411 Windsor Rd Austin, TX 78703 alicearterbery@artberberycooke.com 323.236.5182



Project Owner: Michelle and David Ewart 419 Ridgewood Av 3806 Meandering Creek Cv Austin TX 78746

Project Address: 419 Ridgewood Av West Lake Hills 78746

Contractor: Captex Construction

COVER

drawn by: MJS checked by: NS scale: N.T.S. first issue: 06/19/2025 plot date: 06/19/2025

PERMIT SET

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- Demolish areas of the existing home and disconnect utility connections.
- Maintain Control Practices until construction is completed and the lot is stabilized.
 - Inspect the control practices daily during the demolition phase. Repair as needed to maintain control.
 - Toward the end of each workday, sweep or scrape up any soil tracked onto roadway(s). Do not flush mud down the street with water.
 - Between the demolition and construction phases, inspect control practices after storm events, and no less than monthly. Repair as needed to maintain control.

- Revegetate Building Site Immediately after construction activities are completed, stabilize the lot with sod, seed, and/ or mulch.
 - Once the sod and/or vegetation is well established, remove any remaining temporary erosion and sediment control practices.

INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES

- The contractor is responsible for maintaining and inspecting all erosion and sediment control practices, including silt fences and construction entrances during demolition and construction. Including the removal and proper disposal of accumulated silt and debris.
- The contractor shall not begin work until tree protection and erosion and sedimentation control practices have been installed.
- The contractor shall be responsible for keeping the streets free of mud, dirt, debris, and material at all times and shall clean the streets on a regular basis and at the direction of the City.
- Increased stormwater peak flows during construction must be mitigated with temporary best management practices to prevent harm to neighboring properties.

SILT FENCE

- Install silt fence parallel to the contour of the land.
- Extend ends upslope to allow water to pond behind fence.
- Excavate a trench 4-inches wide, 8-inches deep.
- Install fence with posts on the down slope side.
- Place 12-inches of fabric in the trench, extending the bottom four inches toward the upslope side.
- Join silt fence sections by using a wrap joint.
- Backfill trench with soil materials and compact.
- Inspect at least weekly and after each storm event, repairing as needed and removing sediment deposits when they reach one-half the fence height.

STABILIZED CONSTRUCTION ENTRANCE

- Place six inches of 2" to 4" coarse aggregate over a stable subgrade.
- Construct the drive at least 12-feet wide and 50-feet long or the distance to the foundation.
- Add stone as needed to maintain six inches of clean depth.
- To improve stability or if wet conditions are anticipated, place geotextile fabric on the graded foundation.

REFERENCE CIVIL DRAWINGS FOR ADDITIONAL ESCP, INCLUDING CONTROLS LOCATIONS

EROSION AND SEDIMENT CONTROL DURING AND AFTER CONSTRUCTION

PROCEDURES

EVALUATE

Make a Site Inventory and evaluate the resources on the lot before demolition. Identify trees that you want to save and vegetation that will remain. Also identify areas where you want to limit construction traffic. Wherever possible, preserve existing vegetation to help control erosion and off-site sedimentation.

SELECT AND INSTALL

Determine the specific erosion/sedimentation control practices needed and install them before clearing the site. Among the more commonly used practices are vegetative filter strips, silt fences, gravel drives, and inlet protection.

MAINTAIN

Develop a Maintenance Program Maintenance of all practices is essential for them to function properly. Practices should be inspected twice a week and after each rainfall event. When a problem is identified, repair or replace the practice immediately. If frequent repairs are required (such as Silt Fence being knocked down), another more substantial practice may need to be selected. In addition, any sediment that is tracked onto the street should be scraped and deposited in a protected area. Do not flush sediment from the street with water.

REVEGETATE

Providing a vegetative cover is the most important practice in preventing erosion and sediment. Therefore, establish vegetation as soon as possible following demolition.

CONSTRUCTION SEQUENCE FOR EROSION AND SEDIMENTATION CONTROL PRACTICES

- Evaluate the site before demolition; mark vegetative areas and trees to be protected, unique areas to preserve and vegetation suitable for filter strips, especially in perimeter areas.
 - Refer to Tree Plan for the location and requirements for Tree Protection.
 - Do not grade, burn, stock pile topsoil, or park vehicles near trees or in areas marked for preservation.
- Identify the areas where sediment-laden runoff could leave the construction site and install perimeter controls to minimize the potential for off-site sedimentation. Perimeter controls to be placed before any earthmoving activities begin.
 - On slopes of less than six percent, preserve a 20-to 30-foot wide (minimum) vegetative buffer strip around the perimeter of the property, and use it as a filter strip for trapping sediment.
 - Do not mow filter strip vegetation shorter than four inches.
 - Use silt fencing along the perimeter of the lot's downslope side(s) to trap sediment.
 - Restrict all lot access to the existing driveway or install new stabilized construction entrance to prevent vehicles from tracking mud onto roadways or destroying perimeter controls.
- Prepare the site for demolition and construction. Make sure all contractors are aware of areas to be protected.

REFERENCE SITE PLANS FOR TREE SCHEDULES, TREE NOTES, TREE PROTECTION LOCATIONS, AND PROPOSED REMOVAL MITIGATION

WEST LAKE HILLS TREE AND VEGETATION
REMOVAL POLICIES

The following list of Tree and Vegetation Removal Policies is derived from the West Lake Hills Code of Ordinances and **does not** represent the complete list of all regulations and laws regarding vegetation removal. Property Owners and Contractors are encouraged to visit the City's website at www.westlakehills.org and click on the CODE OF ORDINANCES link in order to review all relevant sections of the Code.

This list includes only the most common and/or relevant policies and procedures governing tree and vegetation removal.

- The City Arborist must be notified 24 to 48 hours prior to any work being performed regardless of when the permit was issued.**
- To prevent the spread of Oak Wilt disease, the trimming of Oak trees is prohibited from February 1st to June 30th. All wounds and cuts to Oak trees must be sealed immediately after cutting, trimming, wounding or pruning. Consult with City staff for more information about Oak Wilt prevention.
- This permit applies only to the site location listed above and must be posted in a location that can be seen from the nearest street (preferably the mailbox) during the work.
- By applying for a Tree/Vegetation Removal Permit, the owner is consenting to an on-site inspection by City Staff to monitor the work and to confirm compliance with City Code.
- All brush generated from the pruning of trees shall be properly disposed of at the owner's expense immediately after the tree is pruned.
- The City of West Lake Hills considers **ALL TREE SPECIES AND VEGETATION** (including "invasive" and "non-native" species) to be important parts of the City's ecosystem and are therefore subject to all regulations in the City's Code of Ordinances.
- All trees shall be pruned in a professional manner in accordance with current arboricultural standards.
- Do not make topping cuts or leave rips or stubs in the trees. Remove all broken or hanging limbs. Leave the tree in a balanced, safe and aesthetically pleasing condition.
- If a tree dies due to improper pruning, the property owner is responsible for replacing the tree.
- Required replacement vegetation must be installed within 90 days of City approval of the replacement plan and must survive for a minimum of 3 years.
- THE PROPERTY OWNER IS RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES SO THAT AUTHORIZED REMOVAL OCCURS ON THE SPECIFIED PROPERTY ONLY AND NOT ON ADJACENT PROPERTIES.
- In addition to the policies listed above, the Contractor and Property Owner are responsible for conforming with the City's Code of Ordinances at all times.** In the event of a conflict between the policies listed above and the City's Code of Ordinances, the Code shall prevail.

FOR QUESTIONS ABOUT THE PERMIT APPLICATION OR CITY TREE REGULATIONS, CONTACT WEST LAKE HILLS CITY

DEPUTY INSPECTOR ALEX SANCHEZ, (512) 610-6836, asanchez@westlakehills.gov

STORM WATER POLLUTION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES
MINIMUM WATER QUALITY PROTECTION REQUIREMENTS FOR ALL CONSTRUCTION PROJECTS/
CERTIFICATION STATEMENT

CONSTRUCTION MEANS CONSTRUCTING, CLEARING, GRADING OR EXCAVATION THAT RESULTS IN SOIL DISTURBANCE AND INCLUDES STRUCTURE TEARDOWN.

A COPY OF THIS PLAN SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES .

ERODED SEDIMENTS AND POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND. MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE CONTROLS ARE ALWAYS IN ACCORDANCE WITH TRAVIS COUNTRY REQUIREMENTS.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.

FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

NON-STORM WATER RUN OFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.

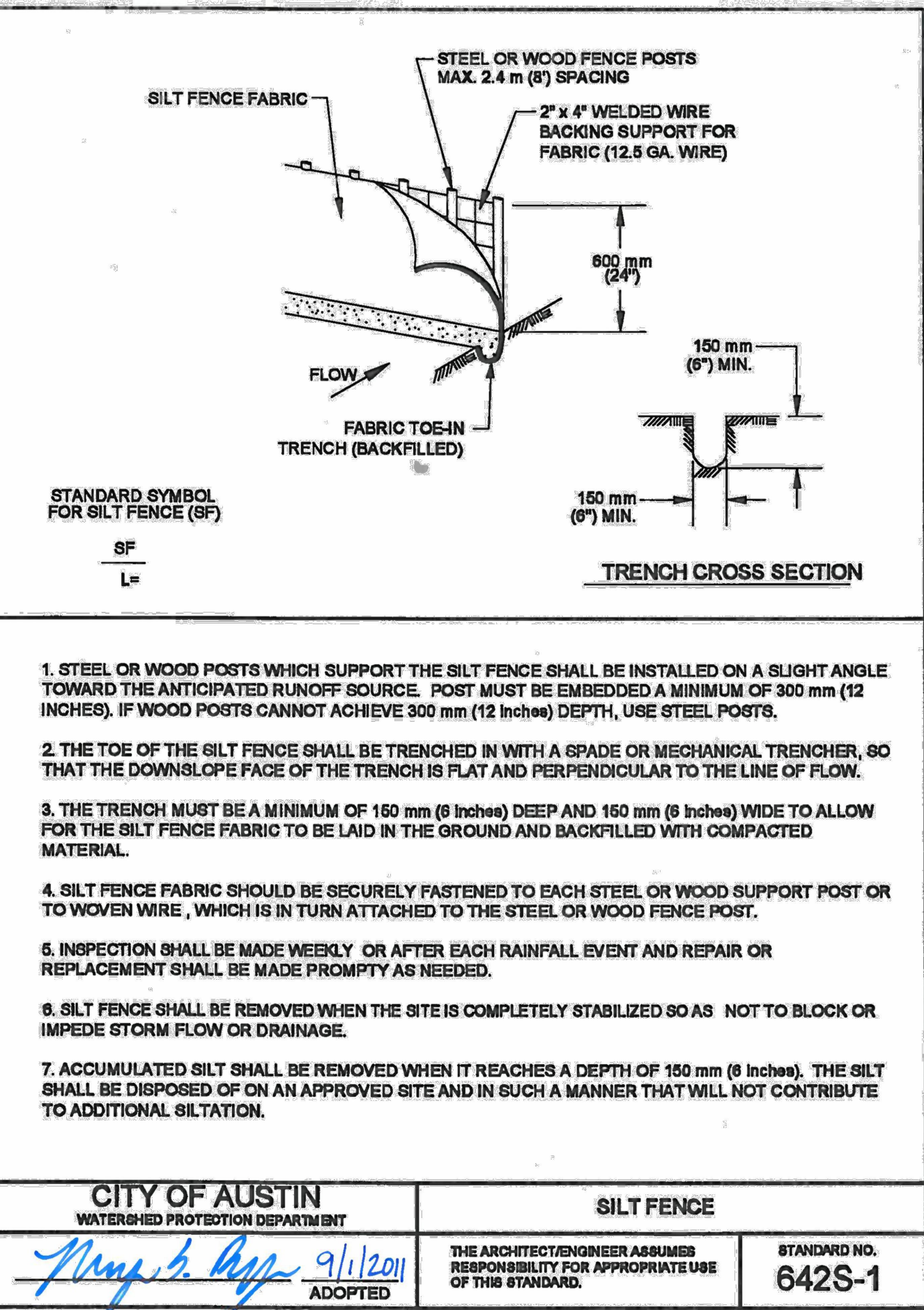
EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.

TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAIN WATER AND DISPERSAL BY WIND.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

PROTECT TREES IN THE RIGHT-OF-WAY AND THOSE SAVED ON SITE FROM CONSTRUCTION DISTURBANCES

UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED BY
a) RE-VEGETATION OF LAWNS AND ALL DISTURBED AREAS USING SOD, SEE, OR SOIL BLANKET (PERMANENT EROSION CONTROLS) - WITH ADEQUATE WATERING TO ENSURE ESTABLISHMENT;
b) PERMANENT LANDSCAPING, RETAINING WALLS, DRIVEWAYS;
c) DISSIPATORS FOR ROOF DOWNSPOUTS, CONCENTRATED DRAINAGE FLOWS, AND OUTFALL POINTS.



- STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 mm (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300 mm (12 INCHES) DEPTH, USE STEEL POSTS.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
- THE TRENCH MUST BE A MINIMUM OF 150 mm (6 INCHES) DEEP AND 150 mm (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
- INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 mm (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT <i>Mary S. Rupp</i> 9/1/2011 ADOPTED	SILT FENCE	STANDARD NO. 642S-1
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.		

Revisions	By

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

Project Address:
419 Ridgewood Rd
West Lake Hills 78746

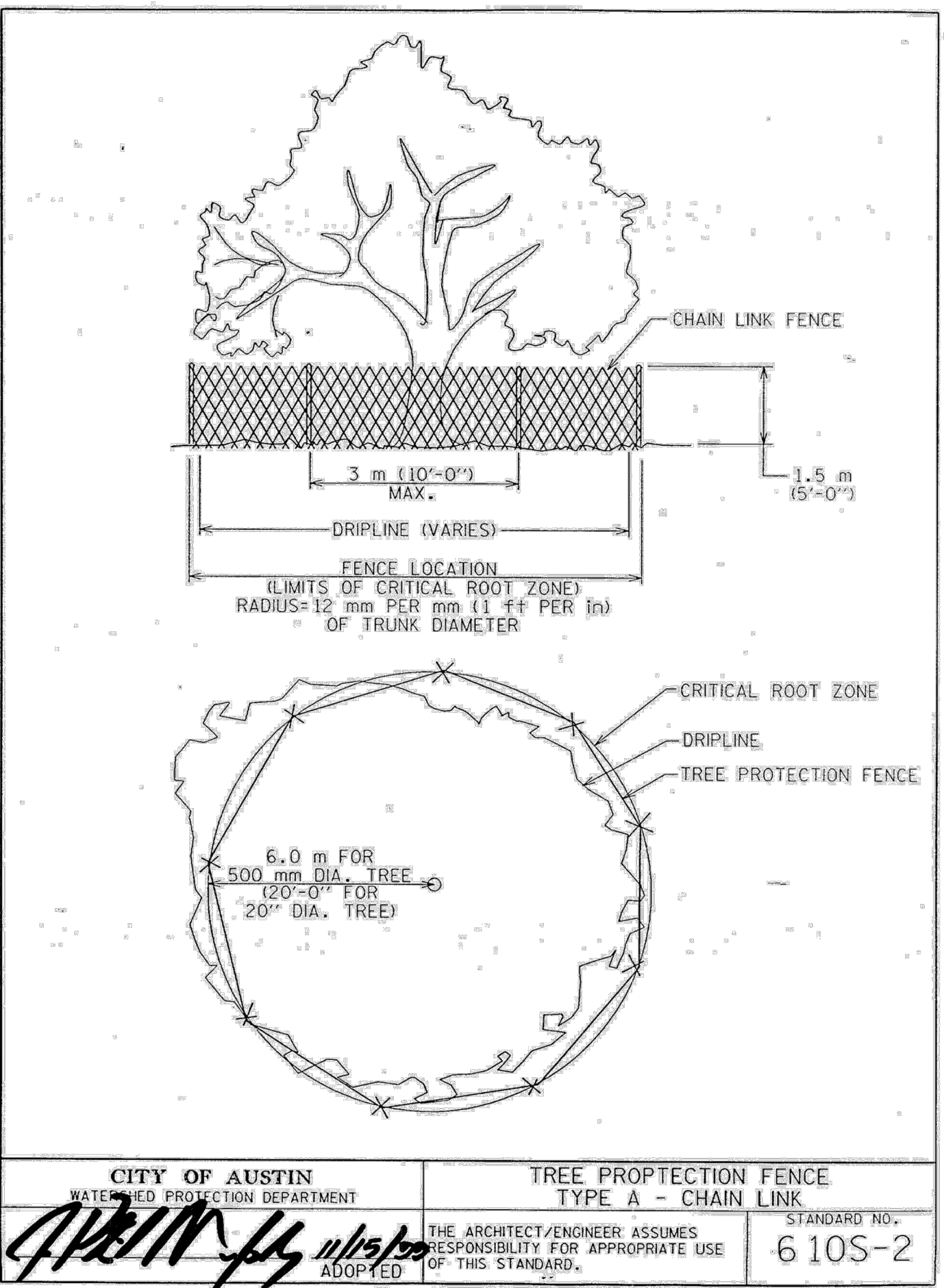
Contractor:
Captex Construction

ESCP, TREE PROTECTION

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

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GENERAL NOTES

- All materials and construction methods for site grading, paving, sitework, and drainage shall be in accordance with the City of Austin Standard Specifications, unless otherwise noted. All work shall be in accordance with the building codes, ordinances, safety codes, and rules and procedures of the City of West Lake Hills.
- All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In reviewing these plans, the City of West Lake Hills must rely on the adequacy of the work of the design engineer.
- Prior to any construction, the Contractor shall apply for and secure all proper permits from the appropriate authorities.
- Blasting or burning shall not be permitted on this project.
- The contractor shall verify all depths and locations of existing utilities prior to beginning construction. Any discrepancies with the construction plans found in the field shall be brought to the attention of the design engineer immediately. The design engineer shall be responsible for revising the plans as appropriate and submitting a revision to the City.
- Contractor will be responsible for keeping roads and drives adjacent to and near the site free from soil, sediment, and debris. Contractor will not remove soil, sediment, or debris from any area or vehicle by means of water, only shoveling and sweeping will be allowed. Contractor will be responsible for dust control from the site.
- Any existing utilities, pavement, curbs, sidewalks, structures, trees, etc., not planned for destruction or removal or other public infrastructure damaged or removed will be by the contractor at his expense before acceptance of the subdivision.
- After the construction permit has been issued and prior to the beginning construction, the owner or his representative shall schedule a pre-construction conference between the City of West Lake Hills, Design Engineer, Contractor(s), other utility companies, and any other affected parties. The City of West Lake Hills shall be contacted to set up the meeting at least 48 hours prior to the proposed meeting time.
- Any changes or revisions to these approved plans must be submitted by the design engineer and approved by the City of West Lake Hills prior to construction of the revision.
- Excess soil shall be removed at the contractor's expense.
- Available benchmarks that may be utilized for the construction of this project are described as follows:
 - REFERENCED TO BENCHMARK MONUMENT NAME H-22-4001, TRAVIS COUNTY, TEXAS. Y_COORDINATE 10,089,361.76, X_COORDINATE 3,105,510.13; NAVD 88

TRENCH SAFETY NOTES

- In accordance with the Laws of the State of Texas and the U. S. Occupational Safety and Health Administration regulations, all trenches over 5 feet in depth in either hard and compact or soft

and unstable soil shall be sloped, shored, sheeted, braced or otherwise supported. Furthermore, all trenches less than 5 feet in depth shall also be effectively protected when hazardous ground movement may be expected. Trench safety systems to be utilized for this project will be provided by the contractor to the City. Trench safety system plans are on sheet ____ of the plan set. QA Trench safety system plans as designed and sealed by a professional engineer will be provided by the contractor.

- In accordance with the U. S. Occupational Safety and Health Administration regulations, when persons are in trenches 4-feet deep or more, adequate means of exit, such as a ladder or steps, must be provided and located so as to require no more than 25 feet of lateral travel.
- If trench safety system details were not provided in the plans because trenches were anticipated to be less than 5 feet in depth and during construction it is found that trenches are in fact 5 feet or more in depth or trenches less than 5 feet in depth are in an area where hazardous ground movement is expected, all construction shall cease, the trenched area shall be barricaded and the Engineer notified immediately. Construction shall not resume until appropriate trench safety system details, as designed by a professional engineer, are retained and copies submitted to the City of West Lake Hills.

STREET AND DRAINAGE NOTES

- All testing shall be done by an independent laboratory at the Applicant's expense. A City Inspector shall be present during all tests. Testing shall be coordinated with the City Inspector and he shall be given a minimum of 24 hours notice prior to any testing.
- Backfill behind the curb shall be compacted to obtain a minimum of 85% maximum density to within 3 inches of top of curb. Material used shall be primarily granular with no rocks larger than 3 inches in the greatest dimension. The remaining 3 inches shall be clean topsoil free from all clods and suitable for sustaining plant life.
- All RCP shall be minimum Class III.
- The subgrade material for the streets shown herein was tested by _____. The paving sections were designed by _____ in accordance with the current City of Bastrop design criteria. The paving sections are to be constructed as follows:

Street	Station	Flex. Base Thickness	HMAC Thickness	Lime Stab. Thickness

- A note is required to present flood hazard information. The flood hazard information may be drafted in a statement or list format. Each of the following items must be identified within the list or statement:
 - Flood Zone and its description, ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
 - FIRM panel number, and
 - FIRM panel effective date.
- FLOOD WARNING: The degree of flood protection required by the City of West Lake Hills Flood Damage Prevention Ordinance is considered reasonable for regulatory purposes and is based on

scientific and engineering considerations. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. Acceptance of this plan by the City Council does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. Nor shall acceptance of this plan create liability on the part of the City of West Lake Hills or any official or employee thereof for any flood damages that result from reliance on the information contained within this plan or any administration decision lawfully made hereunder.

TRAFFIC MARKING NOTES

- Barricades built to the Texas Manual on Uniform Traffic Control Devices standards shall be constructed on all dead-end streets and as necessary during construction to maintain job and public safety.
- Any methods, street markings, and signage necessary for warning motorists, warning pedestrians, or diverting traffic during construction shall conform to the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest edition.
- All pavement markings, markers, paint, traffic buttons, traffic controls, and signs shall be installed in accordance with the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges and the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest editions.

EROSION CONTROL NOTES

- The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation). The placement of erosion/sedimentation controls shall be in accordance with the current City West Lake Hills Drainage and Erosion Control Manual and the approved Erosion and Sedimentation Control Plan. No erosion controls shall be placed beyond the property lines of the site unless written permission has been obtained from adjacent property owners.
- All slopes shall be sodded or seeded with approved grass, grass mixtures, or ground cover suitable to the area and season in which they are applied.
- Any major variation in materials or locations of controls or fences from those shown on the approved plans will require a revision and must be approved by the Engineer. Major revisions must be approved by the City. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be required by the City Inspector during the course of construction to correct control inadequacies.
- The contractor is required to inspect the controls at weekly intervals and after any rainfall event to ensure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
- All temporary erosion control measures shall not be removed until final inspection and approval of the project by the City Inspector. It shall be the responsibility of the Contractor to maintain all

temporary erosion control structures and to remove each structure as approved by the City Inspector.

- Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.

CERTIFICATIONS

OWNER CERTIFICATION

AS OWNER OF THIS PROPERTY, I INTEND TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN.

NAME OF OWNER/TRUSTEE _____ DATE _____

ENGINEER CERTIFICATION

STATE OF TEXAS
COUNTY OF TRAVIS

I, (LICENSED PROFESSIONAL ENGINEER), DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF WEST LAKE HILLS CODE OF ORDINANCES, THE CITY MASTER PLAN AND CITY POLICY.

(SEAL & SIGNATURE OF PROFESSIONAL ENGINEER)

Printed Name of Professional Engineer _____ Date _____

CITY ACCEPTANCE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF WEST LAKE HILLS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

City Administrator _____ Date _____

USE	THICKNESS	REINFORCEMENT
DRIVEWAYS FOR PASSENGER VEHICLE PARKING LOTS	150 mm (6") MIN.	125mm (5") MIN. CONCRETE WITH ONE LAYER OF 13M (#4) BARS PLACED ON CHAIRS AT MIDDEPTH OF SLAB AT NO MORE THAN 450mm (18") O.C. BOTH DIRECTIONS
ALL OTHERS	175 mm (7") MIN.	125mm (5") MIN. CONCRETE WITH ONE LAYER OF 13M (#4) BARS PLACED ON CHAIRS AT MIDDEPTH OF SLAB AT NO MORE THAN 450mm (18") O.C. BOTH DIRECTIONS

DRIVEWAY VOLUME (ADT)	STD.	MAX.
>1500	0%	3%
500-1500	3%	6%
< 500	6%	15%

NOTES:

- ALL TYPE DRIVEWAYS SHALL HAVE RADIUS ENDS.
- DRIVEWAY WIDTHS AND RADII DIMENSIONS, ONE-WAY TRAVEL REQUIREMENTS, AND GEOMETRIC LAY-OUT ARE HIGHLY VARIABLE. SUBJECT TO SITE SPECIFIC CONDITIONS AND REQUIREMENTS; SEE TRANSPORTATION CRITERIA MANUAL, SECTION 5, DRIVEWAYS.
- THE DRIVEWAY EDGE SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK AT LOCATION BEGINNING AT THE RADIUS POLINE.
- "ZERO" CURB AT RT OR SIDEWALK EDGE, WHICHEVER IS ENCOUNTERED FIRST.
- MAKE AN EXPANSION JOINT DOWN THE CENTER OF DRIVEWAY ALL DRIVEWAYS.
- IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET), REMOVE CURB AND GUTTER TO EXISTING JOINT AND POUR MONOLITHICALLY WITH DRIVEWAY.
- IF THE BASE IS OVER-EXCAVATED WHERE THE CURB AND GUTTER WERE REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
- TYPE II DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTING RIGHT OF WAY THAN 60% OF PARCEL ONTAGE AT 30 METERS (100 FEET), WHICHEVER IS LESS.
- DRIVEWAY SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
- WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GRADE BREAKS WITHIN PRIVATE PROPERTY, THE FIRE DEPARTMENT SHALL BE CONSULTED WHERE THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND IS GREATER THAN 75%.
- USE 12 MM (1/2") ASPHALT BOARD OR OTHER APPROVED MATERIAL FOR CURB AND GUTTER EXPANSION JOINTS, SIDEWALK, AT THE R.O.W. LINE AND AT MIDWIDTH. SEE NOTE 8, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- SEE TRANSPORTATION CRITERIA MANUAL, SECTION 5 FOR OTHER DRIVEWAY REQUIREMENTS.
- THE SIDEWALK, REGARDLESS OF ITS LOCATION WITH RESPECT TO THE CURB OR PROPERTY LINE, SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
- WATER METER BOXES AND WASTEWATER CLEAN OUTS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.

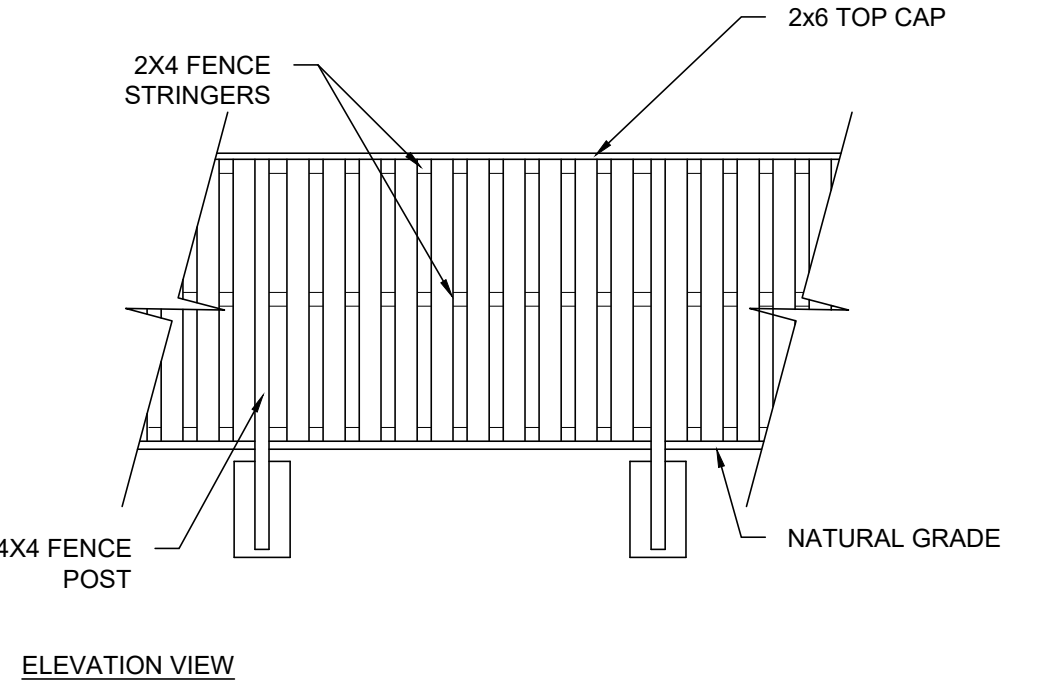
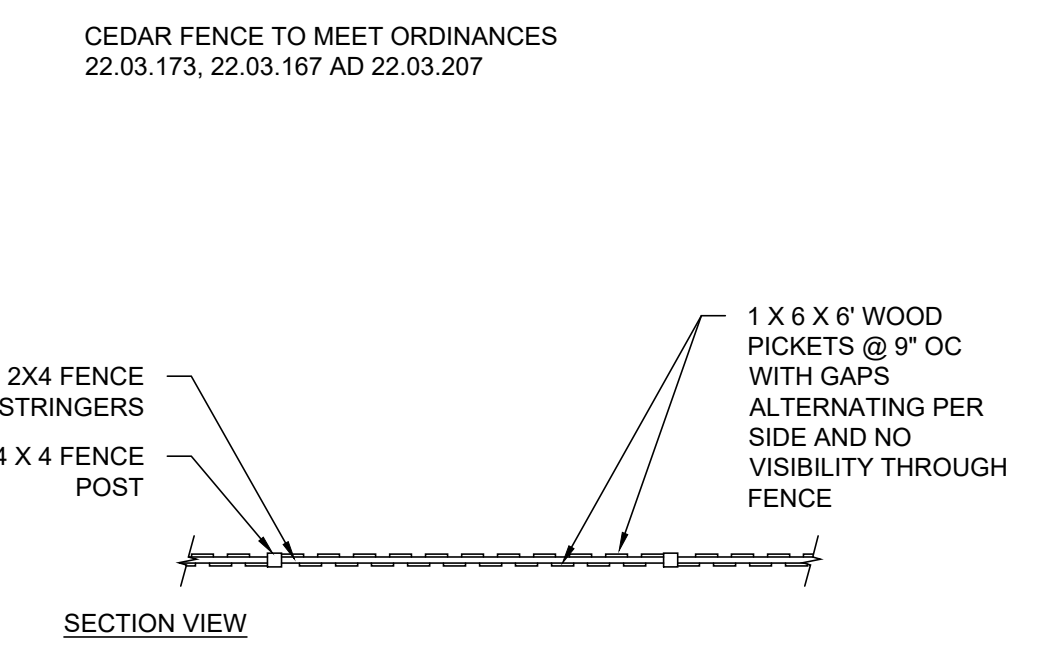
CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS

TYPE II DRIVEWAY

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

STANDARD NO. 433S-2

ADOPTED



Revisions	By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
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WEST LAKE HILLS GENERAL NOTES

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PERMIT SET

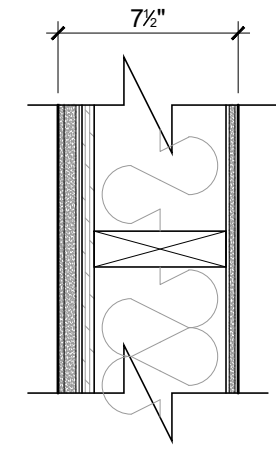
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THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARTERBERRY COOKE ARCHITECTS. NO PART THEREOF SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT OF ARTERBERRY COOKE ARCHITECTURE.

WALL TYPES

Scale 1 1/2" = 1'-0" (TABLOID Scale: 3/4" = 1'-0")

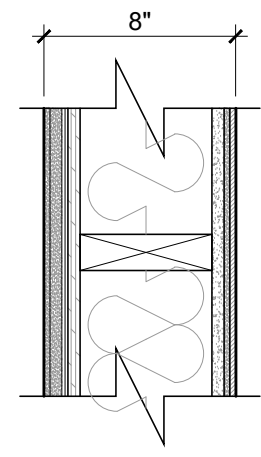
EXTERIOR WALL TYPES



1

STUCCO AND GWB

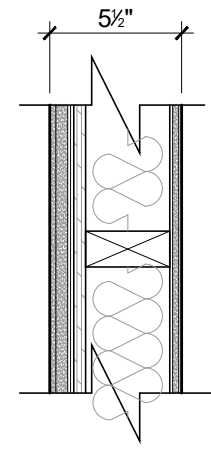
2 X 6 WOOD WALL STUDS WITH R-19 INSULATION 1/2" GWB (TYPE X AT STORAGE AREAS) ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.



2

STUCCO AND TILE

2 X 6 WOOD WALL STUDS WITH R-19 INSULATION CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.

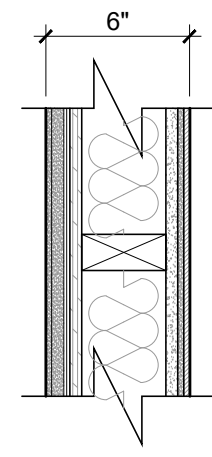


3 3E

STUCCO AND GWB

NEW 2x4 WOOD WALL STUDS, WITH NEW R-19 INSULATION 1/2" GWB (TYPE X AT STORAGE AREAS) ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND NEW EXTERIOR GRADE SHEATHING PER STRUC. WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.

3E: EXISTING WOOD WALL STUDS WITH NEW R-19 INSULATION 1/2" GWB (TYPE X AT STORAGE AREAS) ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND EXISTING EXTERIOR GRADE SHEATHING WITH NEW (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.

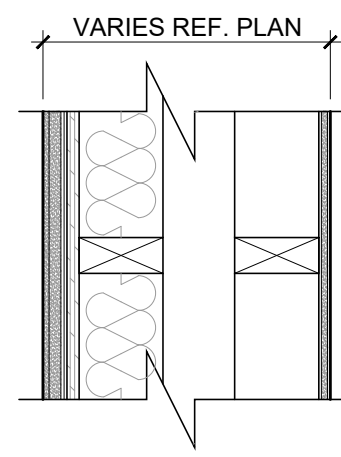


4 4E

STUCCO AND TILE

NEW 2x4 WOOD WALL STUDS, WITH NEW R-19 INSULATION W/ CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON INTERIOR SIDE AND NEW EXTERIOR GRADE SHEATHING PER STRUC. WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.

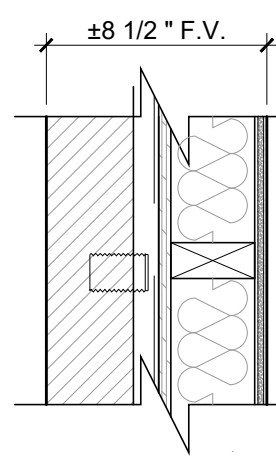
4E: EXISTING WOOD WALL STUDS WITH NEW R-19 INSULATION CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON INTERIOR SIDE AND NEW EXTERIOR GRADE SHEATHING PER STRUC. WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.



5

STUCCO AND GYP CHASE

2 X 4 INTERIOR WOOD WALL STUDS WITH 1/2" GWB (TYPE X AT STORAGE AREAS) TEXTURED FINISH PER SPEC, 2 X 4 EXTERIOR WOOD STUDS WITH R-19 INSULATION AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (2) LAYERS CONTINUOUS WRB, AND 3 COAT ACRYLIC STUCCO ON SELF-FURRING LATH.

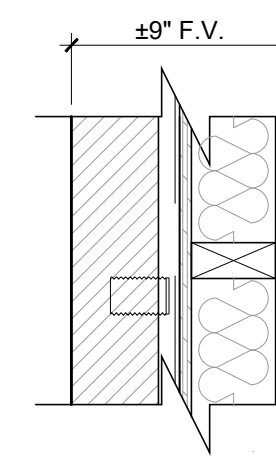


6 6E

BRICK AND GWB

2 X 4 WOOD WALL STUDS WITH R-19 INSULATION 1/2" GWB ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (1) LAYER CONTINUOUS WRB, AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ.

6E: EXISTING WOOD WALL STUDS WITH NEW R-19 INSULATION AND NEW 1/2" GWB ON INTERIOR SIDE, TEXTURED FINISH PER SPEC, AND EXISTING EXTERIOR GRADE SHEATHING WITH (1) LAYER CONTINUOUS WRB, AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ.

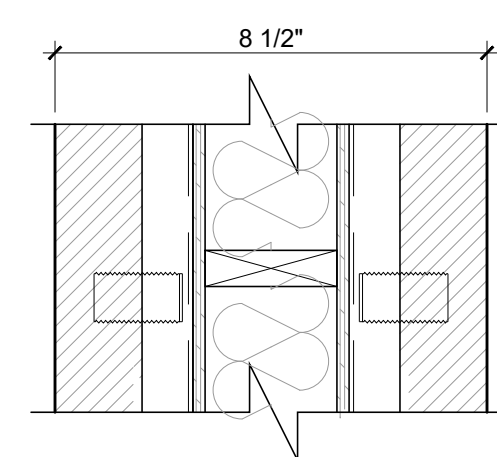


7 7E

BRICK AND TILE

2 X 4 WOOD WALL STUDS WITH R-19 INSULATION CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON INTERIOR SIDE AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (1) LAYER CONTINUOUS WRB, AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ.

7E: EXISTING WOOD WALL STUDS WITH NEW R-19 INSULATION NEW CEMENTITIOUS BACKERBOARD MORTAR AND NEW TILE ON INTERIOR SIDE AND EXISTING EXTERIOR GRADE SHEATHING WITH (1) LAYER CONTINUOUS WRB, AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ.

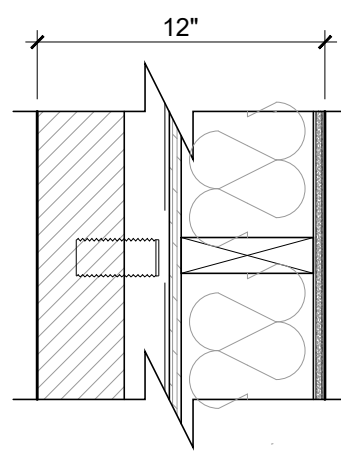


8

BRICK AND BRICK

2 X 6 WOOD WALL STUDS WITH R-19 INSULATION AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (1) LAYER CONTINUOUS WRB, AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ. BOTH SIDES

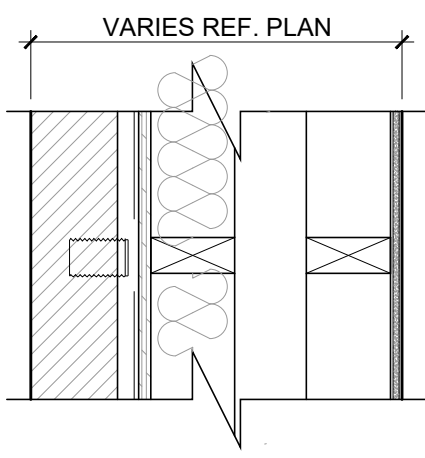
EXTERIOR WALL TYPES - CONT.



9

BRICK AND GYP

2 X 6 INTERIOR WOOD WALL STUDS WITH 1/2" GWB (TYPE X AT STORAGE AREAS) TEXTURED FINISH PER SPEC, WITH R-19 INSULATION AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (1) LAYERS CONTINUOUS WRB, AND AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ. BOTH SIDES

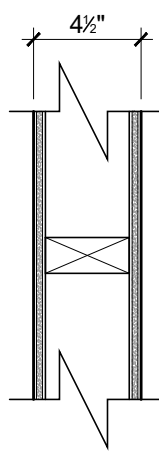


10

BRICK AND GYP CHASE

2 X 4 INTERIOR WOOD WALL STUDS WITH 1/2" GWB (TYPE X AT STORAGE AREAS) TEXTURED FINISH PER SPEC, 2 X 4 EXTERIOR WOOD STUDS WITH R-19 INSULATION AND EXTERIOR GRADE SHEATHING PER STRUCTURAL WITH (1) LAYERS CONTINUOUS WRB, AND AIRSPACE, AND BRICK VENEER W/ MASONRY TIES @ 16" O.C. VERT. AND 32" O.C. HORIZ. BOTH SIDES

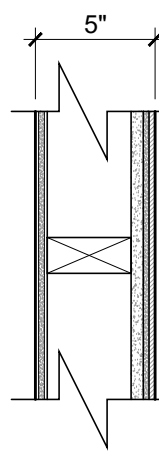
INTERIOR WALL TYPES



11

2 X 4 GWB

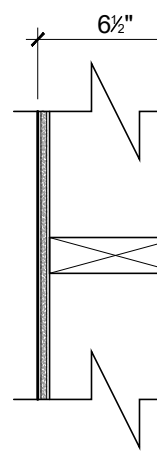
2 X 4 INTERIOR WOOD STUD WALL WITH 1/2" GWB ON EACH SIDE, TEXTURED FINISH PER SPEC. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES SEPARATION PER IRC AT GARAGE



12

2 X 4 GWB AND TILE

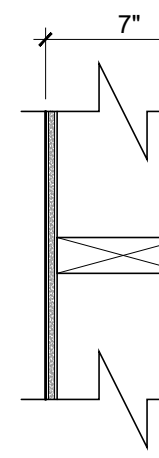
2 X 4 INTERIOR WOOD STUD WALL WITH 1/2" GWB ONE SIDE, TEXTURED FINISH PER SPEC, WITH CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON BATH SIDE. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES.



13

2 X 6 GWB

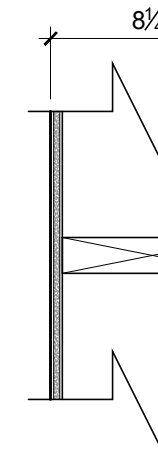
2 X 6 INTERIOR WOOD STUD WALL WITH 1/2" GWB ON EACH SIDE, TEXTURED FINISH PER SPEC. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES SEPARATION PER IRC AT GARAGE



14

2 X 6 GWB AND TILE

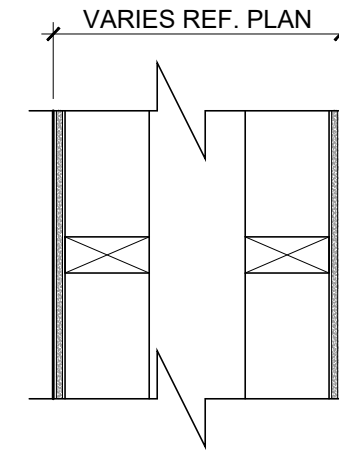
2 X 6 INTERIOR WOOD STUD WALL WITH 1/2" GWB ONE SIDE, TEXTURED FINISH PER SPEC, WITH CEMENTITIOUS BACKERBOARD MORTAR AND TILE ON BATH SIDE. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES.



15

2 X 8 GWB

2 X 8 INTERIOR WOOD STUD WALL WITH 1/2" GWB ON EACH SIDE, TEXTURED FINISH PER SPEC. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES SEPARATION PER IRC AT GARAGE



16

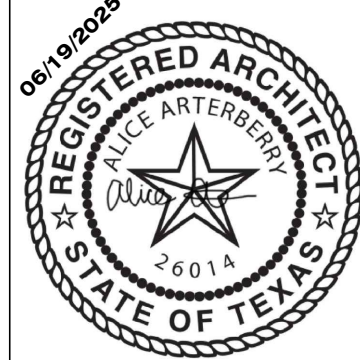
2 X CHASE GWB

2 X INTERIOR WOOD STUD WALL WITH 1/2" GWB ON ONE SIDE, TEXTURED FINISH PER SPEC. PROVIDE INSULATION PER ENERGY CODE IN ALL WALLS BORDERING NON-AC SPACES SEPARATION PER IRC AT GARAGE

Revisions	By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

Project Address:
419 Ridgewood Rd
West Lake Hills 78746

Contractor:
Captex Construction

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WALL TYPES

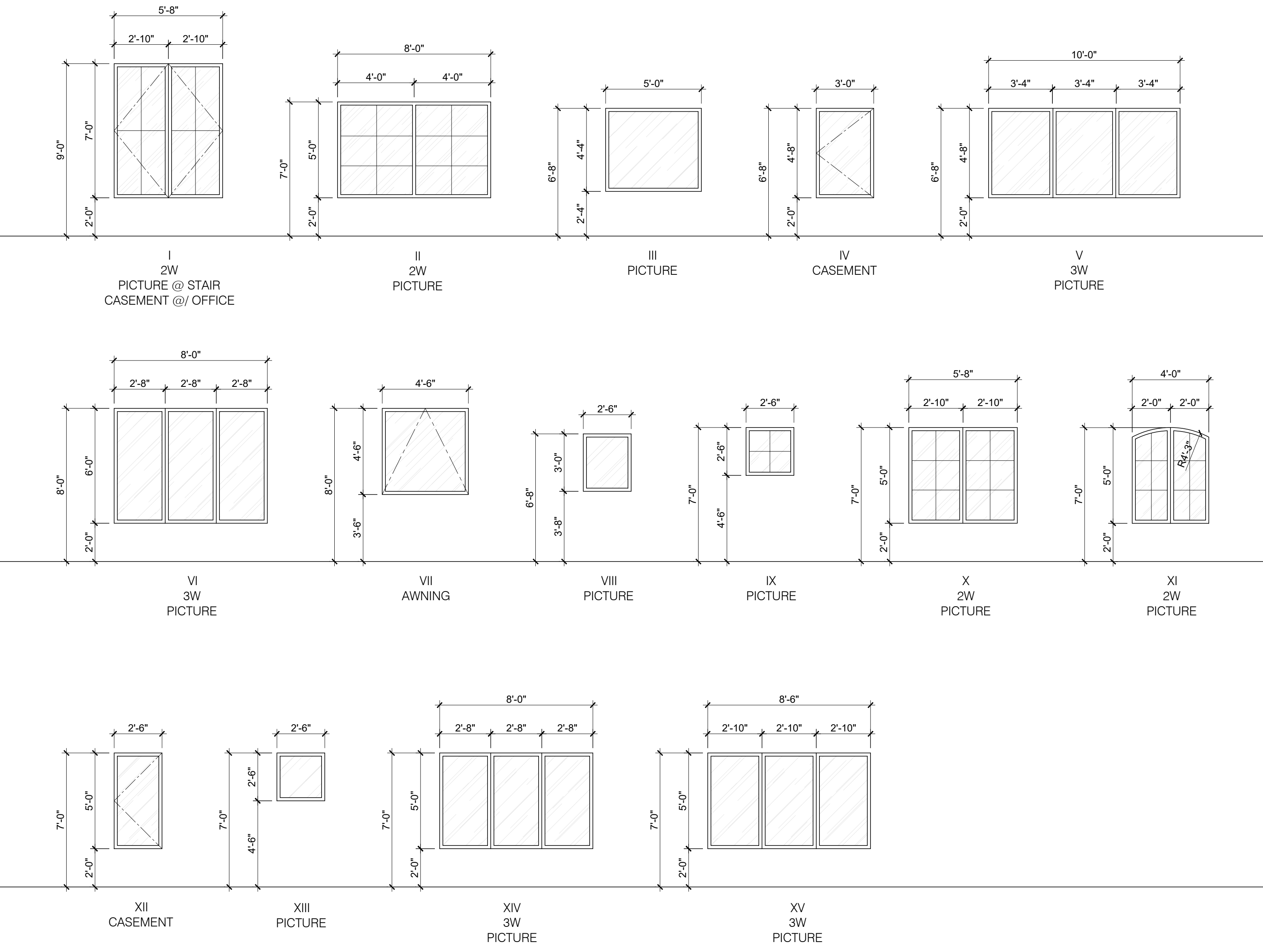
drawn by: MJS
checked by: NS
scale: 1 1/2" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A0.1

WINDOW TYPES

- SCALE 1/4" = 1'-0" (TABLOID SCALE: 1/8" = 1'-0")
- MIN 5.7 SQFT SECONDARY EXIT FROM EACH BEDROOM W. MIN 20" WIDTH AND 24" HEIGHT CLEAR OPENING
- GLASS TO BE TEMPERED PER IRC 308.4
- ALL DIMENSIONS ARE UNIT DIMENSIONS NOT ROUGH OPENING DIMENSIONS UNLESS OTHERWISE NOTED



WINDOW SCHEDULE

MARK	TYPE	SIZE		HEAD HGT	TYPE	REMARKS
		W	H			
A	I	5'-8"	7'-0"	9'-0"	PICTURE	TEMPERED GLASS, OBSCURE GLASS, DEEP SET DETAIL
B	I	5'-8"	7'-0"	9'-0"	CASEMENT	DEEP SET DETAIL
C	II	8'-0"	5'-0"	7'-0"	PICTURE	OBSCURE GLASS, BACK FRAMED
D	III	5'-0"	4'-4"	6'-8"	PICTURE	TEMPERED GLASS, OBSCURE GLASS
E	IV	3'-0"	4'-8"	6'-8"	CASEMENT	
F	IV	3'-0"	4'-8"	6'-8"	CASEMENT	EGRESS
G	V	10'-0"	4'-8"	6'-8"	PICTURE	
H	VI	8'-0"	6'-0"	8'-0"	PICTURE	
I	VII	4'-6"	4'-6"	8'-0"	AWNING	
J	VIII	2'-6"	3'-0"	6'-8"	PICTURE	
K	IX	2'-6"	2'-6"	7'-0"	PICTURE	
L	X	5'-8"	5'-0"	7'-0"	PICTURE	DEEP SET DETAIL
M	XI	4'-0"	6'-0"	7'-0"	PICTURE	BACK-FRAMED OBSCURE GLASS, DEEP SET DETAIL
N	X	5'-8"	5'-0"	7'-0"	PICTURE	DEEP SET DETAIL
O	XII	2'-6"	5'-0"	7'-0"	CASEMENT	
P	XII	2'-6"	5'-0"	7'-0"	CASEMENT	EGRESS
Q	XIII	2'-6"	2'-6"	7'-0"	PICTURE	
R	XII	2'-6"	5'-0"	7'-0"	CASEMENT	EGRESS
S	XII	2'-6"	5'-0"	7'-0"	CASEMENT	
T	XIV	8'-0"	5'-0"	7'-0"	PICTURE	
U	XV	8'-6"	5'-0"	7'-0"	PICTURE	
V	XIV	8'-0"	5'-0"	7'-0"	PICTURE	
W	XII	2'-6"	5'-0"	7'-0"	CASEMENT	
X	XII	2'-6"	5'-0"	7'-0"	CASEMENT	EGRESS

Revisions By

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Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
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WINDOW TYPES

drawn by: MJS
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scale: 1/4" = 1'-0"
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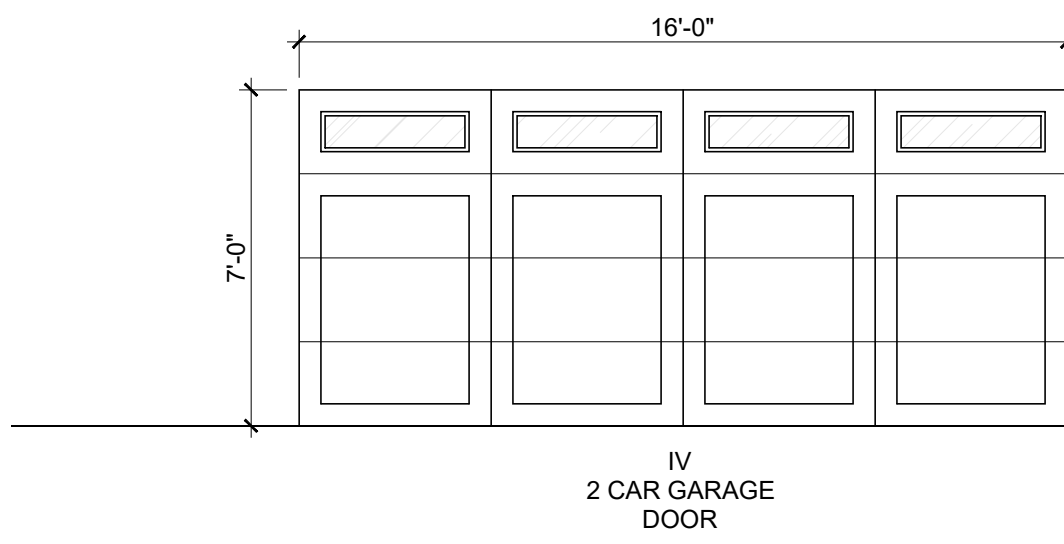
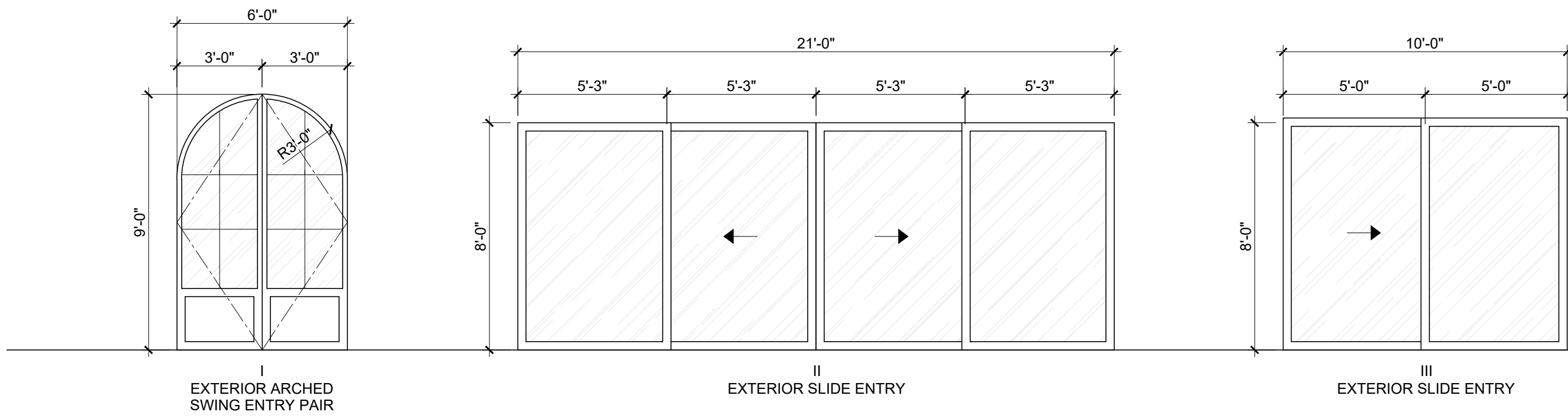
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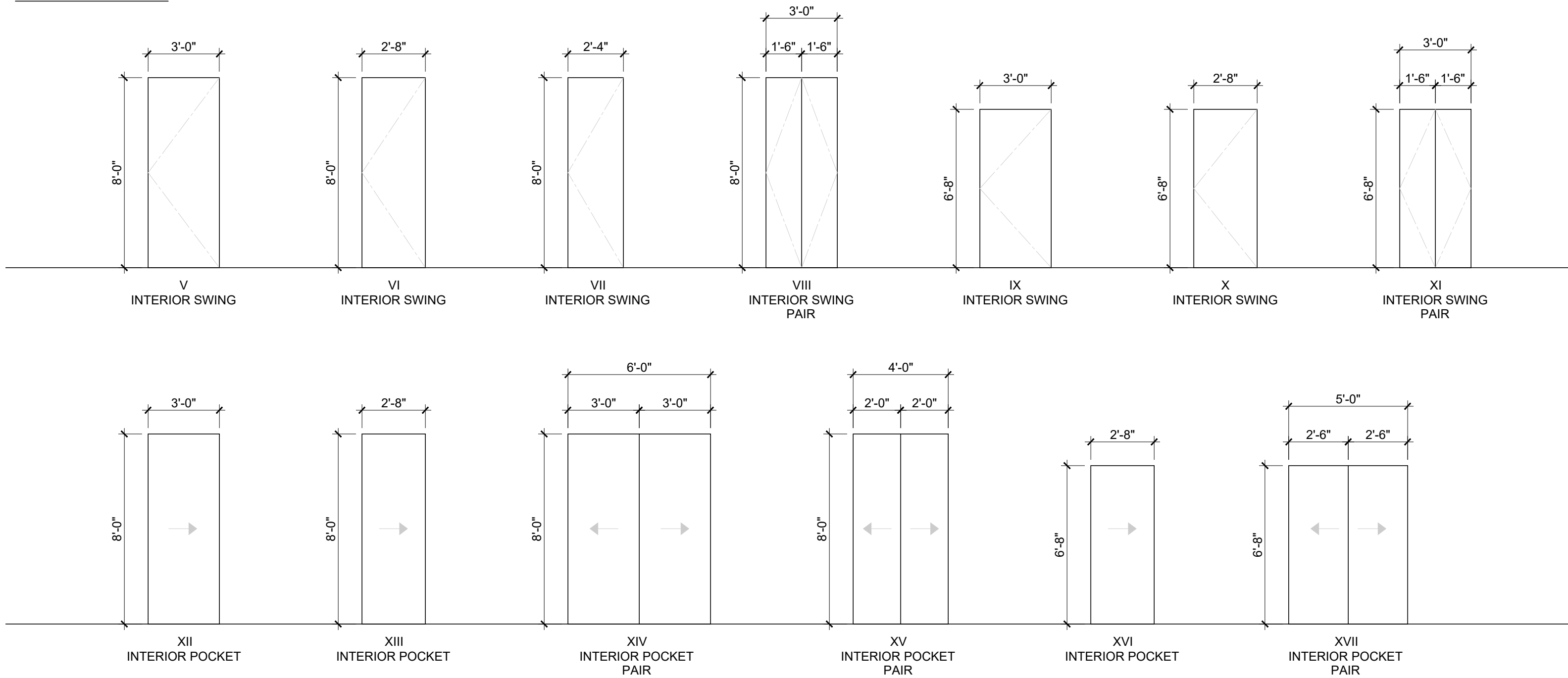
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DOOR TYPES
 SCALE 1/4" = 1'-0" (TABLOID SCALE: 1/8" = 1'-0")
 - MIN 5' 7" SEFT SECONDARY EXIT FROM EACH BEDROOM W/ MIN 20" WIDTH AND 24" HEIGHT CLEAR OPENING - GLASS TO BE TEMPERED PER IRC 308.4
 - ALL EXTERIOR DOORS SHALL HAVE WEATHER-TIGHT THRESHOLDS WITH BLACK WEATHER-STRIPPING
 - ALL EXTERIOR DOORS SHALL BE INSULATED
 - ALL INTERIOR DOORS SHALL BE SOLID CORE
 - ALL DIMENSIONS ARE UNIT DIMENSIONS **NOTE** ROUGH OPENING DIMENSIONS UNLESS OTHERWISE NOTED.

EXTERIOR DOORS TYPES



INTERIOR DOORS TYPES



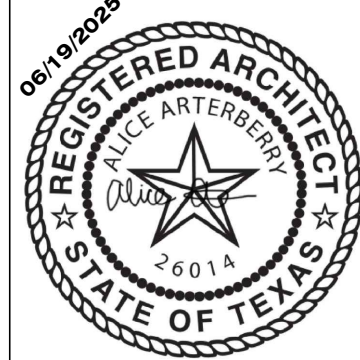
DOOR SCHEDULE

MARK	TYPE	SIZE			MATERIAL	TYPE	FUNCTION	REMARKS
		W	H	THK				
①	IV	16'-0"	7'-0"	1 3/4"	MTL./INSUL.	OVHD	UTILITY	GARAGE DOOR WITH REMOTE OPENER
②	I	6'-0"	9'-0"	1 3/4"	MTL./INSUL.	SWING	ENTRY	ARCHED DOOR PAIR, TEMPERED GLASS
③	II	21'-0"	8'-0"	1 3/4"	MTL./INSUL.	SLIDE	ENTRY	TEMPERED GLASS
④	III	10'-0"	8'-0"	1 3/4"	MTL./INSUL.	SLIDE	ENTRY	TEMPERED GLASS
⑤	VII	2'-4"	8'-0"	1 3/4"	MDF	SWING	PASSAGE	
⑥A	XVII	5'-0"	6'-8"	1 3/4"	MDF	POCKET	PASSAGE	
⑥B	X	2'-8"	6'-8"	1 3/4"	MDF	SWING	PRIVACY	
⑦	XI	3'-0"	6'-8"	1 3/4"	MDF	SWING	PASSAGE	
⑧	X	2'-8"	6'-8"	1 3/4"	MDF	SWING	PASSAGE	
⑨	XI	3'-0"	6'-8"	1 3/4"	MDF	SWING	PASSAGE	
⑩	X	2'-8"	6'-8"	1 3/4"	MDF	SWING	PRIVACY	
⑪	VIII	3'-0"	8'-0"	1 3/4"	MDF	SWING	PASSAGE	
⑫	XII	3'-0"	8'-0"	1 3/4"	MDF	POCKET	PASSAGE	
⑬	XIV	6'-0"	8'-0"	1 3/4"	MDF	POCKET	PASSAGE	
⑭	IX	3'-0"	6'-8"	1 3/4"	MDF	SWING	ENTRY	DOOR TO MEET R302.6 REQUIREMENTS
⑮	XVI	3'-0"	6'-8"	1 3/4"	MDF	POCKET	PASSAGE	
⑯	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PASSAGE	
⑰	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PRIVACY	
⑱	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PRIVACY	
⑲	XV	4'-0"	8'-0"	1 3/4"	MDF	POCKET	PASSAGE	
⑳	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PRIVACY	
㉑	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PASSAGE	
㉒	XIII	2'-8"	8'-0"	1 3/4"	MDF	POCKET	PASSAGE	
㉓	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PRIVACY	
㉔	VI	2'-8"	8'-0"	1 3/4"	MDF	SWING	PASSAGE	
㉕	XIII	2'-8"	8'-0"	1 3/4"	MDF	POCKET	PASSAGE	

Revisions By

ARTERBERRY COOKE architecture

Architect:
 Alice Arterberry
 3411 Windsor Rd
 Austin, TX 78703
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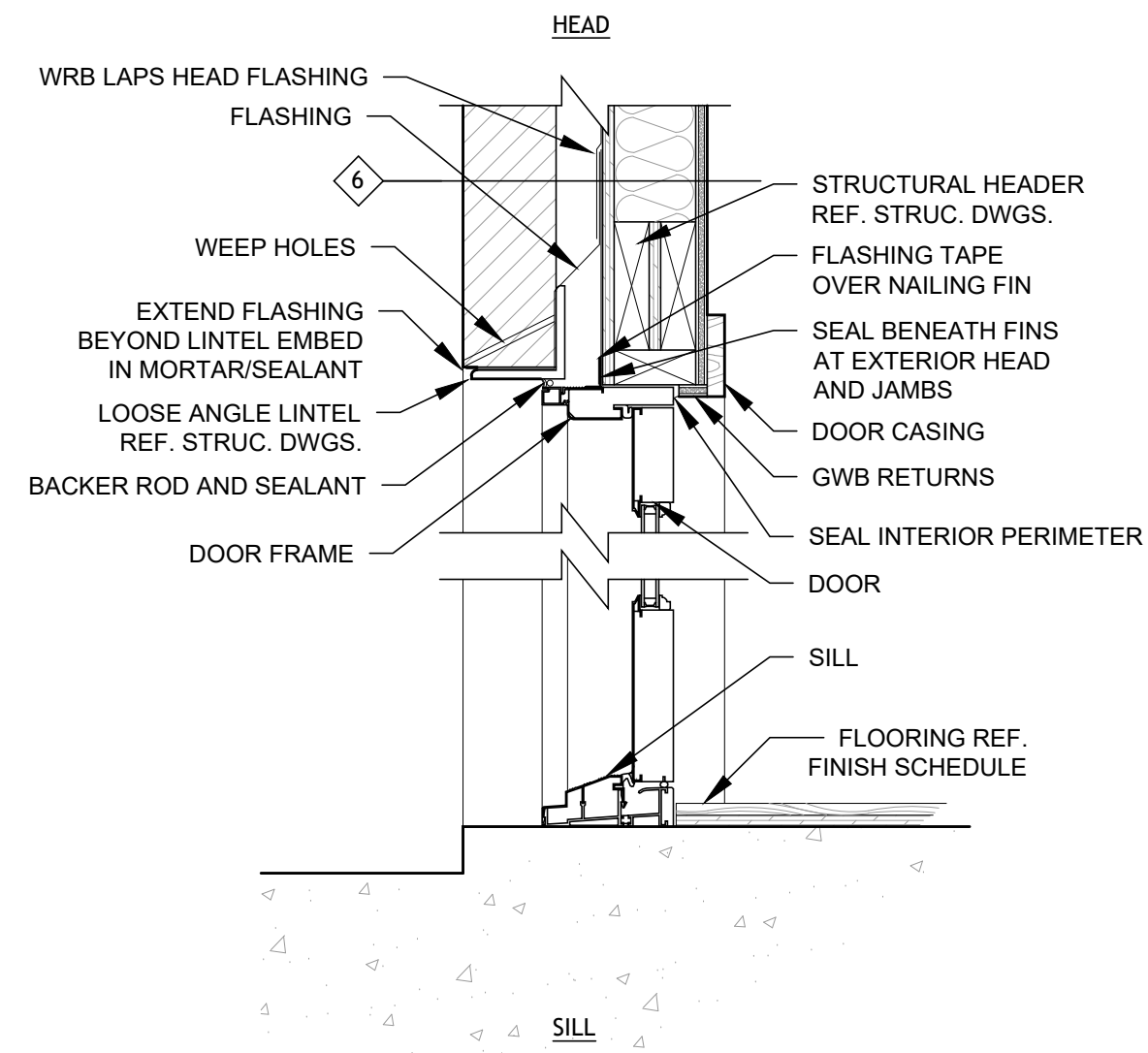
Contractor:
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DOOR TYPES

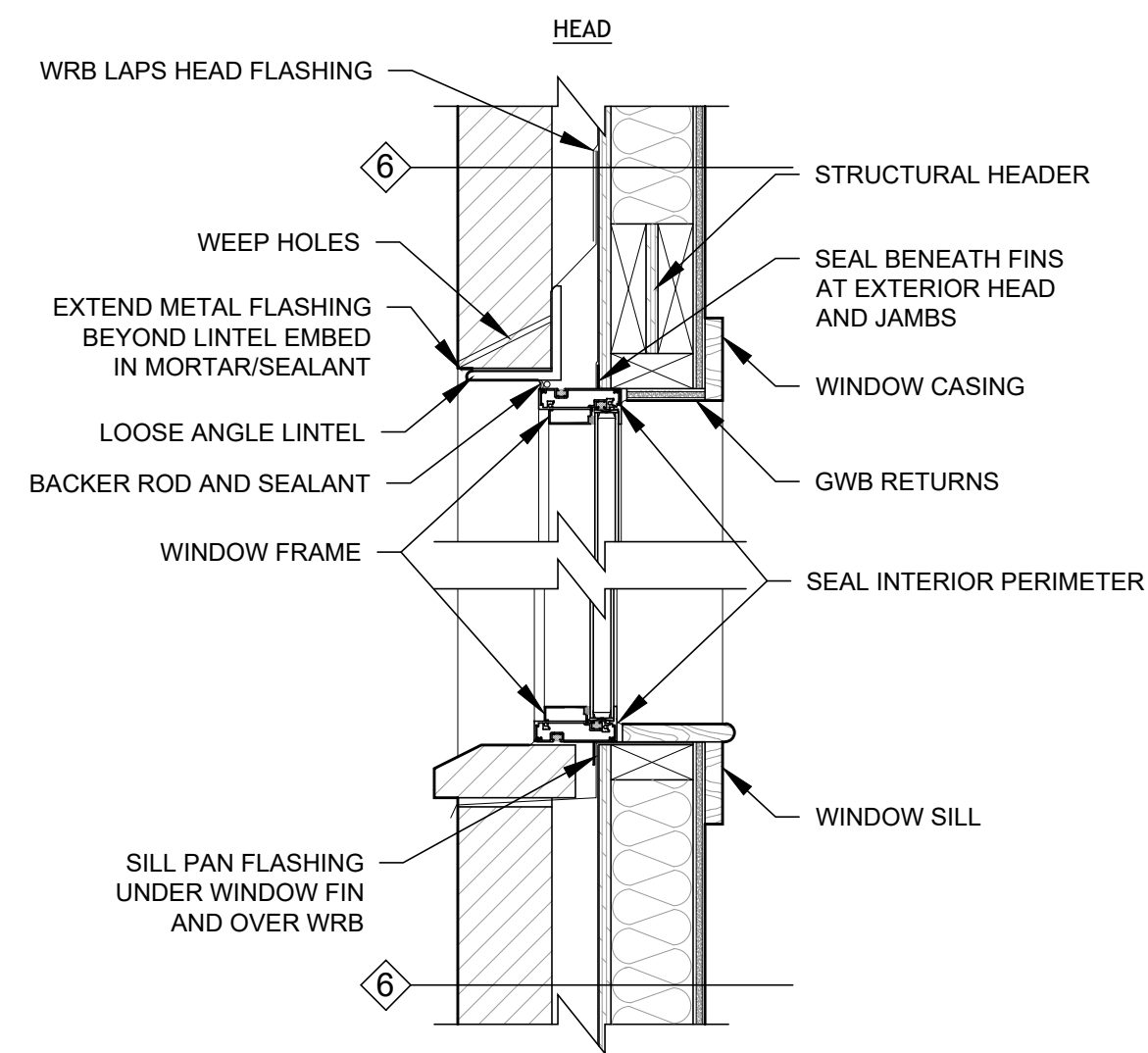
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 first issue: 06/19/2025
 plot date: 06/19/2025
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A0.3



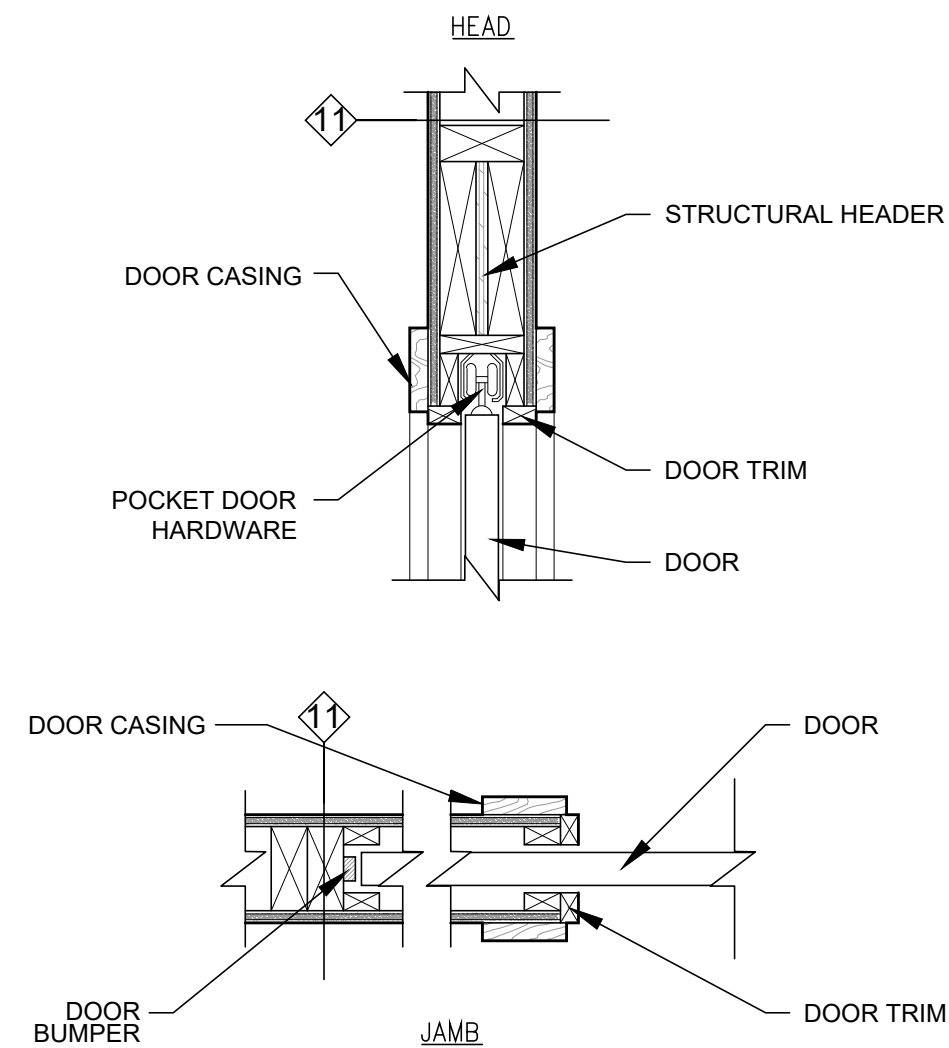
SWING DOOR @ MASONRY
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

1



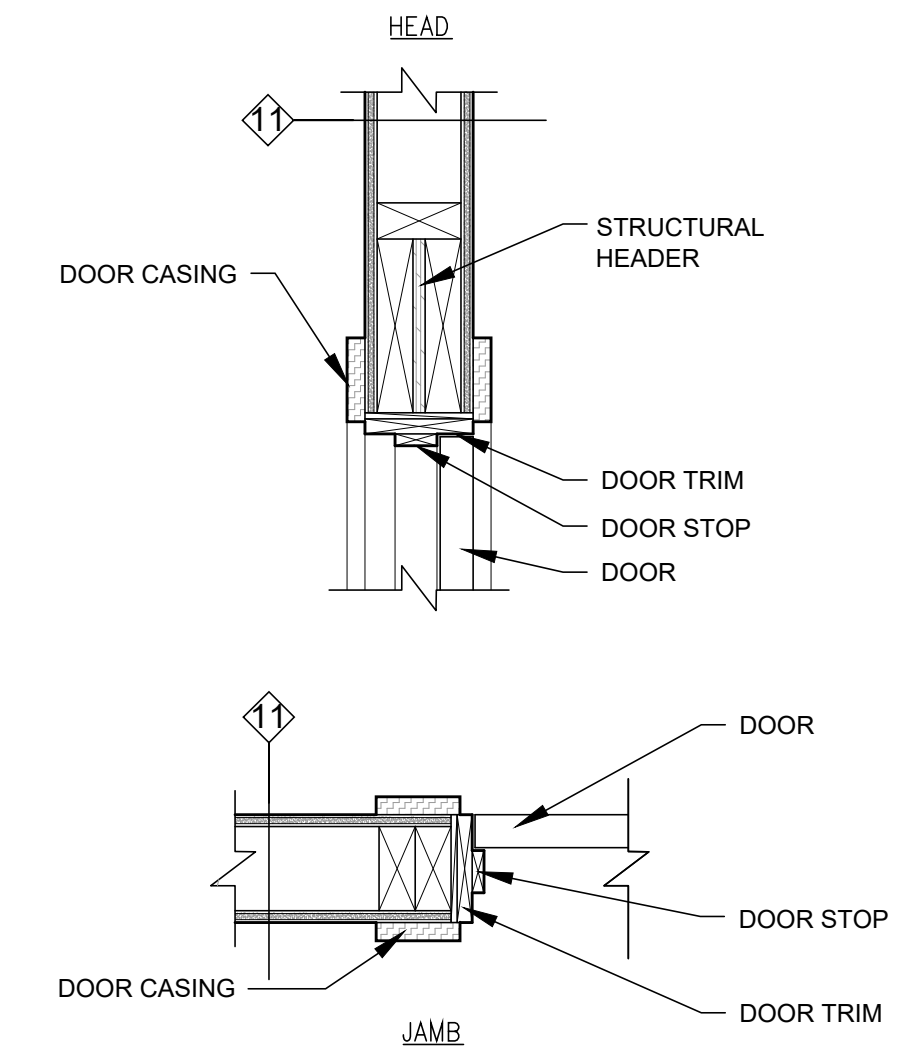
WINDOW DETAIL @ MASONRY
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

2



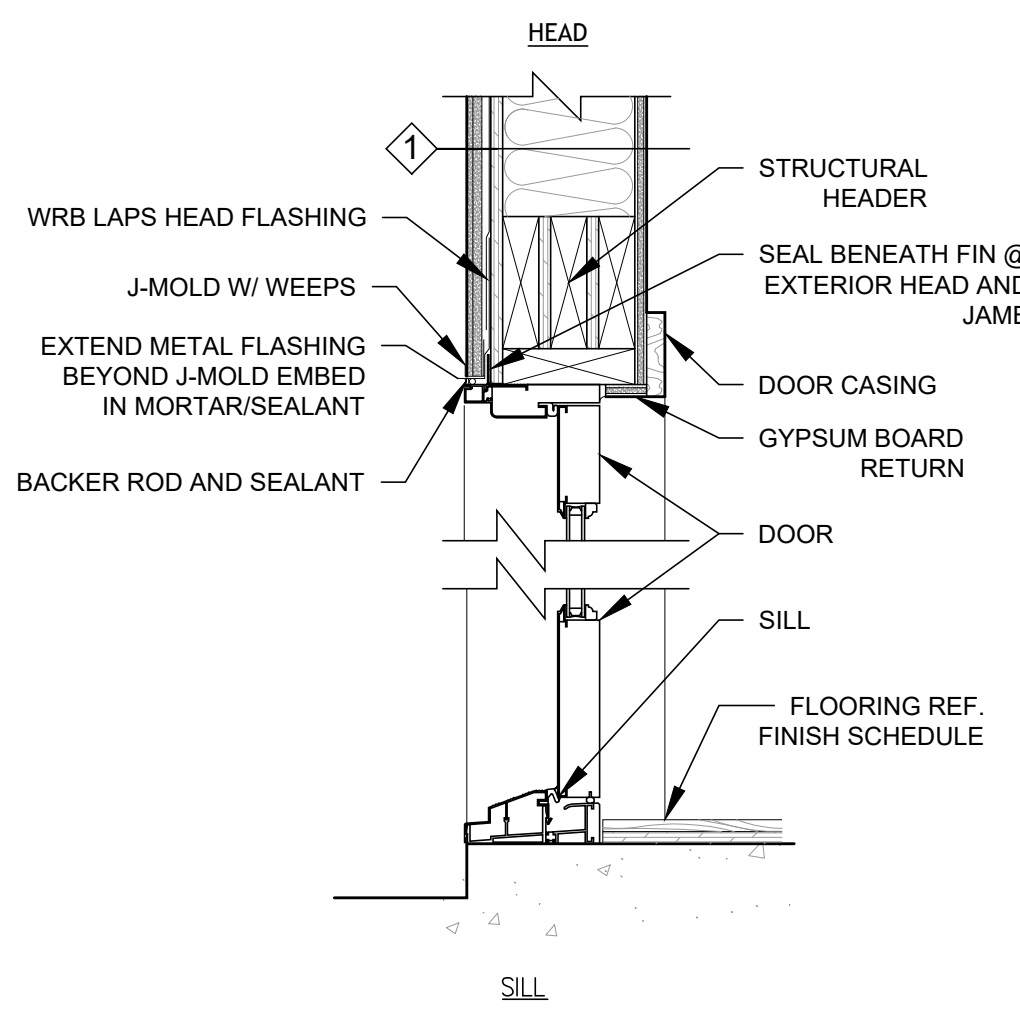
POCKET DOOR @ INTERIOR
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

3



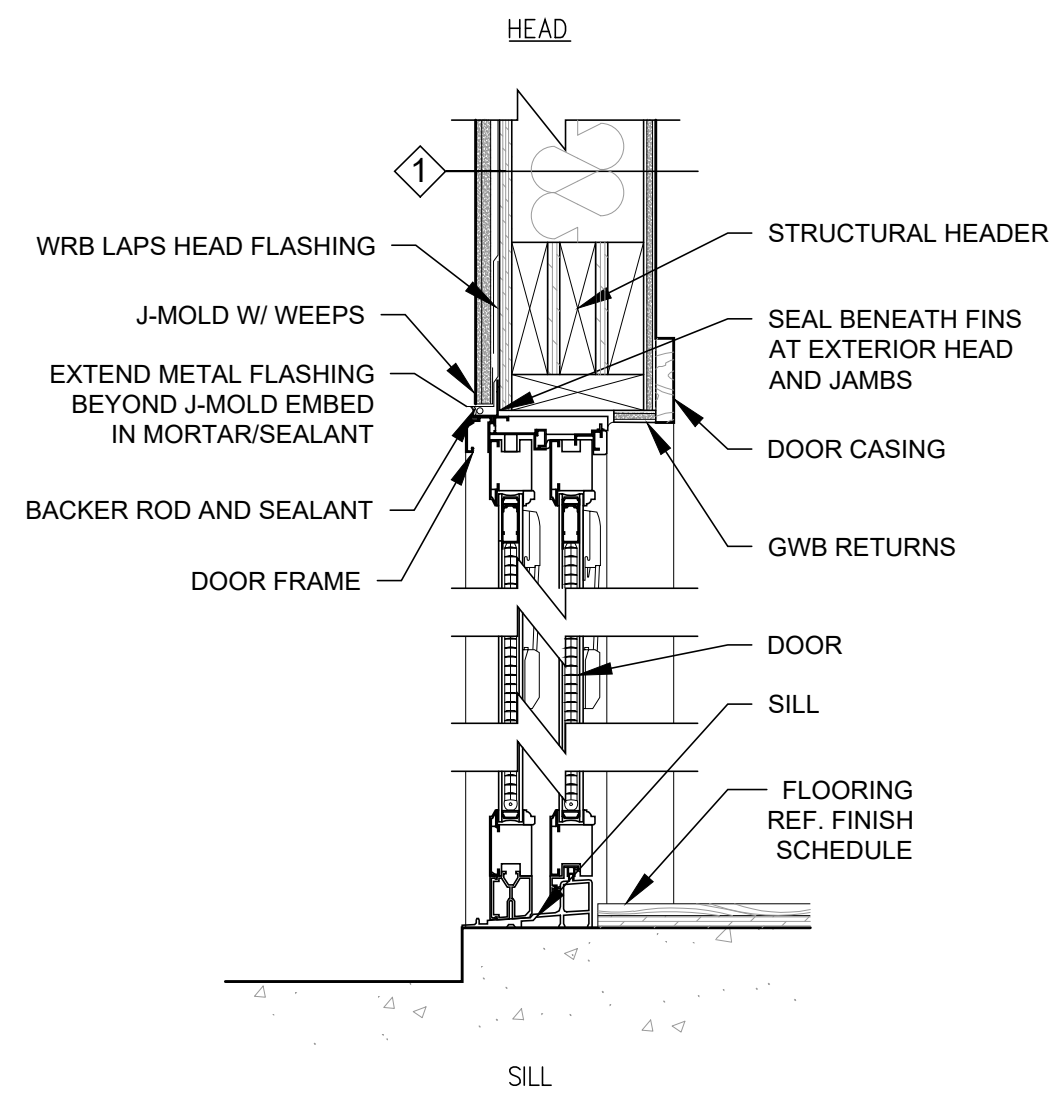
SWING DOOR @ INTERIOR
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

4



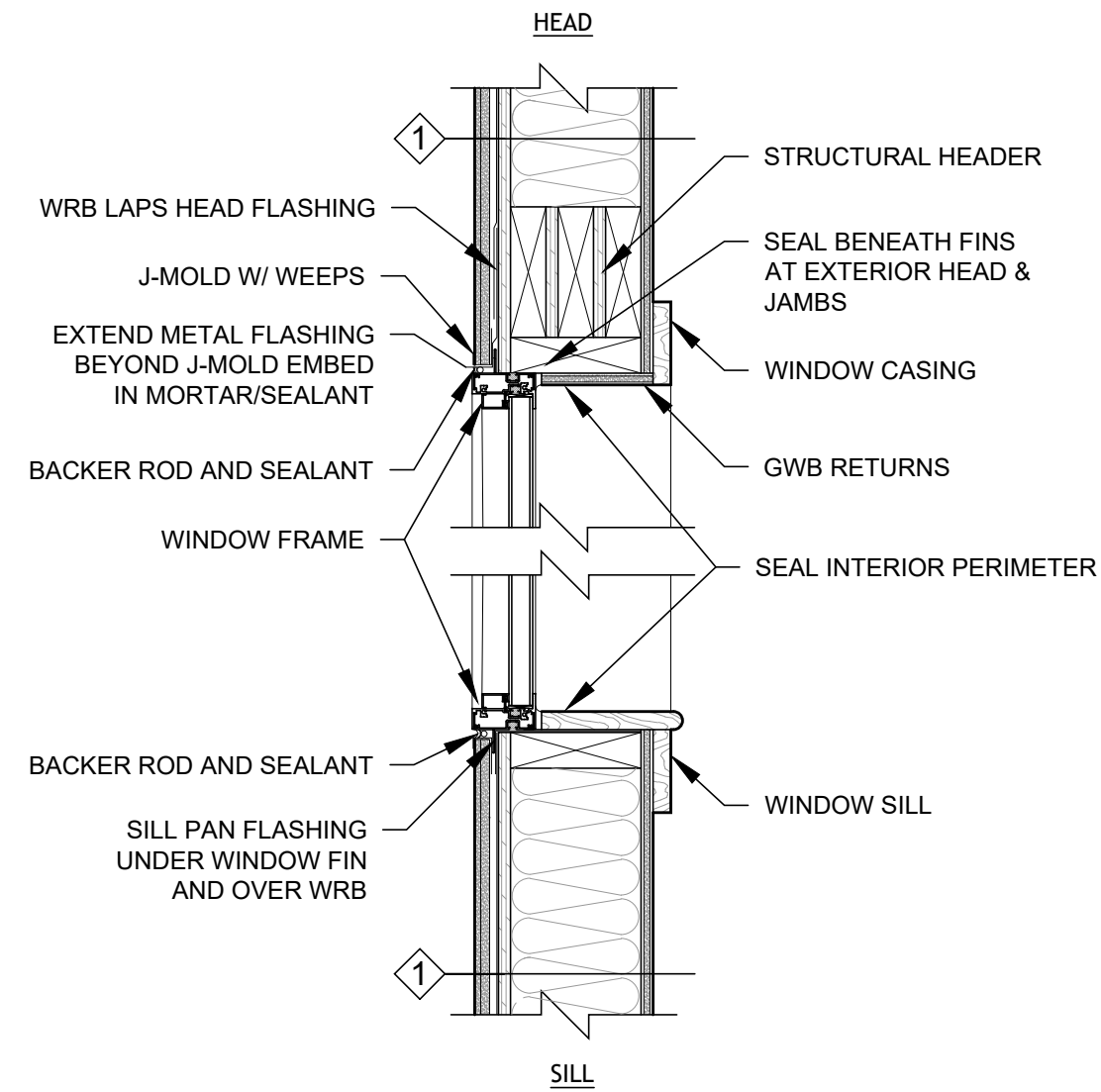
SWING DOOR @ STUCCO
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

5



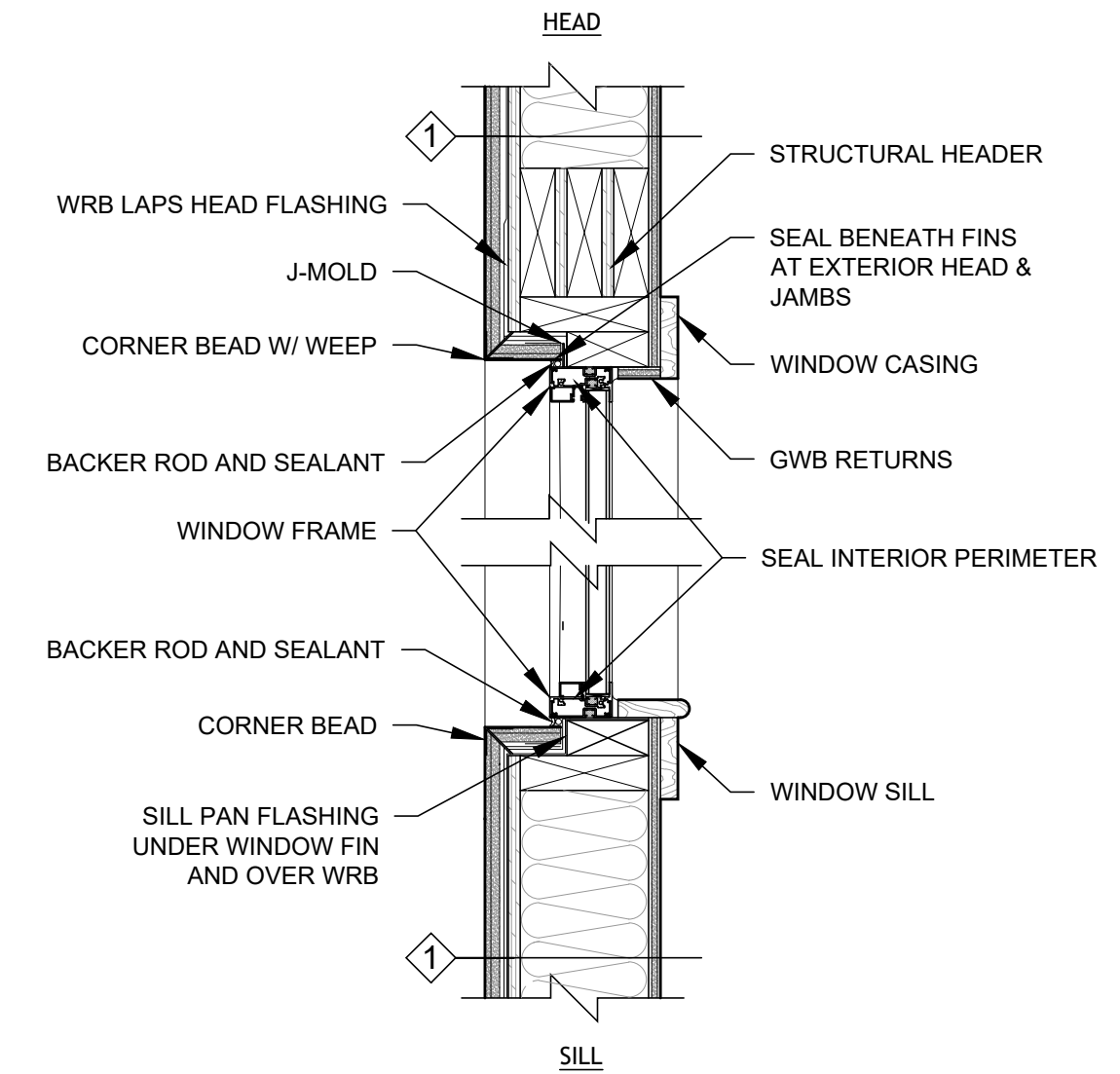
SLIDING DOOR @ SIDING
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

6



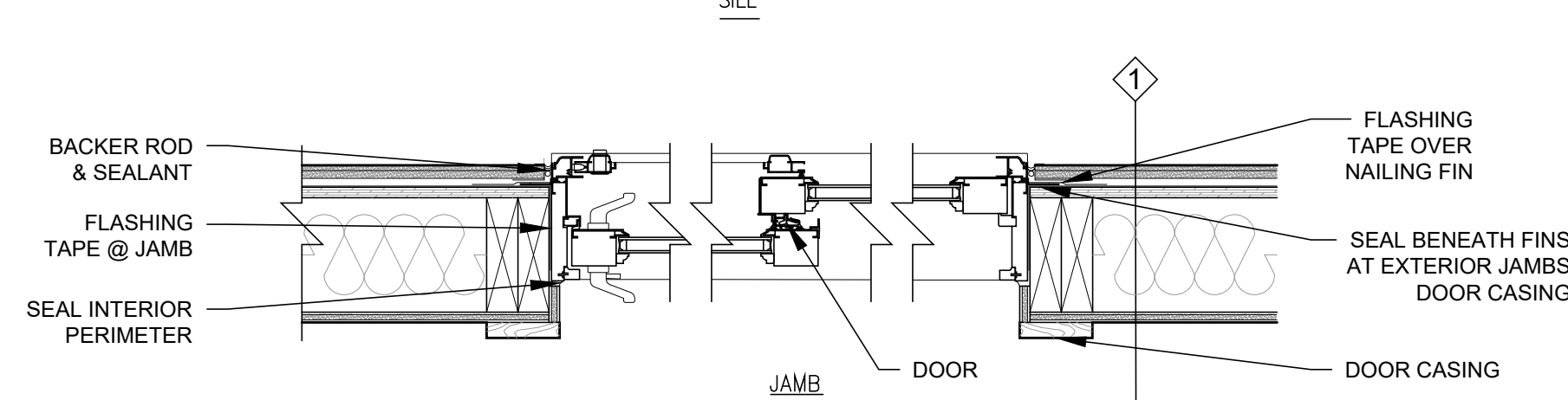
WINDOW DETAIL @ STUCCO - FLUSH SET
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

7



WINDOW DETAIL @ STUCCO - DEEP SET
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

8



SLIDING DOOR @ STUCCO
Scale 1 1/2" = 1'-0" (TABLOID: Scale 3/4" = 1'-0")

9

Revisions By

Revisions	By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
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323.236.5182



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Captex Construction

DOOR & WINDOW DETAILS

drawn by: MJS
checked by: NS
scale: 1 1/2" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025
PERMIT SET

A0.4

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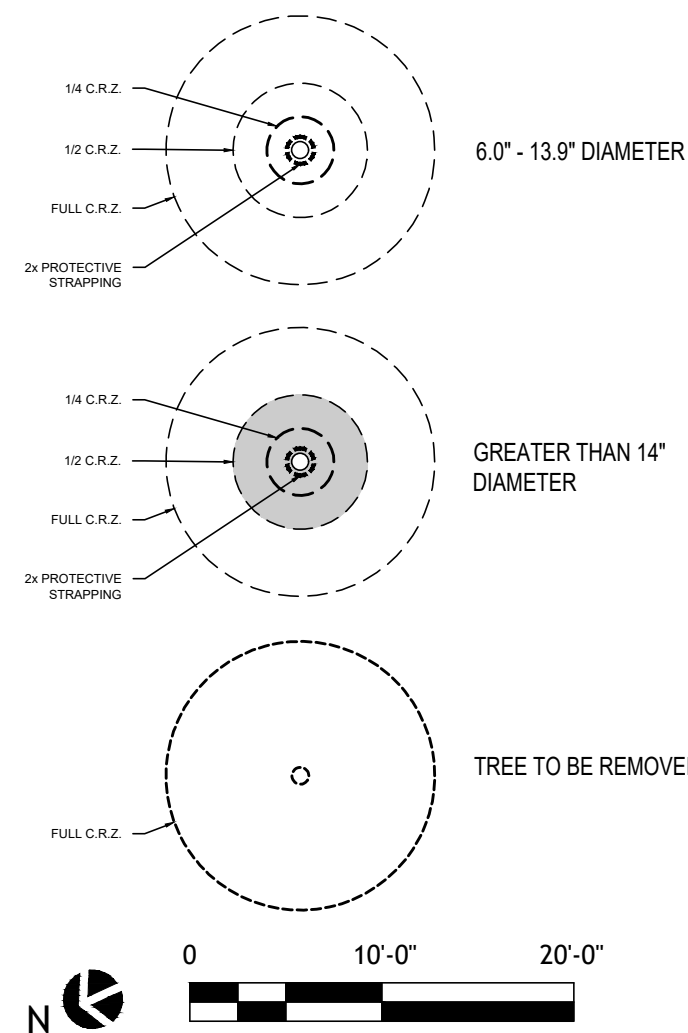
EXISTING AREA CALCULATIONS

RESIDENCE (INCLUDING GARAGE)	2,400 SQFT
COVERED PORCH	81 SQFT
DRIVEWAY	751 SQFT
SIDEWALKS AND PATIOS	624 SQFT
EQUIPMENT PADS/MISC FLATWORK	19 SQFT
SHED	65 SQFT
TOTAL AREA	3,940 SQFT
LOT AREA	11,798 SQFT
IMPERVIOUS COVER	3,940 SQFT
PERCENTAGE OF IC	33.4%
ALLOWABLE IC	36.5% (4,306.27 SQFT)

LEGEND

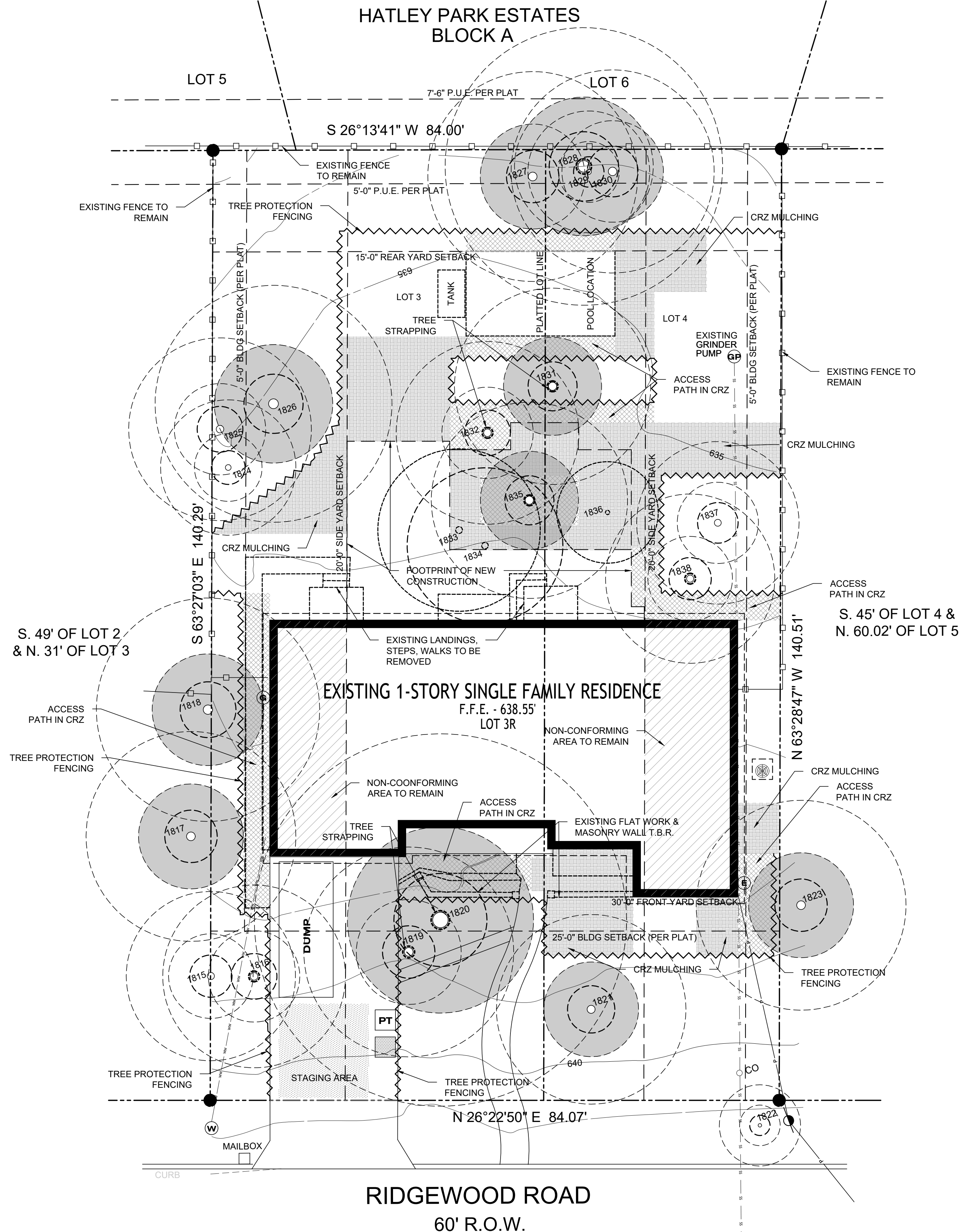
- STAGING AREA
- ROOF OUTLINE
- SETBACK / EASEMENT
- PROPERTY LINE
- WOOD FENCING
- TREE PROTECTIVE FENCING
- DUMP
- WASHOUT(S)
- PORTABLE TOILET
- WASTE WATER
- GAS LINE
- WATER LINE
- UNDERGROUND ELEC
- OVERHEAD POWER
- PROTECTIVE MULCHING
- ACCESS PATH WITHIN CRZ
- WATER, GAS, POWER UTILITY METERS
- F.F.E.
- AIR CONDITIONER
- POOL EQUIPMENT

CRITICAL ROOT ZONES



NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES
- PERMIT REQUIRED PRIOR TO REMOVAL OR PRUNING OF ANY TREE
- CONTRACTOR TO CALL FOR INSPECTION PRIOR TO REMOVAL OF ANY TREE OR BRANCH OF ANY SIZE FOR WHICH A PERMIT HAS NOT BEEN APPROVED FOR APPROVAL
- REFERENCE COWH TREE NOTES FOR ADDITIONAL INFORMATION
- REFERENCE CIVIL DRAWINGS FOR EROSION AND SEDIMENTATION CONTROLS
- SEE LANDSCAPE PLANS FOR NEW TREES REQUIRED FOR MITIGATION OF TREE REMOVAL
- REFERENCE CIVIL DRAWINGS FOR IMPERVIOUS COVERAGE CALCULATIONS



TREE CHART

TREE TAG NO.#	LOCATION	DIAMETER	SPECIES	STATUS	C.R.Z.	PROTECTION	MITIGATION INCHES
1815	SETBACK	12.5"	ELM	PROTECTED	12'-6"	F	
1816	SETBACK	13.5"	ELM	PROTECTED	13'-6"	F/S	
1817	NEIGHBOR	15.5"	ELM	PROTECTED	15'-6"	F/P	
1818	NEIGHBOR	16.5"	ELM	PROTECTED	16'-6"	F/P	
1819	SETBACK	15.5"	OAK	PROTECTED	15'-6"	F/S/P	
1820	SETBACK	27.5"	OAK	PROTECTED	27'-6"	F/S/M/P	
1821	SETBACK	14"	ELM	PROTECTED	14'-0"	F/M	
1822	NEIGHBOR	6"	CREPE MRTL	PROTECTED	6'-0"	F	
1823	NEIGHBOR	15.5"	ELM	PROTECTED	15'-6"	F/M/P	
1824	SETBACK	10"	ELM	PROTECTED	10'-0"	F/M	
1825	SETBACK	13.5"	ELM	PROTECTED	13'-6"	F/M	
1826	SETBACK	17.5"	ELM	PROTECTED	17'-6"	F/M	
1827	SETBACK	15.5"	OAK	PROTECTED	15'-6"	F/M/P	
1828	SETBACK	20.5"	PRIVET	PROTECTED	20'-6"	F/S/M/P	
1829	SETBACK	9"	ELM	PROTECTED	9'-0"	F/M/P	
1830	SETBACK	15"	ELM	PROTECTED	15'-0"	F/M/P	
1831	CONST	14.5"	ELM	PROTECTED	14'-6"	F/S/M/P	
1832	CONST	13.5"	ELM	PROTECTED	13'-6"	S/M/P	
1833	CONST	12"	ELM	TO BE REMOVED	12'-0"		9"
1834	CONST	11.5"	ELM	TO BE REMOVED	11'-6"		8.75"
1835	CONST	14.5"	ELM	PROTECTED	14'-6"	S/M/P	
1836	CONST	7.5"	ELM	TO BE REMOVED	7'-6"		5.75"
1837	SETBACK	12"	ELM	PROTECTED	12'-0"	F/M/P	
1838	SETBACK	12.5"	ELM	PROTECTED	12'-6"	F/M/P	

* PROTECTION: F - FENCING, S - STRAPPING, M - MULCHING, P - PROTECTIVE PATH

TREE ORDINANCE NOTES:

- * A MINIMUM OF 50 PERCENT OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
- * THERE IS NO CUT OR FILL WITHIN THE 1/4 CRITICAL ROOT ZONES. NO IMPACTS ARE PERMITTED WITHIN THE 1/4 CRITICAL ROOT ZONE.
- * PRIOR TO CONSTRUCTION, 5' HIGH CHAIN-LINK MESH, PROTECTIVE FENCING IS REQUIRED AROUND ALL TREES WITHIN THE LOC. WHEN THE PROTECTIVE FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRITICAL ROOT ZONE, AN 8" LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE. ADDITIONALLY, MIN 2X4 OR GREATER SIZE PLANKS (6" TALL MINIMUM) TO BE STRAPPED SECURELY AROUND A PROTECTED TREE'S TRUNK AND ROOT FLARE WHEN PROTECTIVE FENCING DOESNT INCORPORATE THE ENTIRE 1/2 CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT.
- * THERE IS NO CUT OR FILL 4" OR GREATER WITHIN THE 1/2 CRITICAL ROOT ZONE OF PROTECTED TREES. ONLY PIERS ARE ALLOWED WITHIN 1/2 CRITICAL ROOT ZONE AND PIERS MUST BE AIR-SPADED.
- * DEMOLITION WITHIN THE 1/2 CRITICAL ROOT ZONE MUST BE ACCOMPLISHED WITH HAND TOOLS.
- * NOT MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED WITHIN AN ANNUAL GROWING SEASON, AND THAT THE PERCENTAGE AND DISTRIBUTION OF FOLIAGE TO BE REMOVED SHALL BE ADJUSTED ACCORDING TO THE PLANT'S SPECIES, AGE, HEALTH, AND SITE. IF ANY PRUNING IS REQUIRED, A CERTIFIED ARBORIST MUST PERFORM THE PRUNING AND PRUNING MAY ONLY HAPPEN ONCE DURING THE PROJECT DURATION. THIS SHOULD OCCUR PRIOR TO CONSTRUCTION TO AVOID DAMAGING THE TREES DURING CONSTRUCTION. A "PAID IN FULL" RECEIPT FROM A CERTIFIED ARBORIST, FOR THE WORK, WILL BE REQUIRED FROM THE FINAL TREE INSPECTOR. IF 25% OR MORE OF THE CANOPY IS DESIRED TO BE REMOVED, THE CERTIFIED ARBORIST MUST PROVIDE A WRITTEN REPORT TO US TO SEEK A PERMIT, BEFORE PERFORMING THIS WORK.)
- * ACCESS ROUTES, MATERIAL STAGING, DUMPSTER AND SPOILS MAY NOT BE PLACED WITHIN A PROTECTED TREE'S 1/2 CRZ
- * PORTABLE TOILET, CONCRETE WASHOUT AND PAINT WASHOUT MAY NOT BE PLACED WITHIN A PROTECTED TREE'S FULL CRZ
- * AVOID THE 1/2 CRITICAL ROOT ZONES OF PROTECTED TREES WITH ANY NEWLY PROPOSED UTILITY WORK. IF TRENCHING WITHIN THE 1/2 CRZ OF PROTECTED TREES CANNOT BE AVOIDED, THE TRENCHES WILL BE AIR SPACED BY A CERTIFIED ARBORIST FOR THE TOP 30" TO AVOID CUTTING ROOTS 1.5" IN DIAMETER AND THE PAID RECEIPT FOR THE WORK WILL BE REQUIRED BY THE FINAL TREE INSPECTOR.
- * IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.

Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

Project Address:
419 Ridgewood Rd
West Lake Hills 78746

Contractor:
Captex Construction

SITE DEMOLITION PLAN

drawn by: MJS
checked by: NS
scale: 1" = 10'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A1.0

DEMOLITION SITE PLAN

Scale 1" = 10'-0" (TABLOID: Scale 1" = 20'-0")

PROPOSED AREA CALCULATIONS

IMPERVIOUS COVER	
RESIDENCE	2,555 SQFT
ATTACHED GARAGE	538 SQFT
COVERED PORCH	78 SQFT
PERMEABLE DRIVEWAY (75%)	521 SQFT
WOOD DECK (50%)	224 SQFT
EQUIPMENT PADS/MISC FLATWORK	104 SQFT
POOL	161 SQFT
SPA	36 SQFT
POOL COPING	78 SQFT
TOTAL AREAS	4,295 SQFT

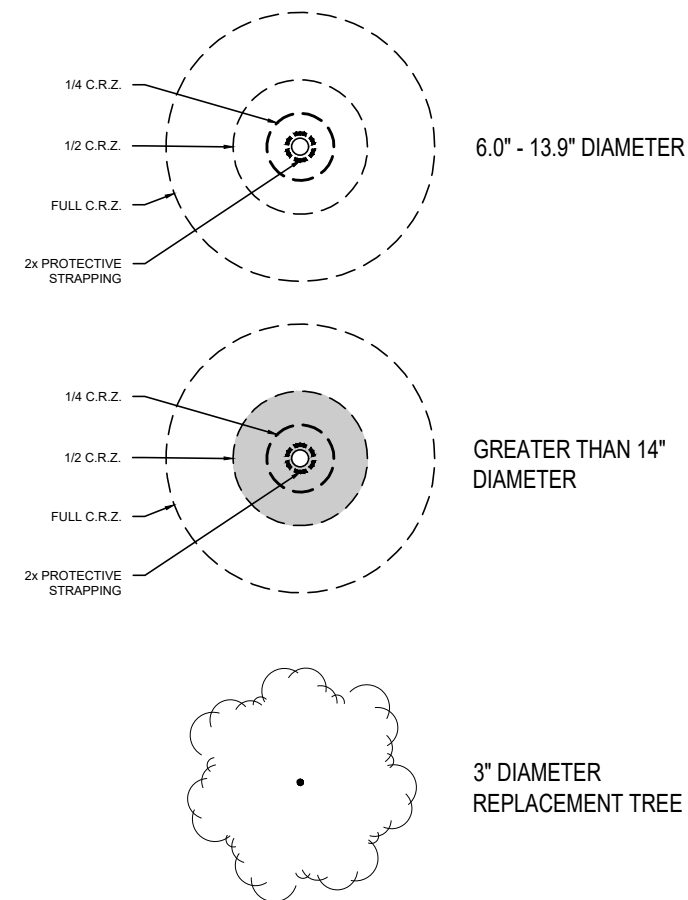
LOT AREA	11,798 SQFT
IMPERVIOUS COVER	4,295 SQFT
PERCENTAGE OF IC ALLOWABLE IC	36.5% (4306.27 SQFT)

CONDITIONED AREA	
FIRST FLOOR	2,555 SQFT
SECOND FLOOR	1,544 SQFT
TOTAL AREA	4,099 SQFT

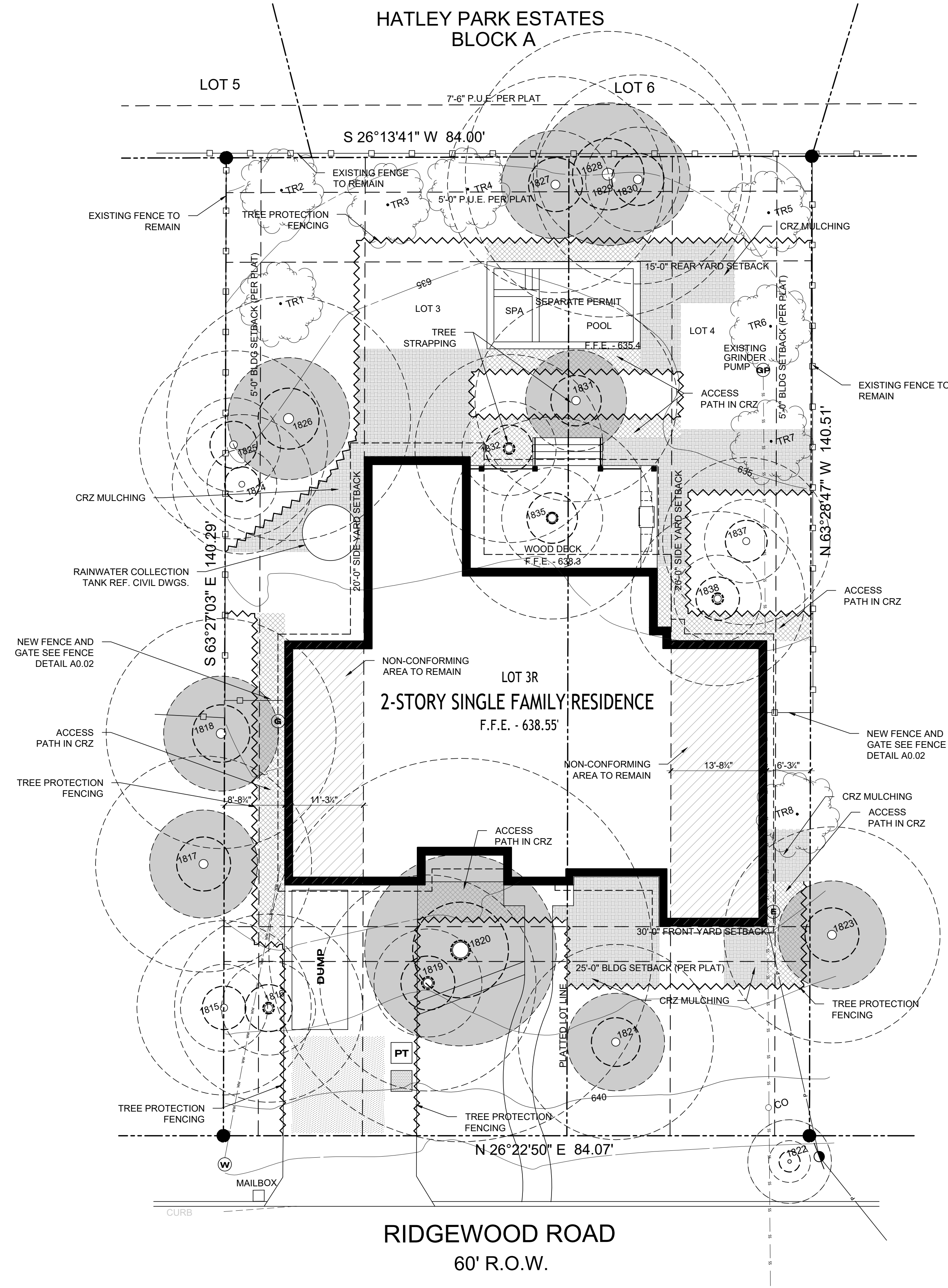
LEGEND

- STAGING AREA
- ROOF OUTLINE
- SETBACK / EASEMENT
- PROPERTY LINE
- WOOD FENCING
- TREE PROTECTIVE FENCING
- DUMPSTER / SPOILS
- WASHOUT(S)
- PORTABLE TOILET
- WASTE WATER
- GAS LINE
- WATER LINE
- UNDERGROUND ELEC
- OVERHEAD POWER
- PROTECTIVE MULCHING
- 4'-0" WIDE ACCESS PATH WITHIN CRZ
- WATER, GAS, POWER UTILITY METERS
- F.F.E. FINISH FLOOR ELEVATION
- AIR CONDITIONER
- POOL EQUIPMENT

CRITICAL ROOT ZONES



- NOTES:
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SITE PLAN

Scale 1" = 10'-0" (TABLOID: Scale 1" = 20'-0")

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1828	20.5"	PRIVET	PROTECTED	20'-6"	F/S/M/P
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TREE TAG NO.#	DIAMETER	SPECIES	MITIGATION
TR1	3"	TBD	TO MITIGATE THE REMOVAL OF TREES 1833, 1834, AND 1836, WE PROPOSE MITIGATION WITH (8) 3"D TREES ALL MITIGATION TREES TO BE CHOSEN FROM CITY OF WEST LAKE HILLS TREE ORDINANCE APPENDIX A TOTAL REPLACEMENT INCHES IS 24"
TR2	3"	TBD	
TR3	3"	TBD	
TR4	3"	TBD	
TR5	3"	TBD	
TR6	3"	TBD	
TR7	3"	TBD	
TR8	3"	TBD	

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alice@arterberrycooke.com
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Contractor:
Captex Construction

SITE PLAN

drawn by: MJS
checked by: NS
scale: 1" = 10'-0"
first issue: 06/19/2025
plot date: 06/19/2025

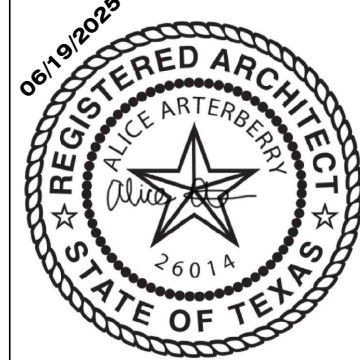
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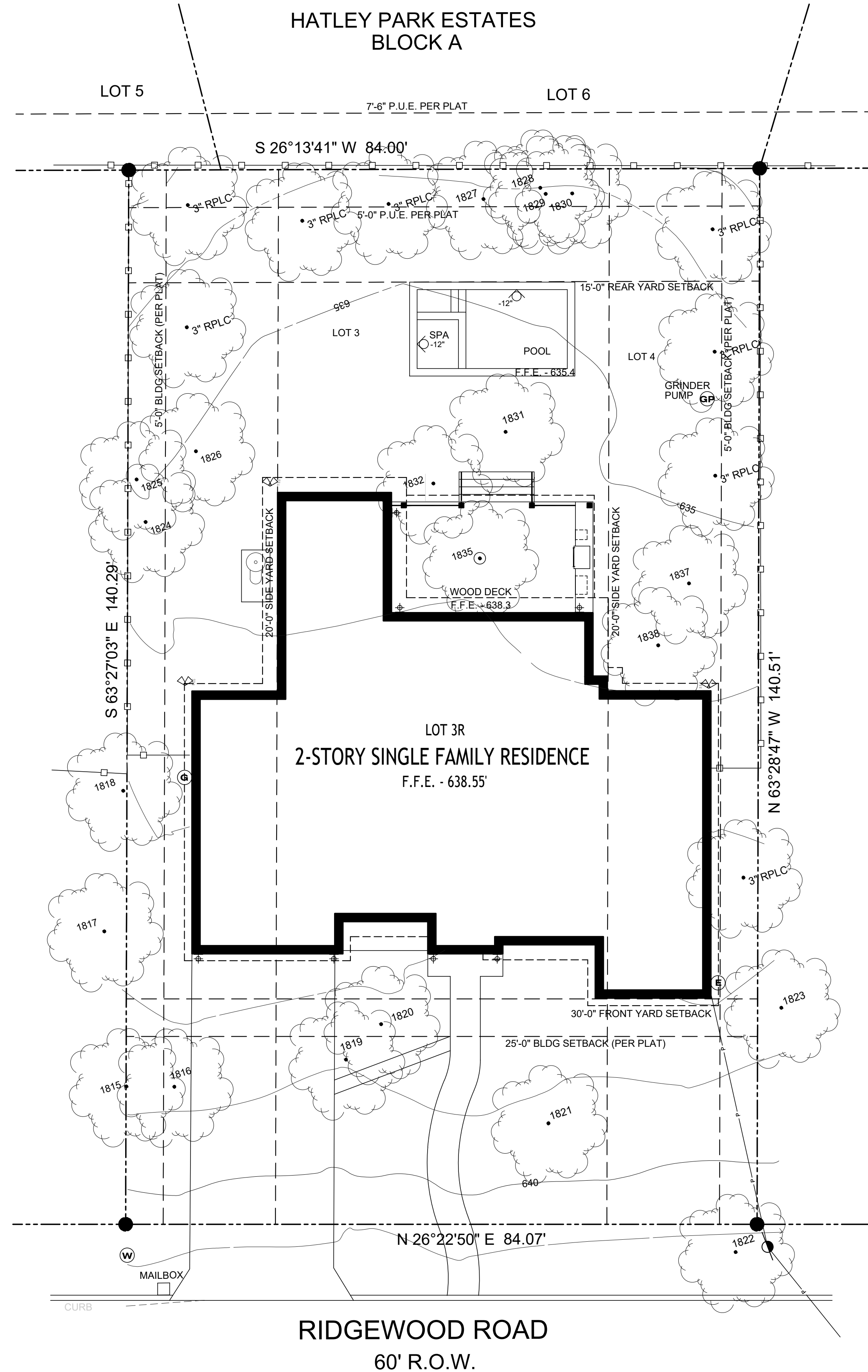
SITE LIGHTING PLAN

drawn by: MJS
checked by: NS
scale: 1" = 10'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A1.2

HATLEY PARK ESTATES
BLOCK A



LEGEND

- WALL-MOUNTED LIGHT FIXTURE
- POOL LIGHT FIXTURE
- CEILING-MOUNTED PENDANT LIGHT FIXTURE
- 4" (UNO) RECESSED CAN LIGHT FIXTURE (MUST SUPPORT LED LIGHTS)
- SECURITY FLOOD LIGHT

ELECTRICAL GENERAL NOTES:

OUTDOOR LIGHTING TO COMPLY WITH C OF WLH ORDINANCE 24.03.005 STANDARDS FOR R-1, R-2, AND R-3 RESIDENTIAL DISTRICTS. SEE E1.0-E1.2 FOR LIGHTING PLANS

CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND PROVIDE LABOR AND MATERIALS PERTAINING TO THE ELECTRICAL SYSTEM AS REQUIRED IN CONSTRUCTION DOCUMENTS WHILE COMPLYING WITH ALL APPLICABLE BUILDING CODES, LOCAL UTILITY REQUIREMENTS AND BUILDING RESTRICTIONS.

LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE TOP OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION.

OUTLETS MUST BE A MINIMUM OF 15 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE BOTTOM OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION. FLOOR OUTLETS ARE AN ACCEPTABLE ALTERNATIVE WHERE INSTALLATION OF COMPLIANT WALL OUTLETS IS NOT FEASIBLE.

PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH IRC SEC R314
PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH IRC SEC R315"

ALL LIGHT FIXTURES LED OR HIGH EFFICACY U.N.O.

AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

OUTDOOR LIGHTING- ALL LUMINARIES MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A PHOTO-CONTROL / MOTION SENSOR.

ALL LIGHTS RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND ARE CERTIFIED AIRTIGHT TO ASTM E283 AND LABELED AS AIRTIGHT (AT) TO LESS THAN 2.0 CFM @ 75 PASCALS.

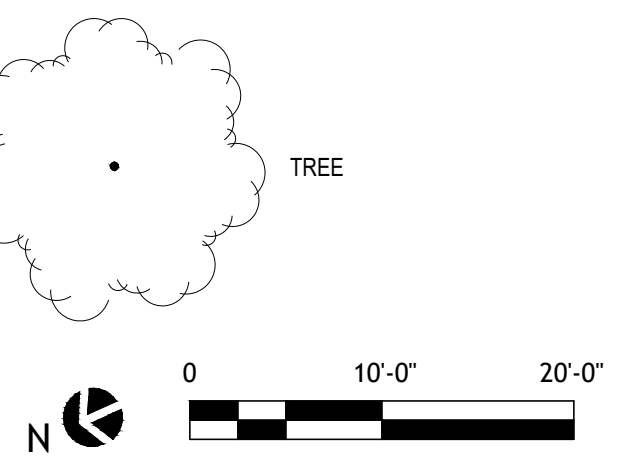
ALL CEILING FANS WITH LIGHT KITS SHALL HAVE SEPARATE SWITCHES FOR LIGHTS AND FAN CONTROL.

SITE AREA 11,798.67 SQFT 0.27 ACRES
EXTERIOR DOORS 3
PERIMETER HOUSE 283'-9"

LUMEN ALLOWANCE LIMIT = 15,237							
	QUANTITY	UNIT	ALLOWANCE/UNIT	TOTAL LUMENS			
LOT LESS THAN 1 ACRE	1	LOT	10000	10000			
DOOR ALLOWANCE	3	DOOR	800	2400			
PERIMETER ALLOWANCE	283.75	LNFT	10	2837.5			
LOCATION	MANU	MODEL	QUANTITY	LUMENS/ FIXTURE	TOTAL LUMENS	MOUNTING HEIGHT	CUT SHEET
ENTRY	VIS COMF	HALLE Lrg	2	450	900	8'-0"	WALL SCONCE
GARAGE DOOR	VIS COMF	HALLE Med	2	450	900	8'-0"	WALL SCONCE
DECK	VIS COMF	HALLE Med	3	450	1350	8'-0"	WALL SCONCE
POOL	PENTAIR	INTELLIBRITE	1	1,000	1,000	1'-0" BELOW WL	POOL
SPA	PENTAIR	INTELLIBRITE	1	400	400	1'-0" BELOW WL	SPA
SECURITY	GLOBE	ARCHITECTURAL	3	2000	6,000	9'-6" (Eave)	SECURITY
				TOTAL	10,550		

LEGEND

- ROOF OUTLINE
- SETBACK / EASEMENT
- PROPERTY LINE
- WOOD FENCING
- SS WASTE WATER
- GAS GAS LINE
- WW WATER LINE
- UE UNDERGROUND ELEC
- OVERHEAD POWER
- WATER, GAS, POWER UTILITY METERS
- F.F.E. FINISH FLOOR ELEVATION
- AIR CONDITIONER
- POOL EQUIPMENT



SITE PLAN

Scale 1" = 10'-0" (TABLOID) Scale 1" = 20'-0"

1

GENERAL NOTES:

PREPARE EXISTING RESIDENCE FOR DEMOLITION AND NEW CONSTRUCTION. SUPPORT EXISTING STRUCTURE TO REMAIN AS REQUIRED PRIOR TO DEMOLITION.

DEMO ALL WINDOWS AND DOORS.



REMOVE EXTERIOR SIDING AND PREPARE EXISTING SHEATHING AS REQUIRED FOR NEW EXTERIOR FINISHES

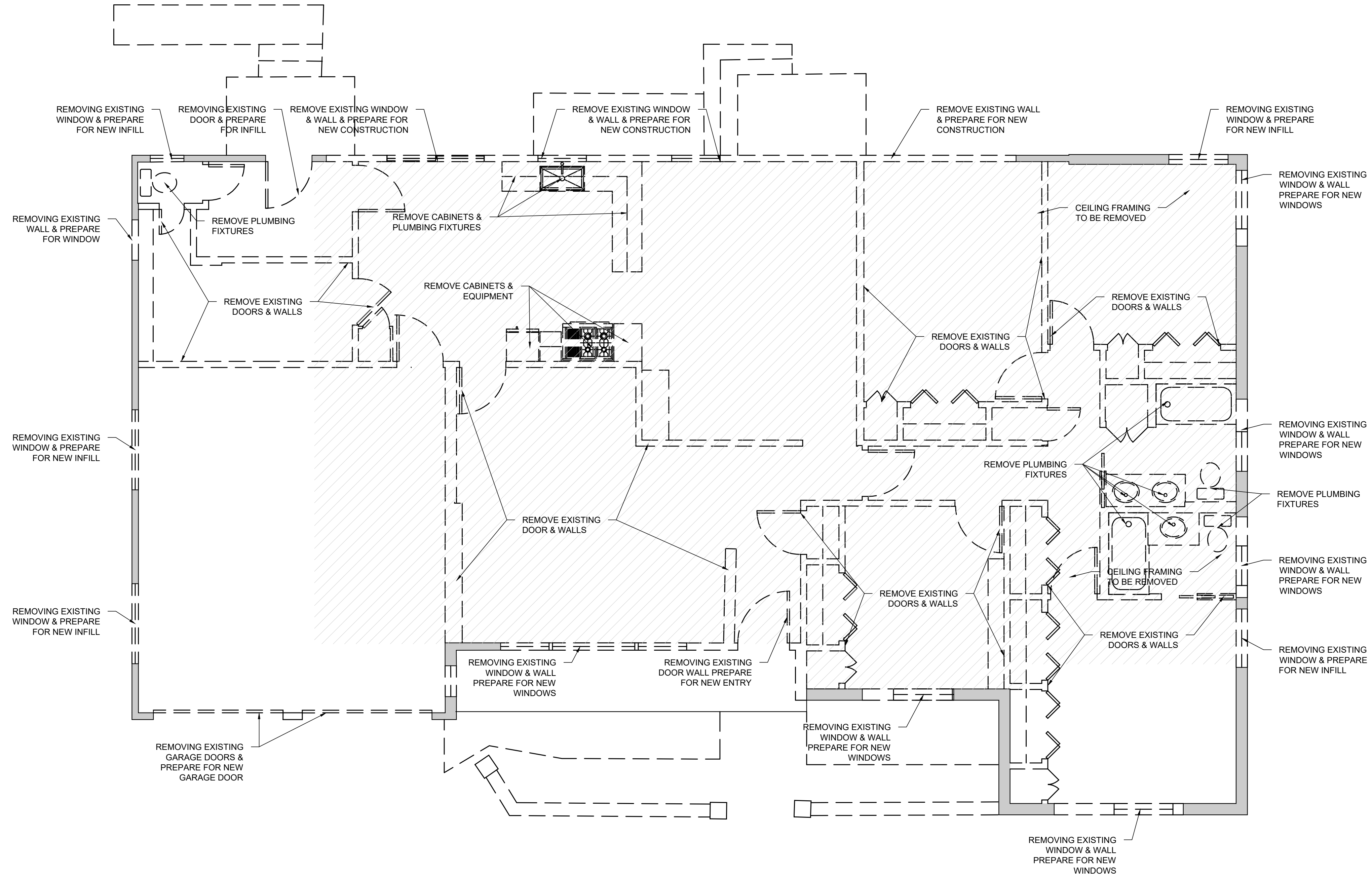
DEMO EXISTING WALLS ACCORDING TO PLAN. AS WELL AS ALL INTERIOR CEILINGS, WALLS, FLOOR FINISHES, FIXTURES, COUNTERTOPS AND CABINETRY TO PREPARE FOR THE NEW CONSTRUCTION.

THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS REQUIRED TO MEET CODE REQUIREMENTS.

REMOVE EXISTING EQUIPMENT, FIXTURES, WIRING, AND PIPING NOT BEING REUSED.

PLAN LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CEILING STRUCTURE TO BE REMOVED



DEMOLITION PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

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1ST FLOOR DEMOLITION PLAN

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A2.0

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GENERAL NOTES:

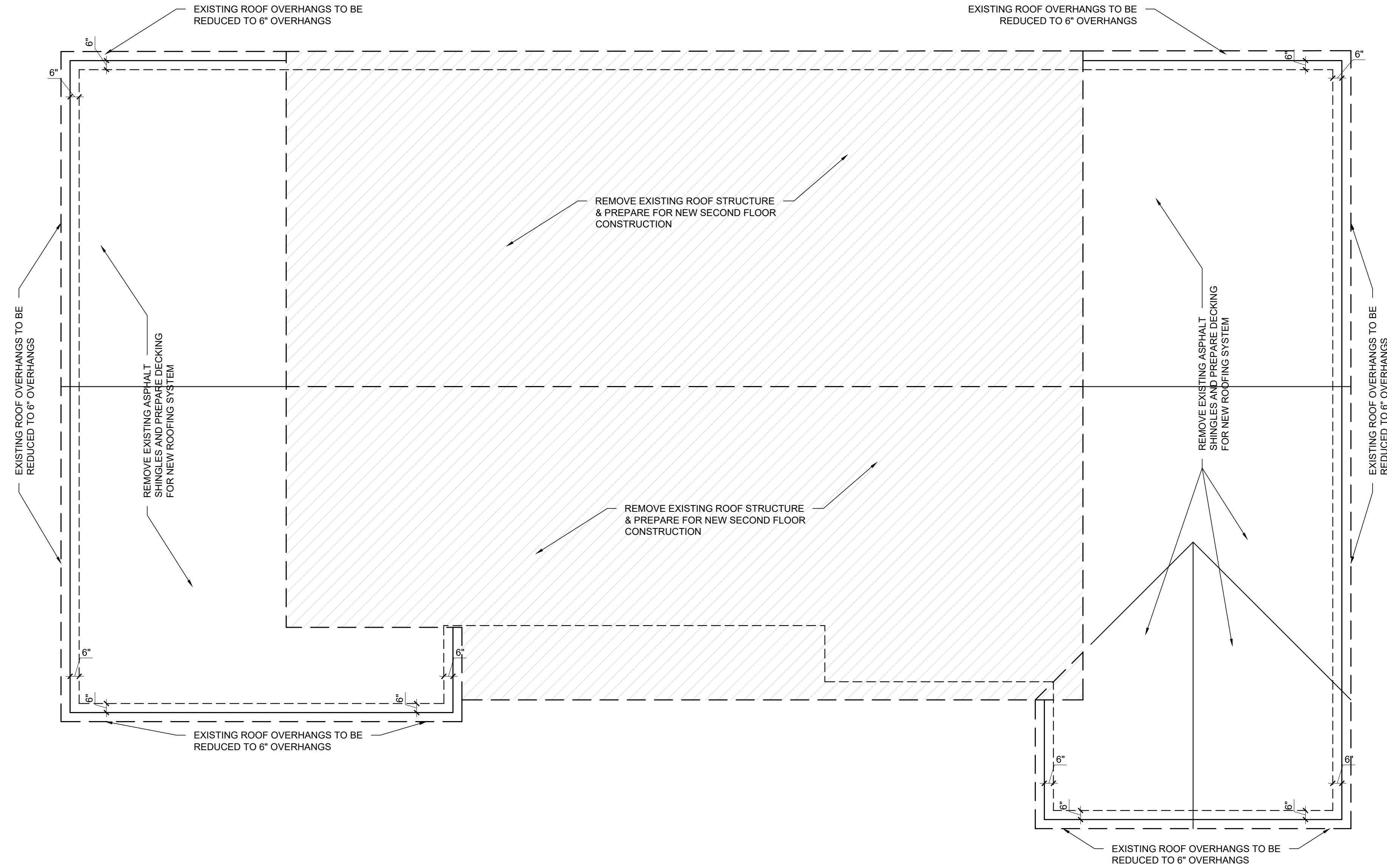
PREPARE EXISTING RESIDENCE FOR DEMOLITION AND NEW CONSTRUCTION. SUPPORT EXISTING STRUCTURE TO REMAIN AS REQUIRED PRIOR TO DEMOLITION.

THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS REQUIRED TO MEET CODE REQUIREMENTS.

REMOVE EXISTING EQUIPMENT, FIXTURES, WIRING, AND PIPING NOT BEING REUSED.

PLAN LEGEND

EXISTING ROOF STRUCTURE TO BE REMOVED



DEMOLITION ROOF PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

Revisions	By

ARTERBERRY COOKE architecture

Architect:
 Alice Arterberry
 3411 Windsor Rd
 Austin, TX 78703
 alicearterberry@arterberrycooke.com 323.236.5182



Project Owner:
 Michelle and David Ewart
 3806 Meandering Creek Cv
 Austin TX 78746

Project Address:
 419 Ridgewood Rd
 West Lake Hills 78746

Contractor:
 Captex Construction

ROOF DEMOLITION PLAN

drawn by: MJS
 checked by: NS
 scale: 1/4" = 1'-0"
 first issue: 06/19/2025
 plot date: 06/19/2025

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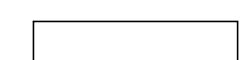
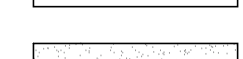
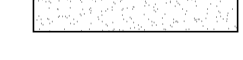
GENERAL NOTES:

EXTEND NEW THROUGH ROOF FLUES AND VENTS UP THROUGH ROOF IN ACCORDANCE WITH THE IRC TO ACHIEVE REQUIRED CLEARANCES. FLASH AND SEAL ALL ROOF PENETRATIONS.

PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF EACH SEPARATE SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. (SEE ELECTRICAL PLAN)

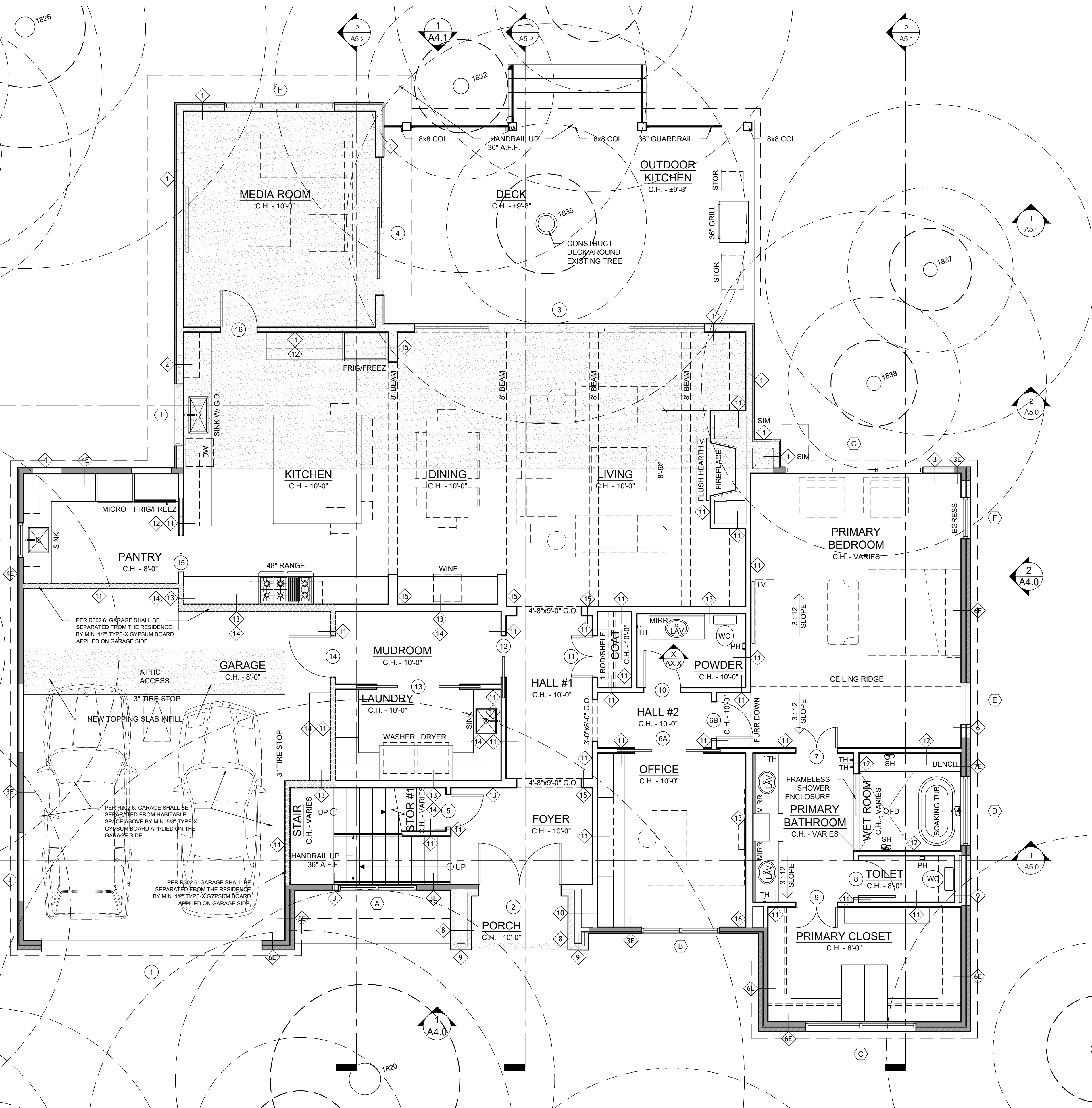
PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (SEE ELECTRICAL PLAN)

PLAN LEGEND

-  EXISTING CONSTRUCTION LOCATION
-  NEW CONSTRUCTION LOCATION
-  NEW CONCRETE FOUNDATION OR INFILL TOPPING SLAB
-  RATED WALL CONSTRUCTION PER R302.6

FIRST FLOOR PLAN - NOTES

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")



Revisions By

Revisions	By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

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Captex Construction

1ST FLOOR PLAN - NOTES

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

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GENERAL NOTES:

DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.


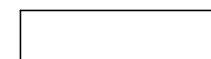


DIMENSIONS ARE TO FACE OF STUD FRAMING MEMBERS OR EXTERIOR FINISHED SURFACES UNLESS OTHERWISE NOTED FOR NEW CONSTRUCTION.

DIMENSIONS ARE TO FACE OF FINISH SURFACE OR EXTERIOR FINISH SURFACE UNLESS OTHERWISE NOTED FOR EXISTING CONSTRUCTION

DOORS, WINDOWS, AND OPENINGS ARE MEASURED TO THE CENTER OF OPENING.

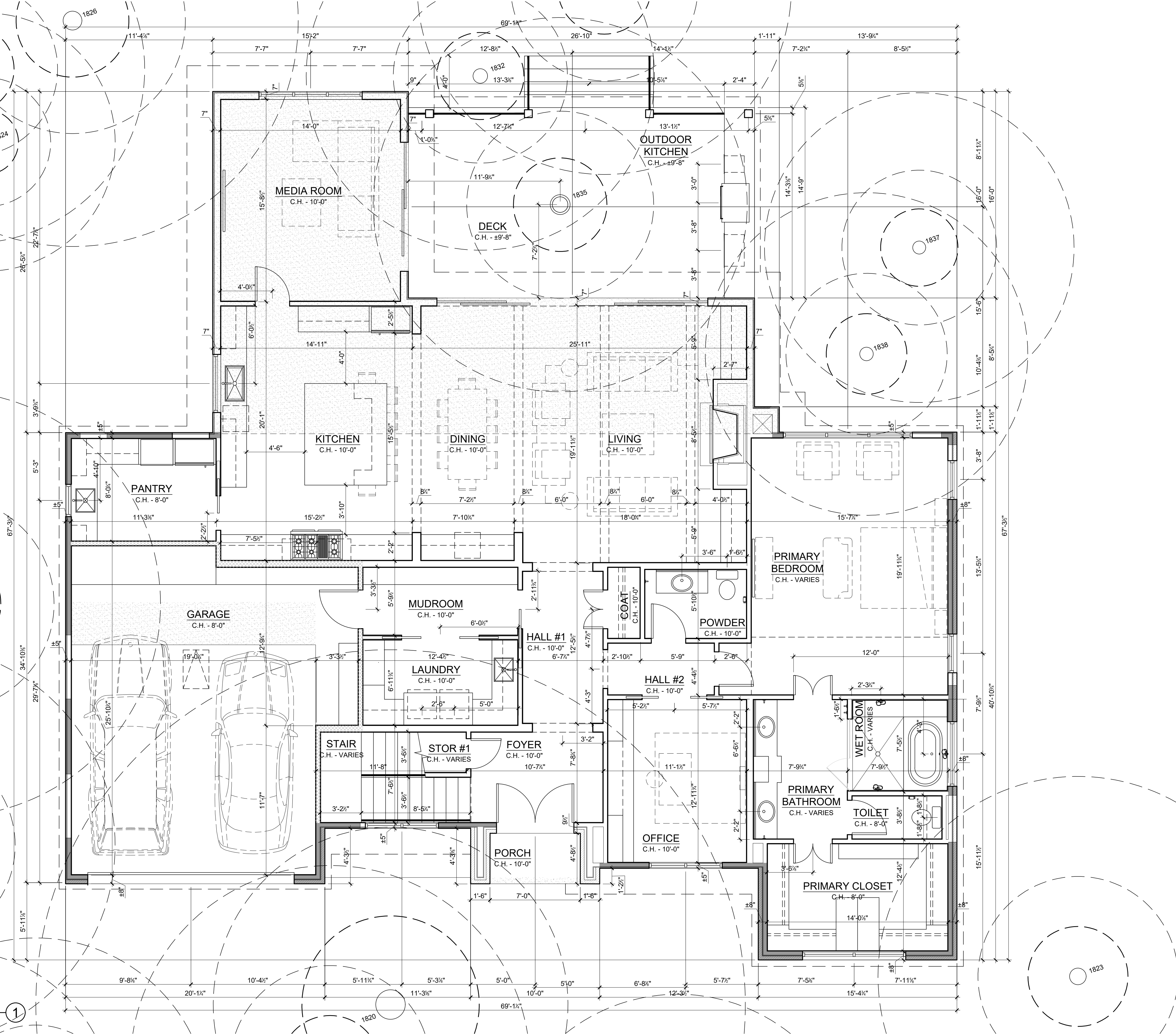
PLUMBING FIXTURES ARE MEASURED TO THE CENTERLINE OF FIXTURES.

PLAN LEGEND

-  EXISTING CONSTRUCTION LOCATION
-  NEW CONSTRUCTION LOCATION
-  NEW CONCRETE FOUNDATION OR INFILL TOPPING SLAB
-  RATED WALL CONSTRUCTION PER R302.6

FIRST FLOOR PLAN - DIMENSIONS

Scale 1/4" = 1'-0" (TABLOID Scale 1/8" = 1'-0")



Revisions	By

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Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
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1ST FLOOR PLAN - DIMENSIONS

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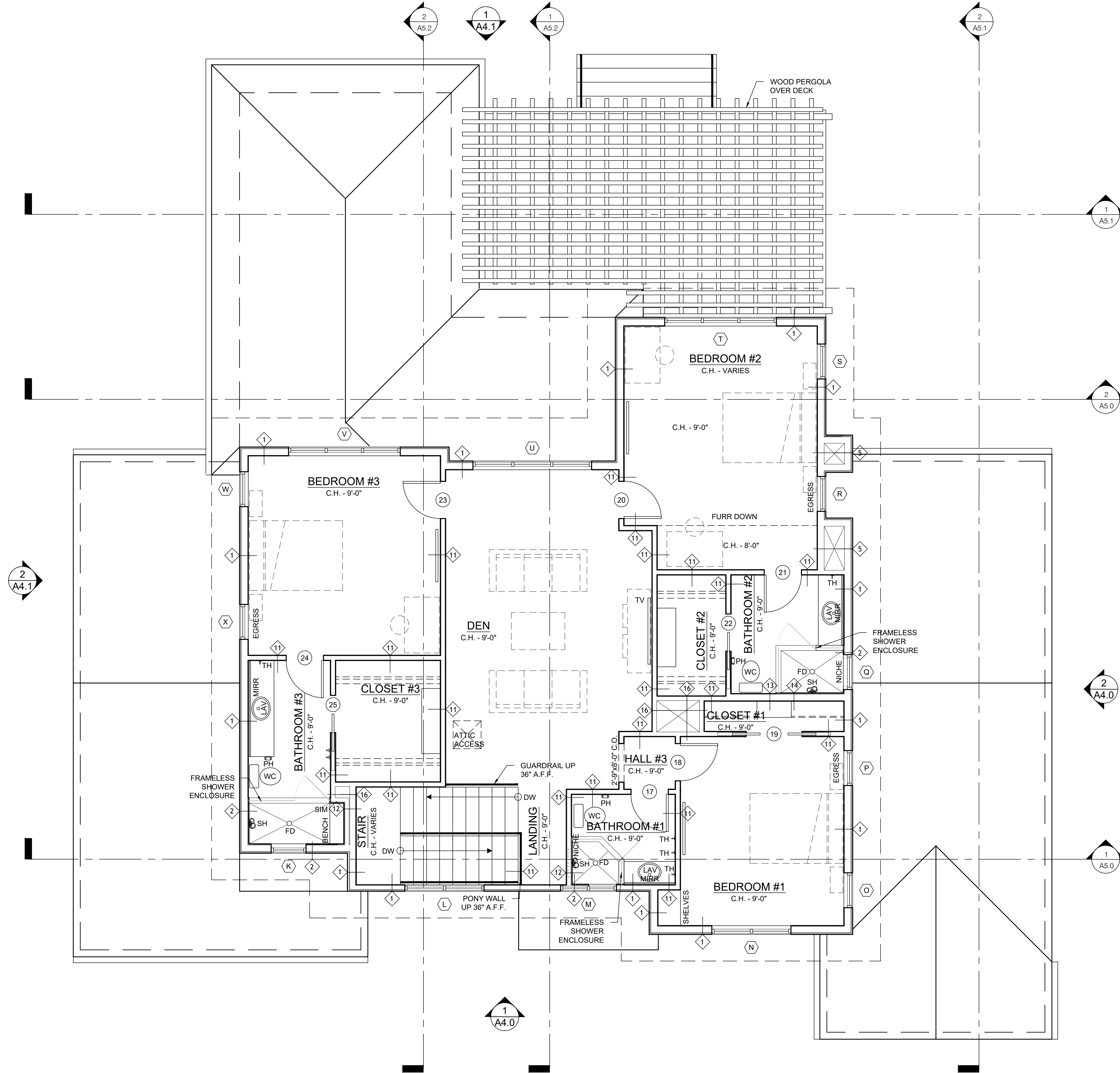
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PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. (SEE ELECTRICAL PLAN)

PLAN LEGEND

 NEW CONSTRUCTION LOCATION



SECOND FLOOR PLAN - NOTES

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



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3806 Meandering Creek Cv
Austin TX 78746

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2ND FLOOR PLAN - NOTES

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A3.2

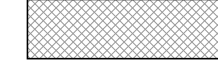
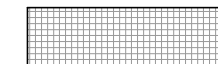


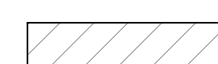
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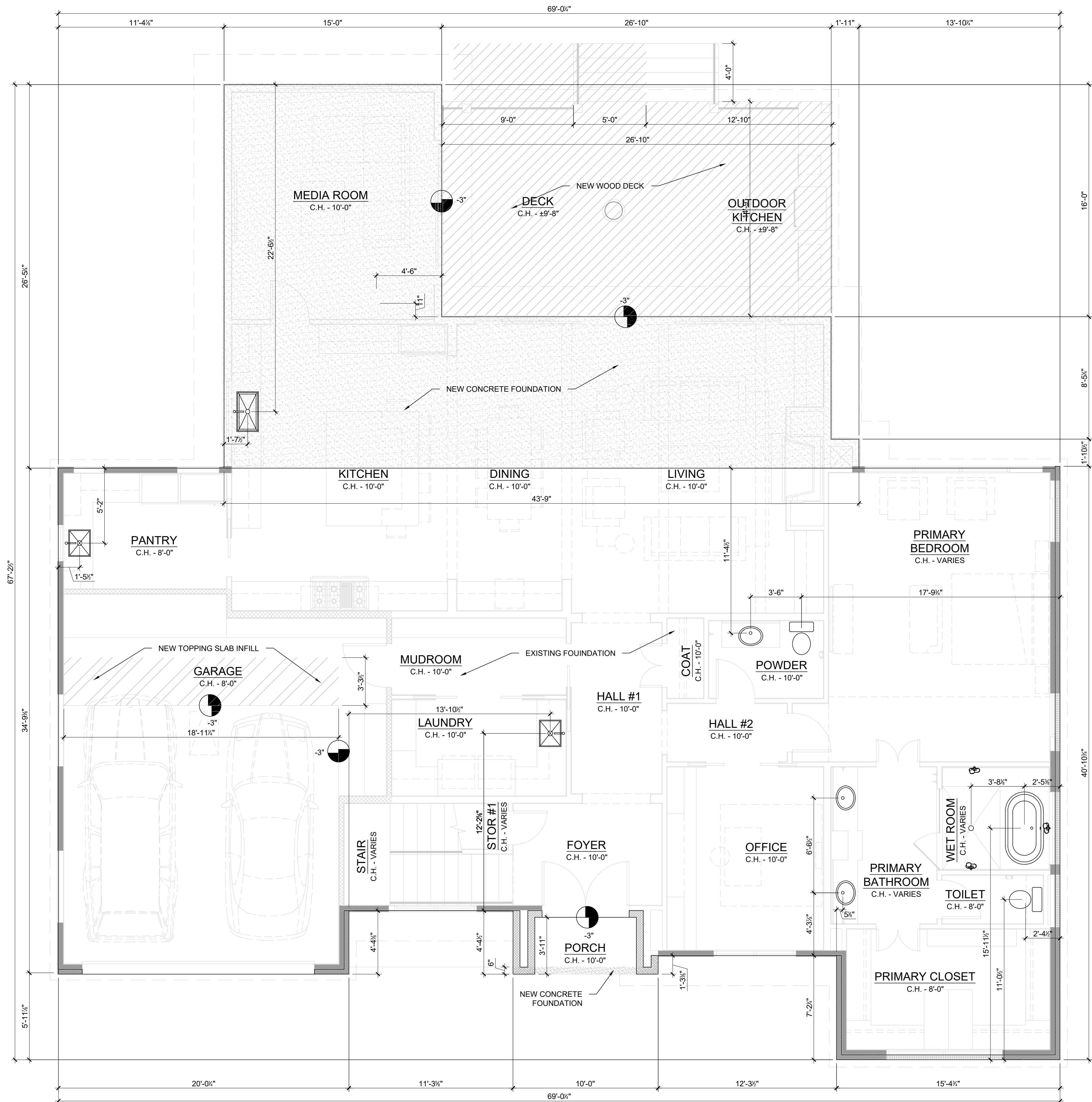
GENERAL NOTES:

DIMENSIONS ARE FROM EDGE OF SLAB TO CENTER OF FIXTURE.

ALL PENETRATIONS SHALL FALL WITHIN WALLS, INSIDE CHASES, OR AT FIXTURE. FIELD VERIFY SLAB PENETRATIONS.

LEGEND:

-  NEW MASONRY LUG
-  EXISTING MASONRY LUG LOCATION
-  NEW CONCRETE FOUNDATION
-  NEW TOPPING SLAB
-  NEW WOOD DECK



EDGE OF SLAB PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

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Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
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EDGE OF SLAB PLAN

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GENERAL ROOF NOTES:

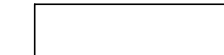


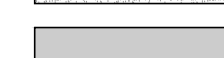

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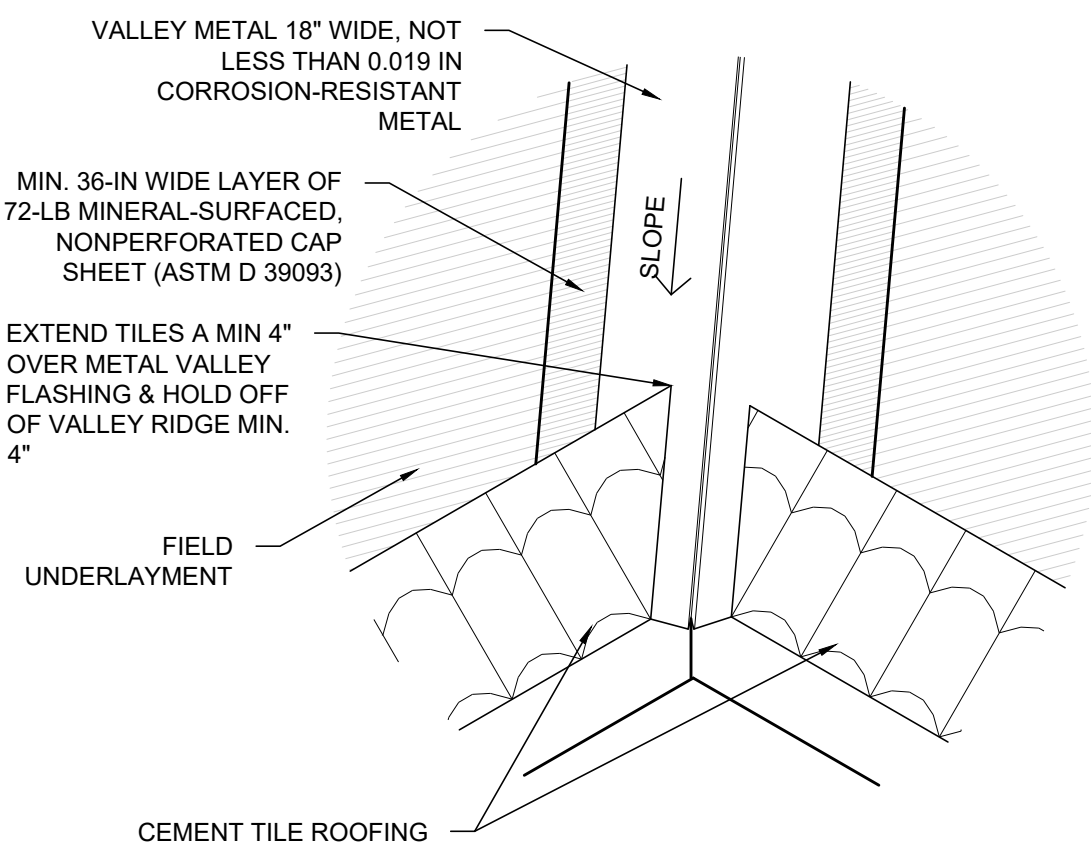
ALL VENTILATION OPENINGS, INCLUDING BUT NOT LIMITED TO ATTIC VENTS, UNDERFLOOR VENTS OR ANY VENT IN THE EXTERIOR WALLS, SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION RESISTANT MESH W/ OPENINGS THAT ARE 1/8" (3.3 MM) OR LESS OR MUST BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION INTO THE STRUCTURE. (EXCLUDING DRYER VENTS AND PLUMBING STACKS)

GUTTERS & DOWNSPOUTS WILL BE CONSTRUCTED OF NONCOMBUSTIBLE METAL MATERIAL AND PROVIDED WITH NONCOMBUSTIBLE, CORROSION RESISTANT METAL GUARDS AS A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS

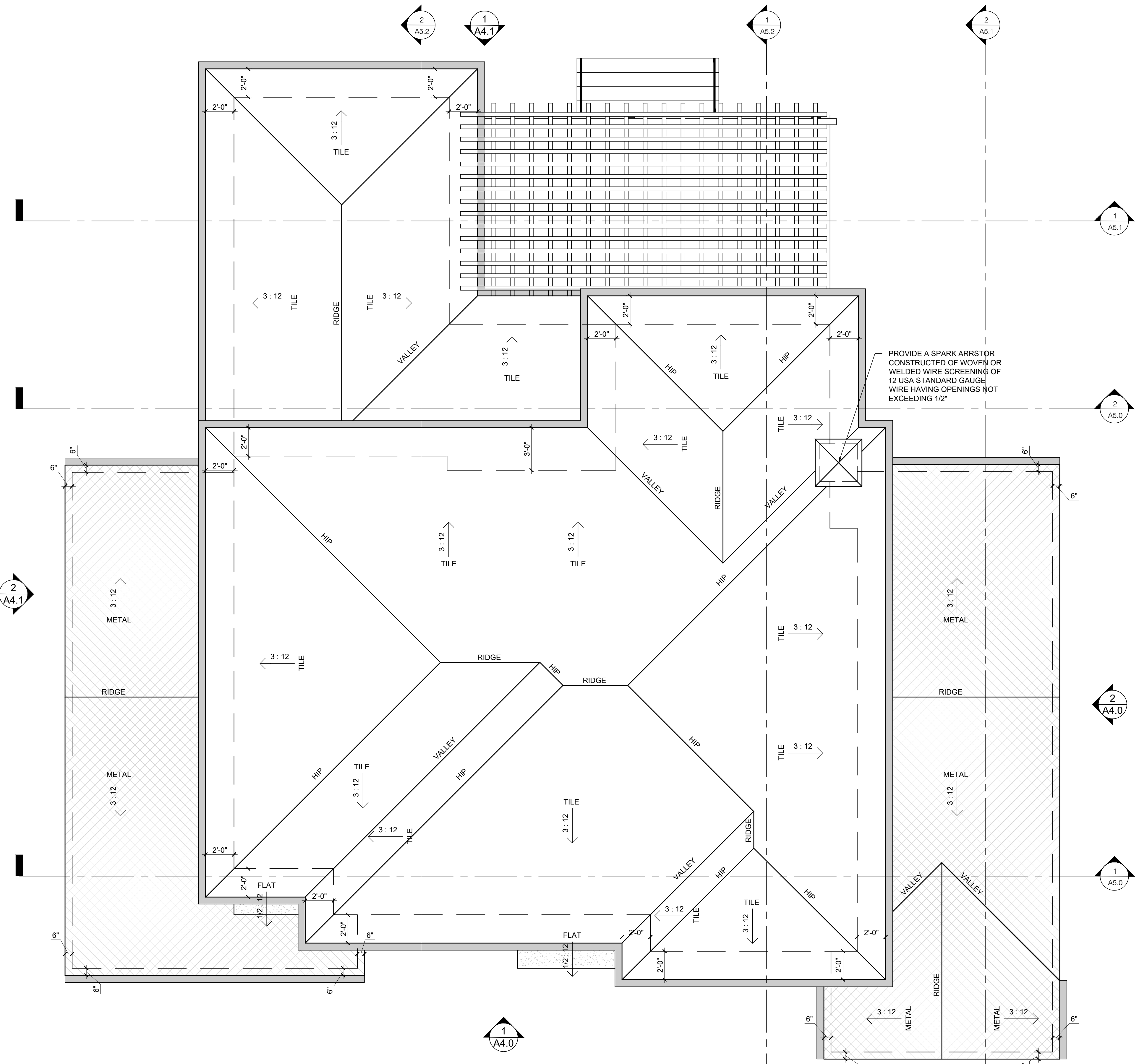
VALLEYS SHALL BE FLASHED ACCORDING DETAIL BELOW.

ROOF LEGEND

-  NEW CEMENT ROOF TILES
-  NEW LOW SLOPE STANDING SEAM ROOF
-  NEW FLAT SINGLE PLY ROOF
-  NEW GUTTER LOCATIONS
-  WALL OUTLINE



VALLEY FLASHING DETAIL (NTS)
1) CEMENT TILE SHOULD NOT BE FASTENED THROUGH METAL VALLEY FLASHING



ROOF PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



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ROOF PLAN

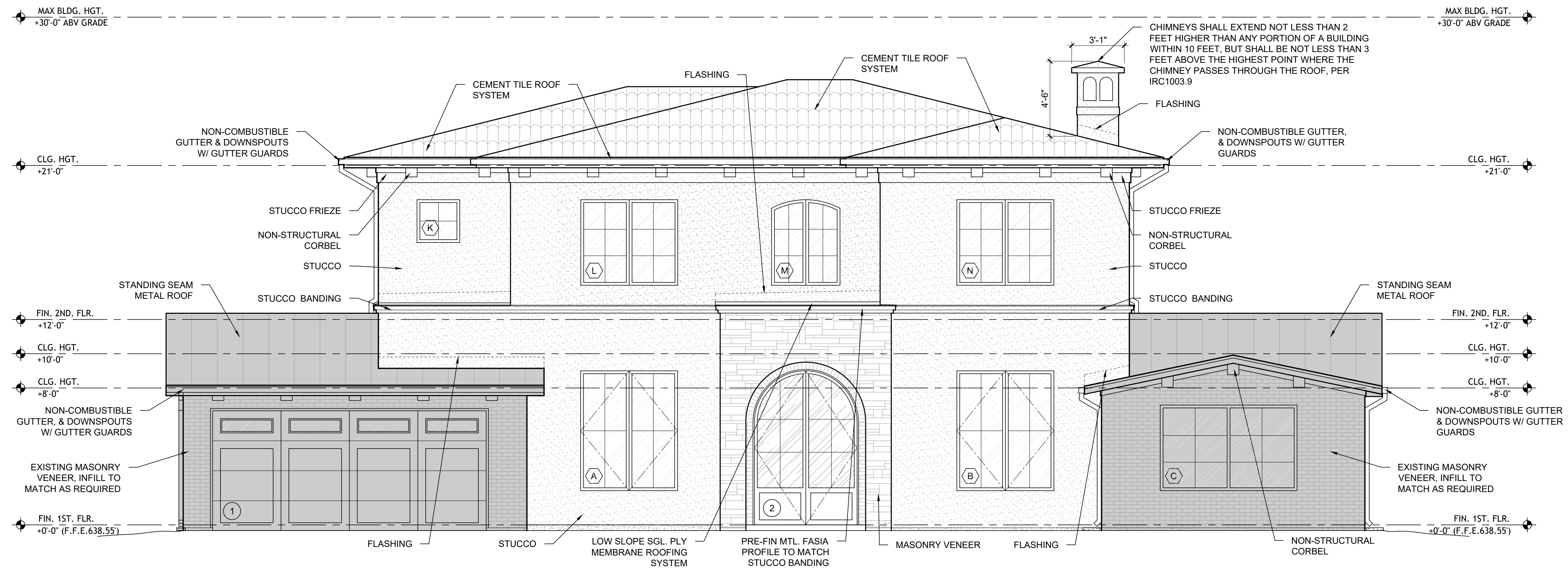
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EXTERIOR ELEVATION LEGEND

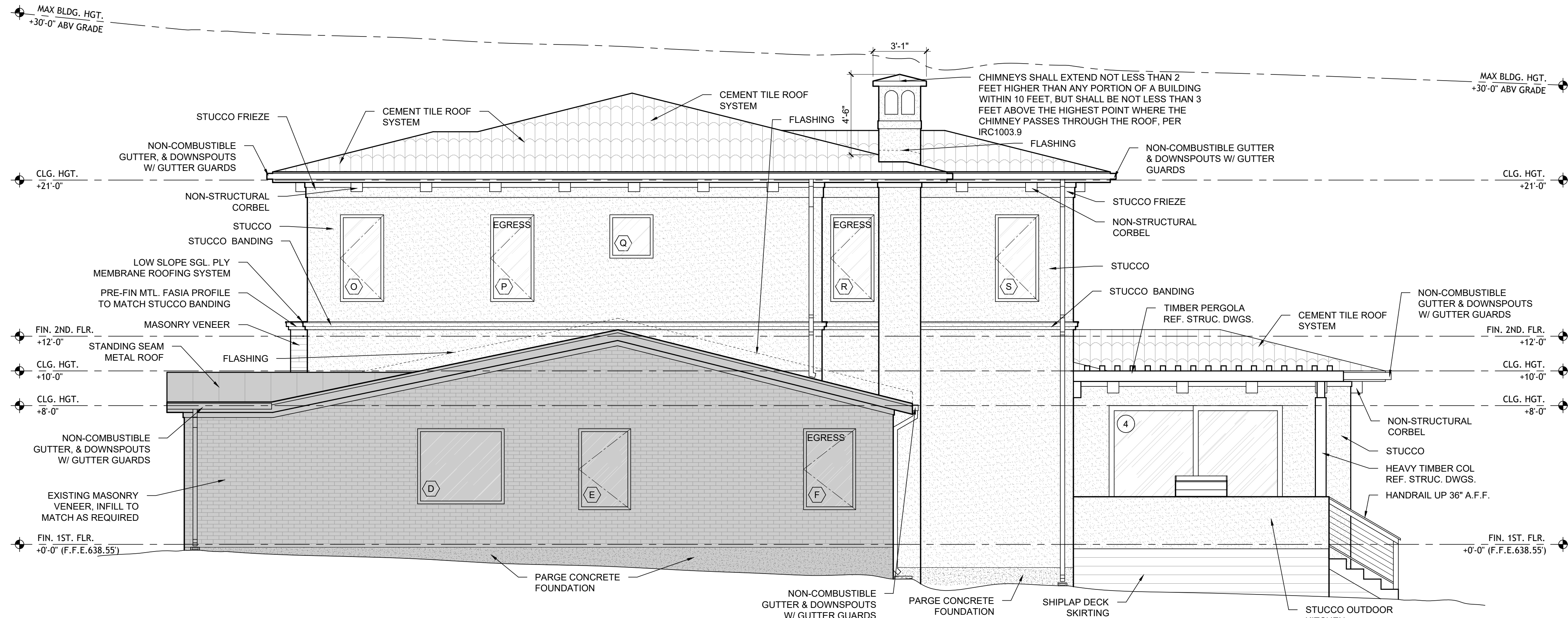
EXISTING CONSTRUCTION TO REMAIN, PROTECT AS REQUIRED, INFILL TO MATCH EXISTING



EXTERIOR ELEVATION

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1



EXTERIOR ELEVATION

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

2

Revisions By

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Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
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EXTERIOR ELEVATIONS

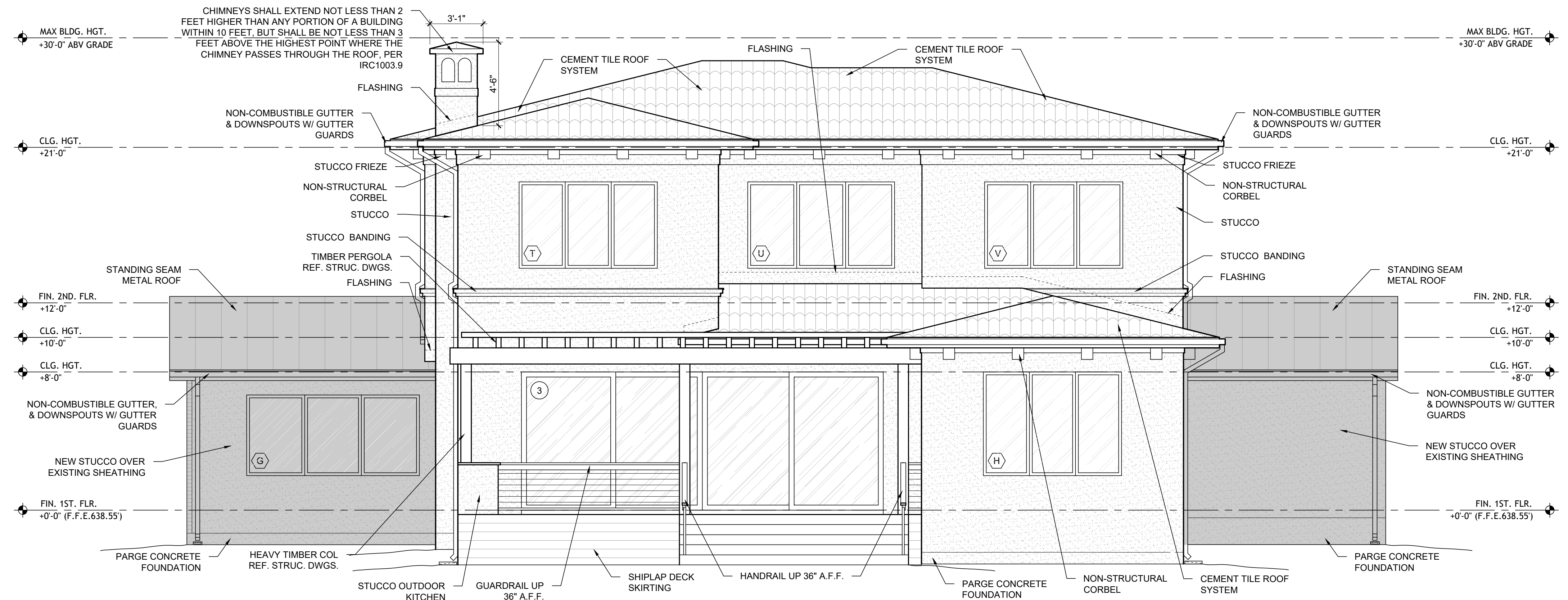
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EXTERIOR ELEVATION LEGEND

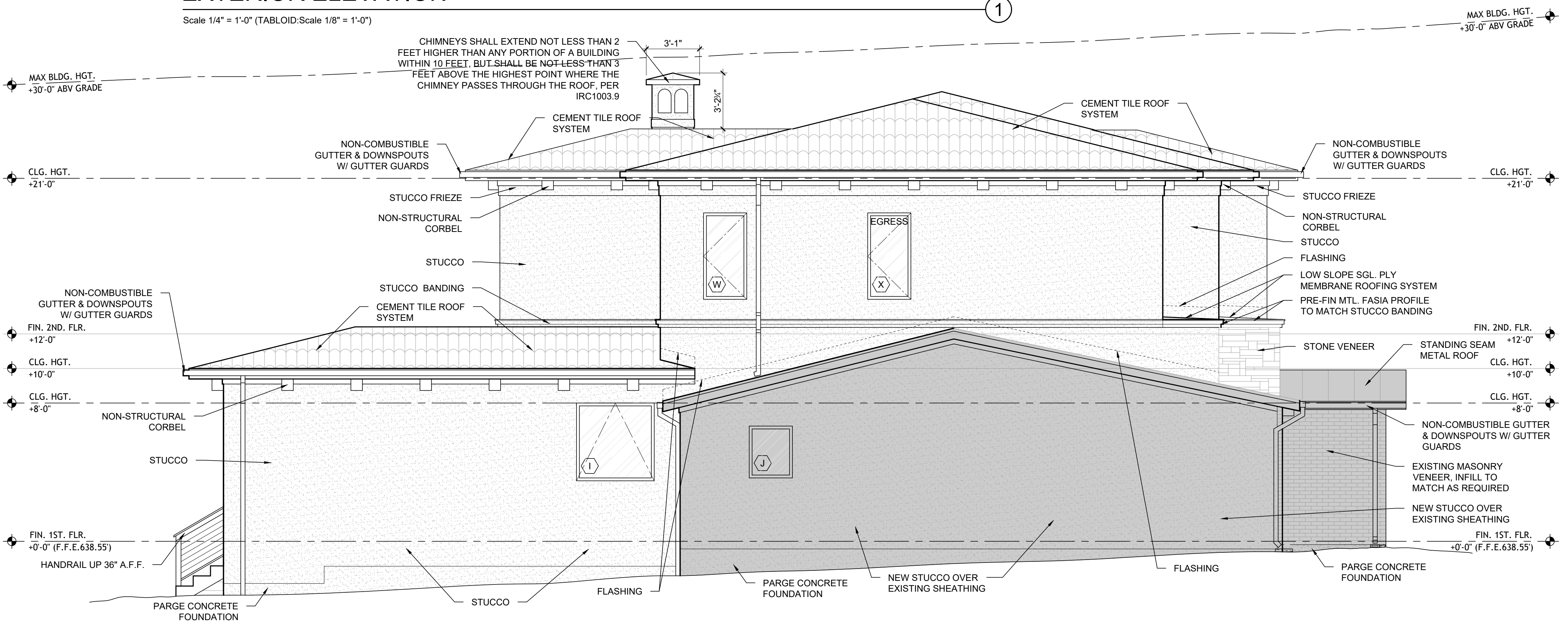
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EXTERIOR ELEVATION

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EXTERIOR ELEVATIONS

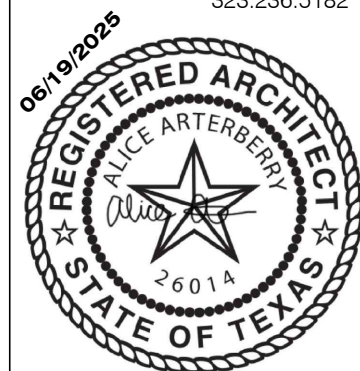
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A4.1

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Austin, TX 78703
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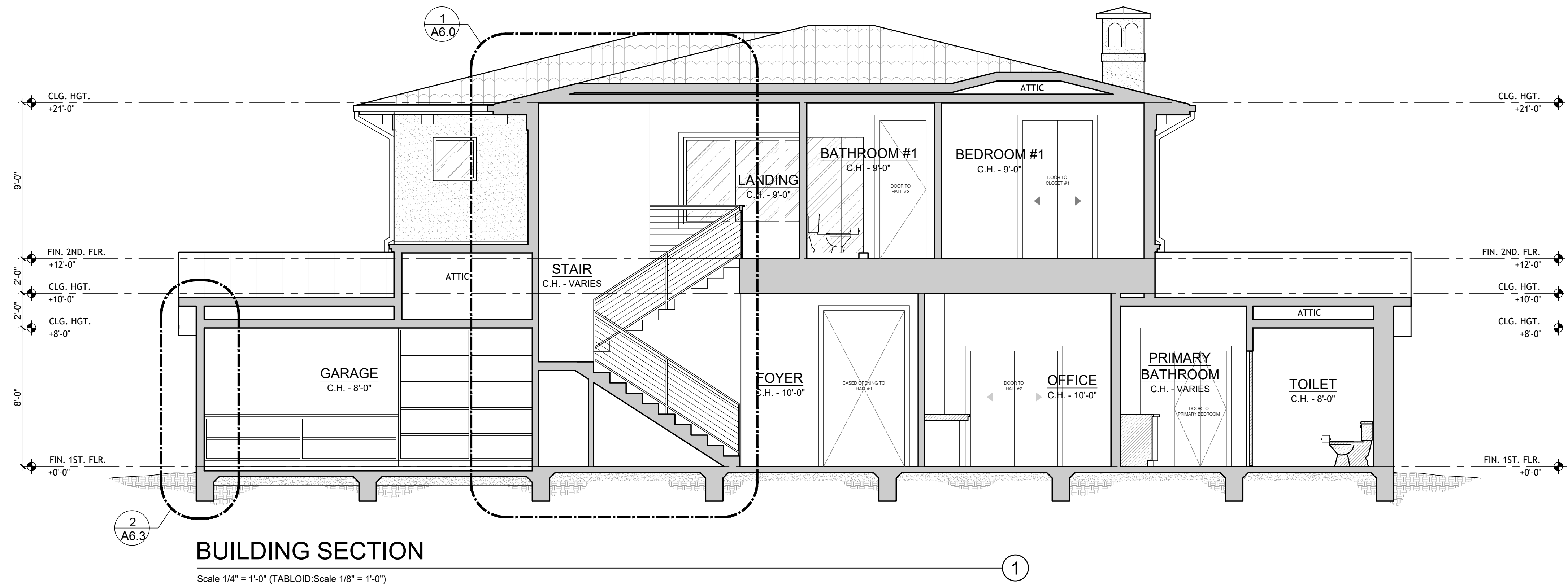
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BUILDING SECTIONS

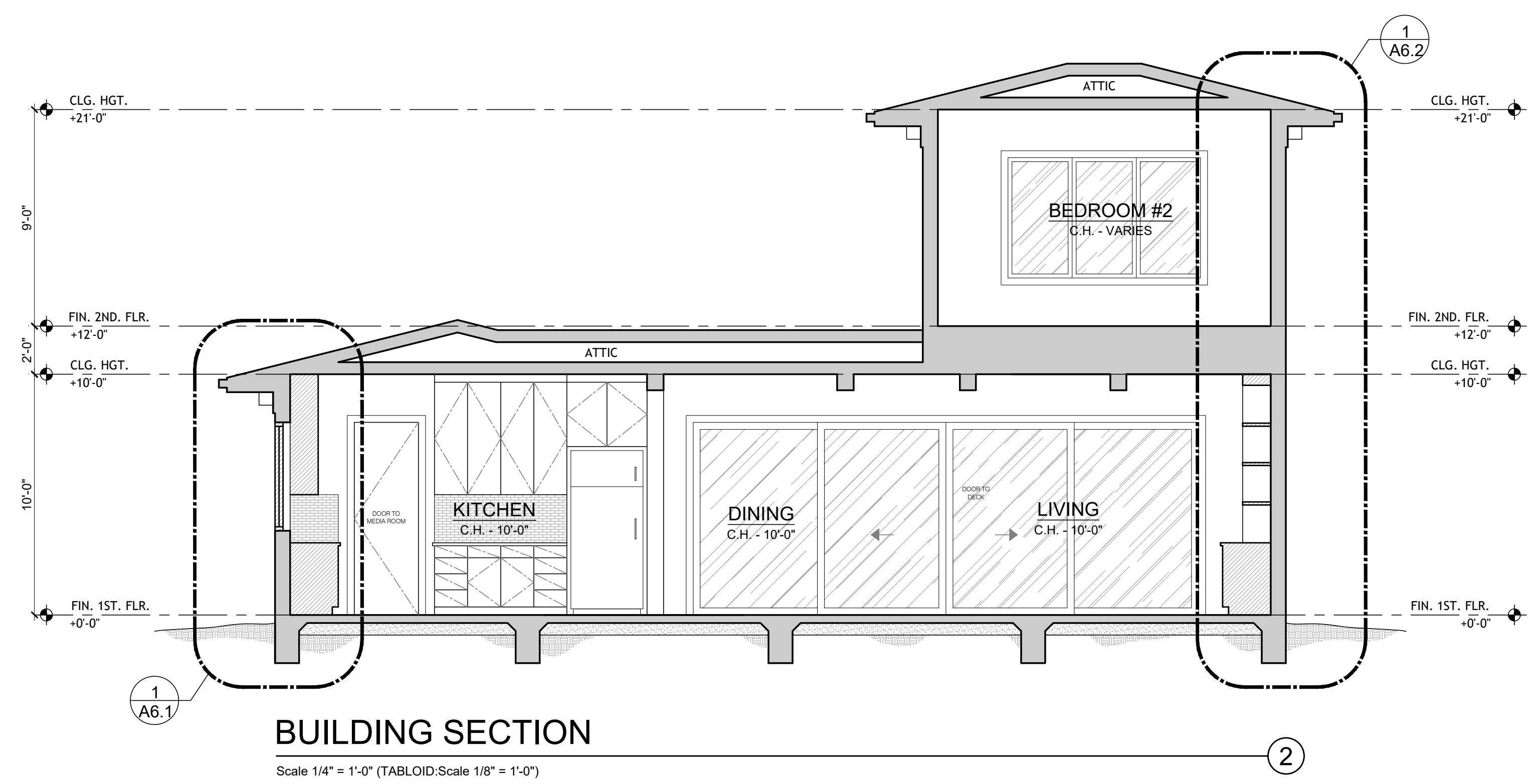
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A5.0



BUILDING SECTION

Scale 1/4" = 1'-0" (TABLOID:Scale 1/8" = 1'-0")



BUILDING SECTION

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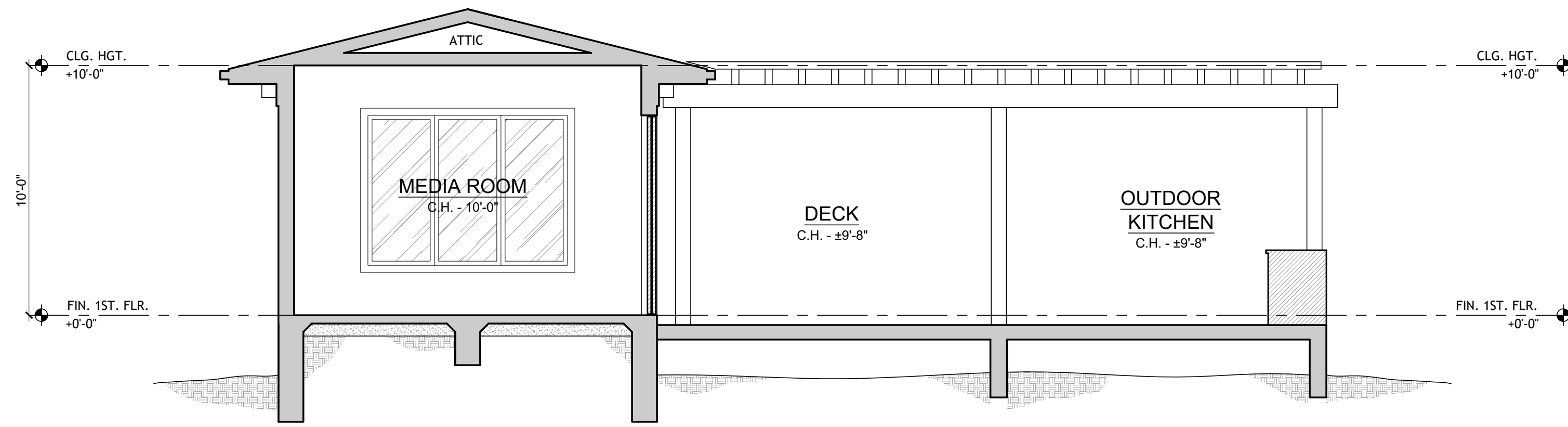
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BUILDING SECTIONS

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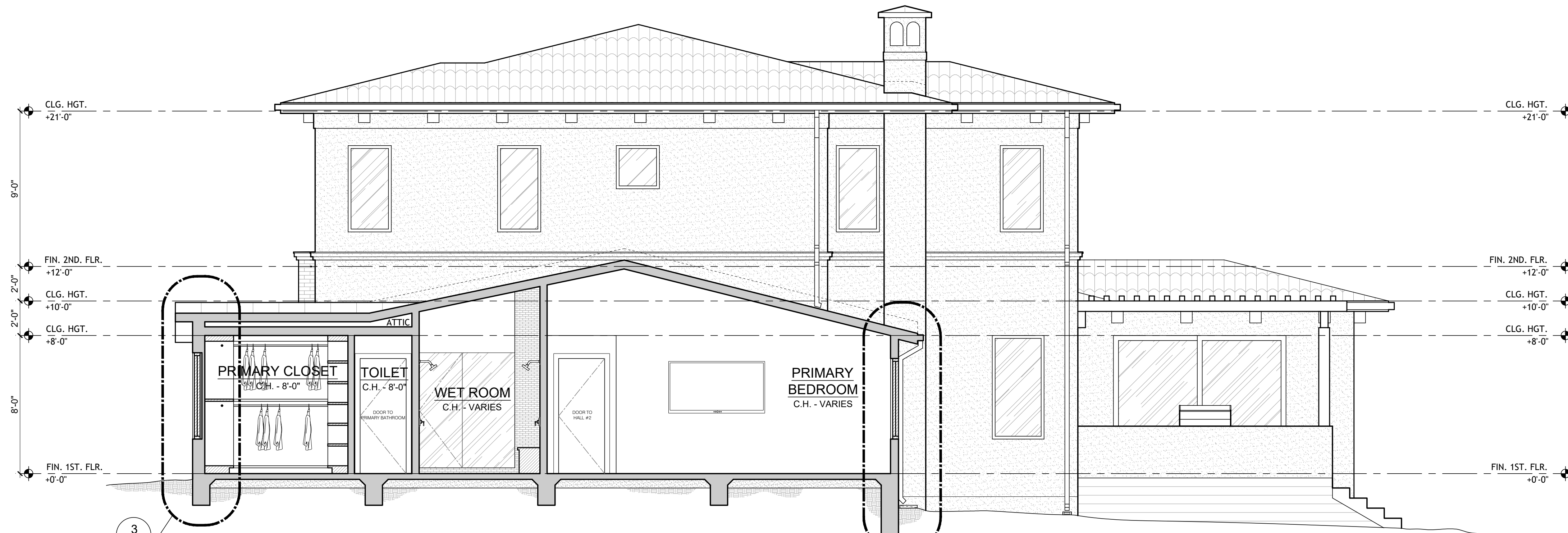
A5.1



BUILDING SECTION

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1



BUILDING SECTION

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

2

3
A6.3

2
A6.1

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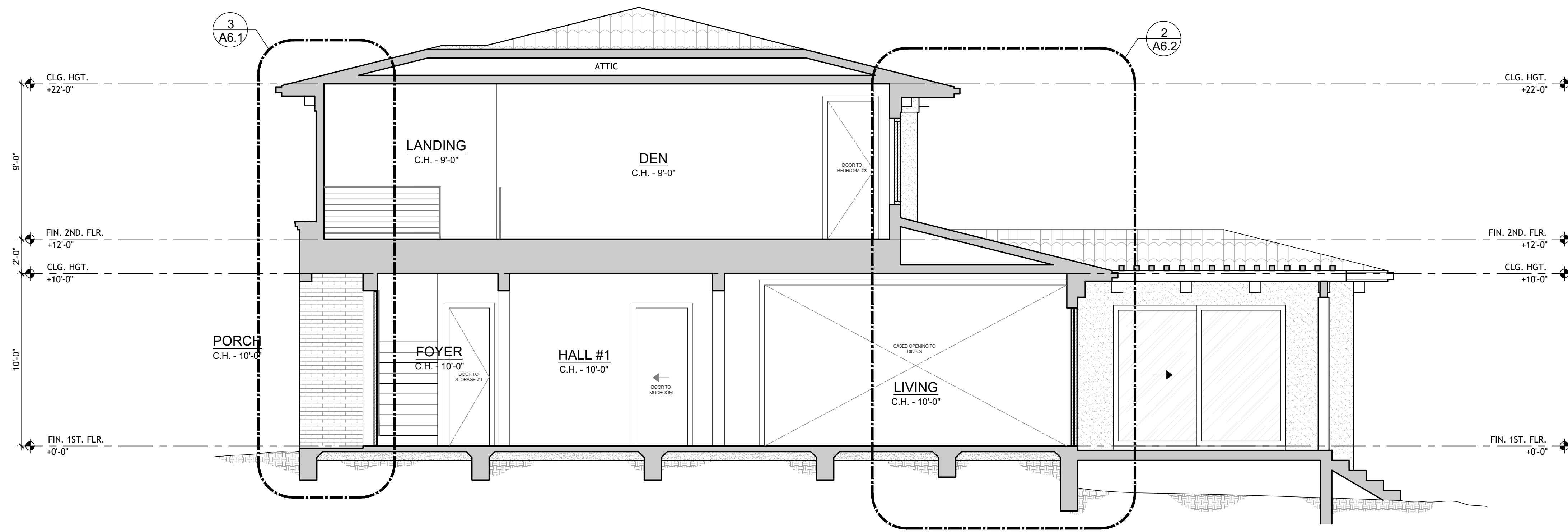


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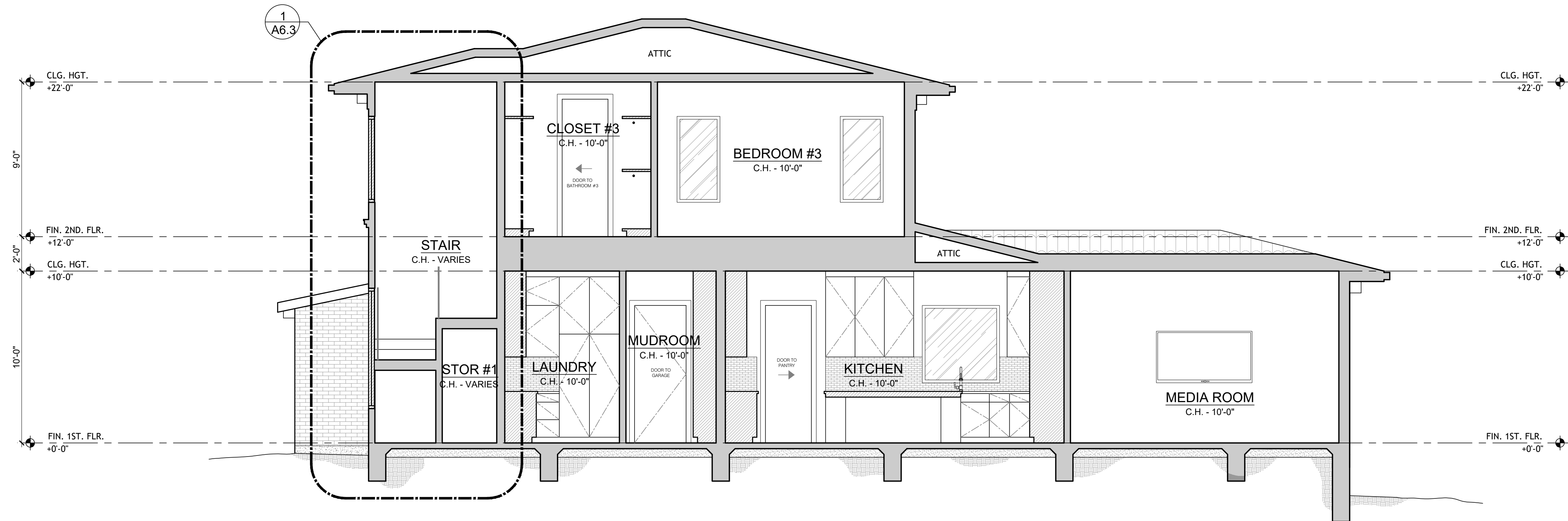
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BUILDING SECTION

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1



BUILDING SECTION

Scale 1/4" = 1'-0" (TABLOID:Scale 1/8" = 1'-0")

2

BUILDING SECTIONS

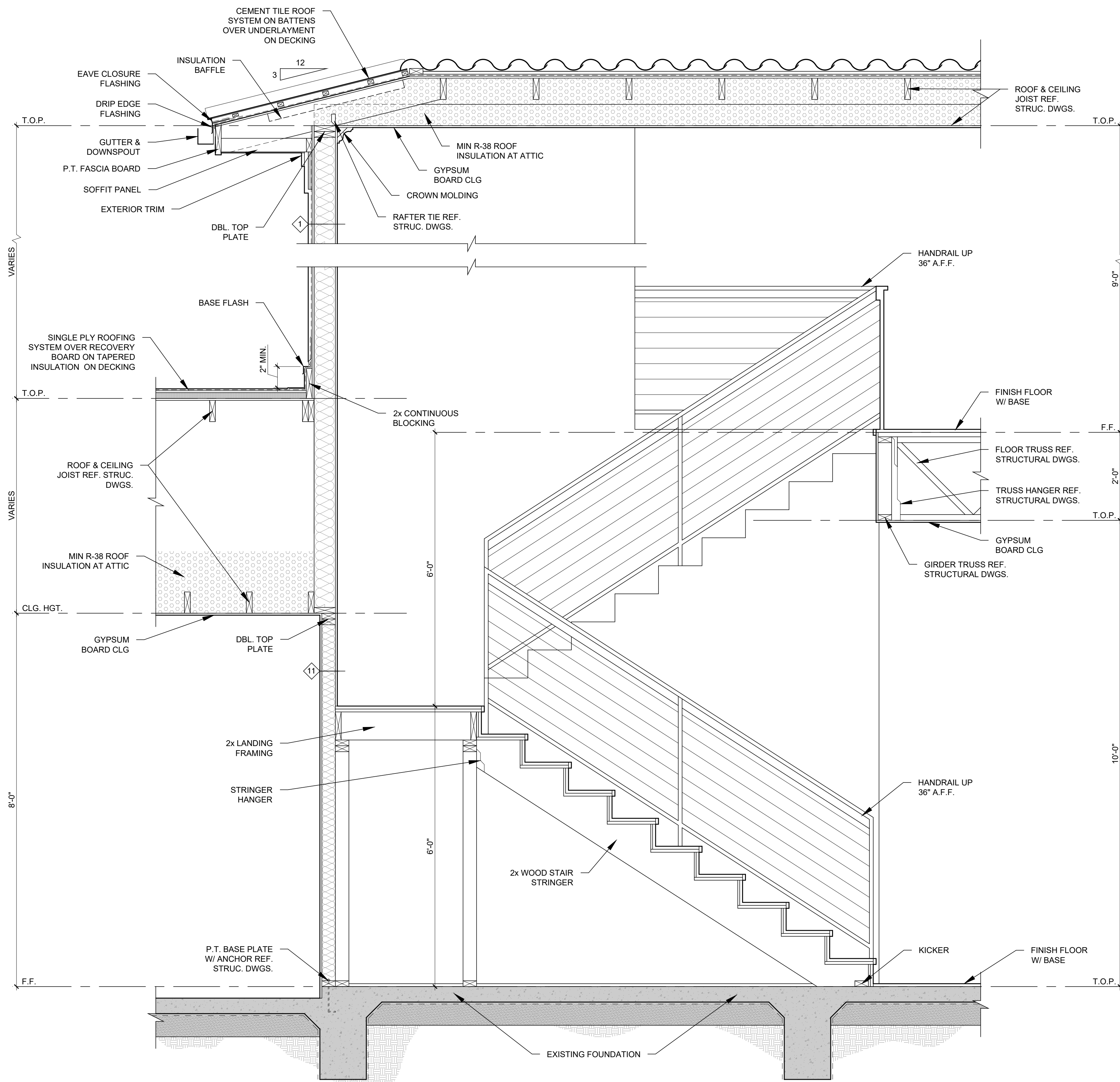
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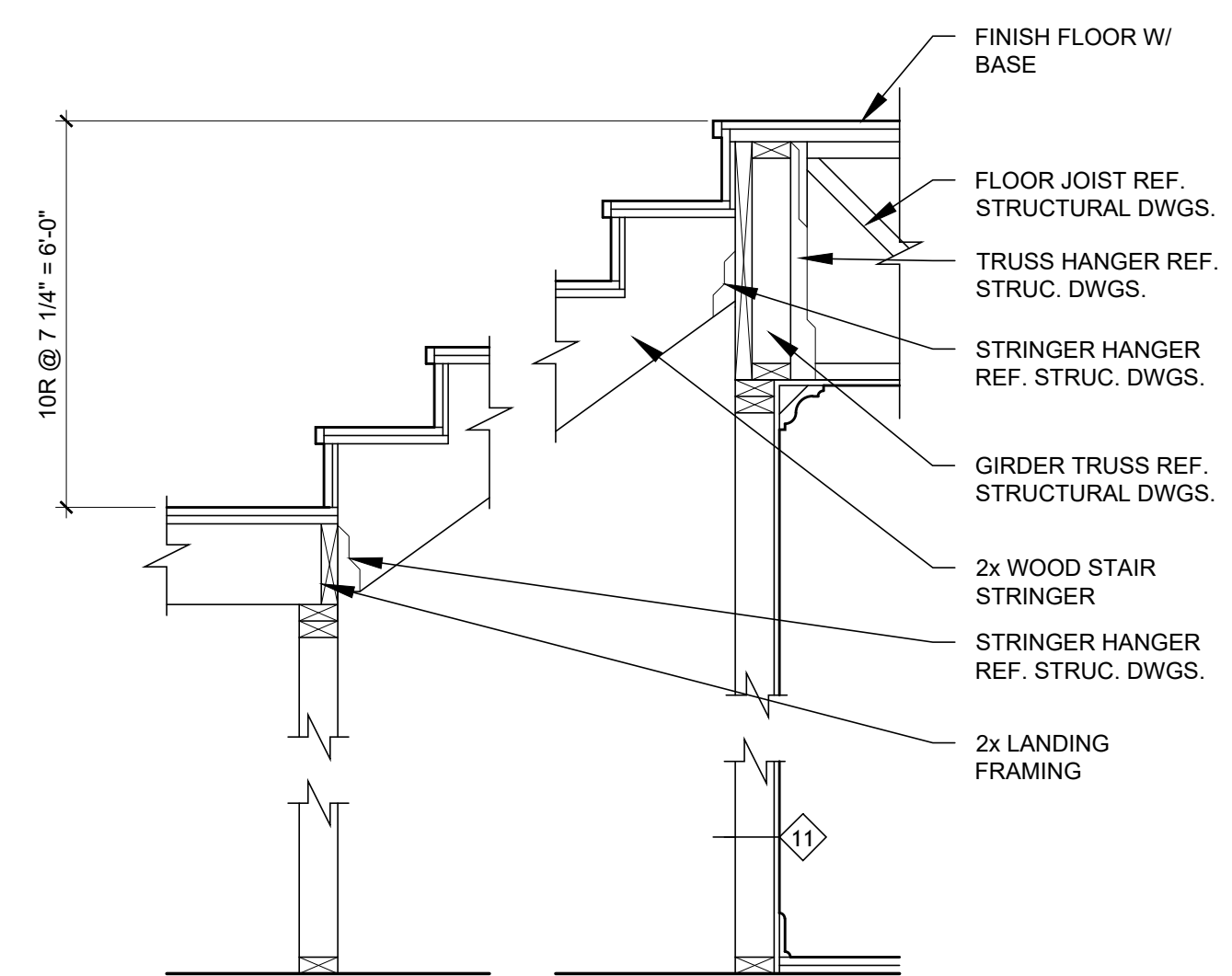
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WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

1



WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

2

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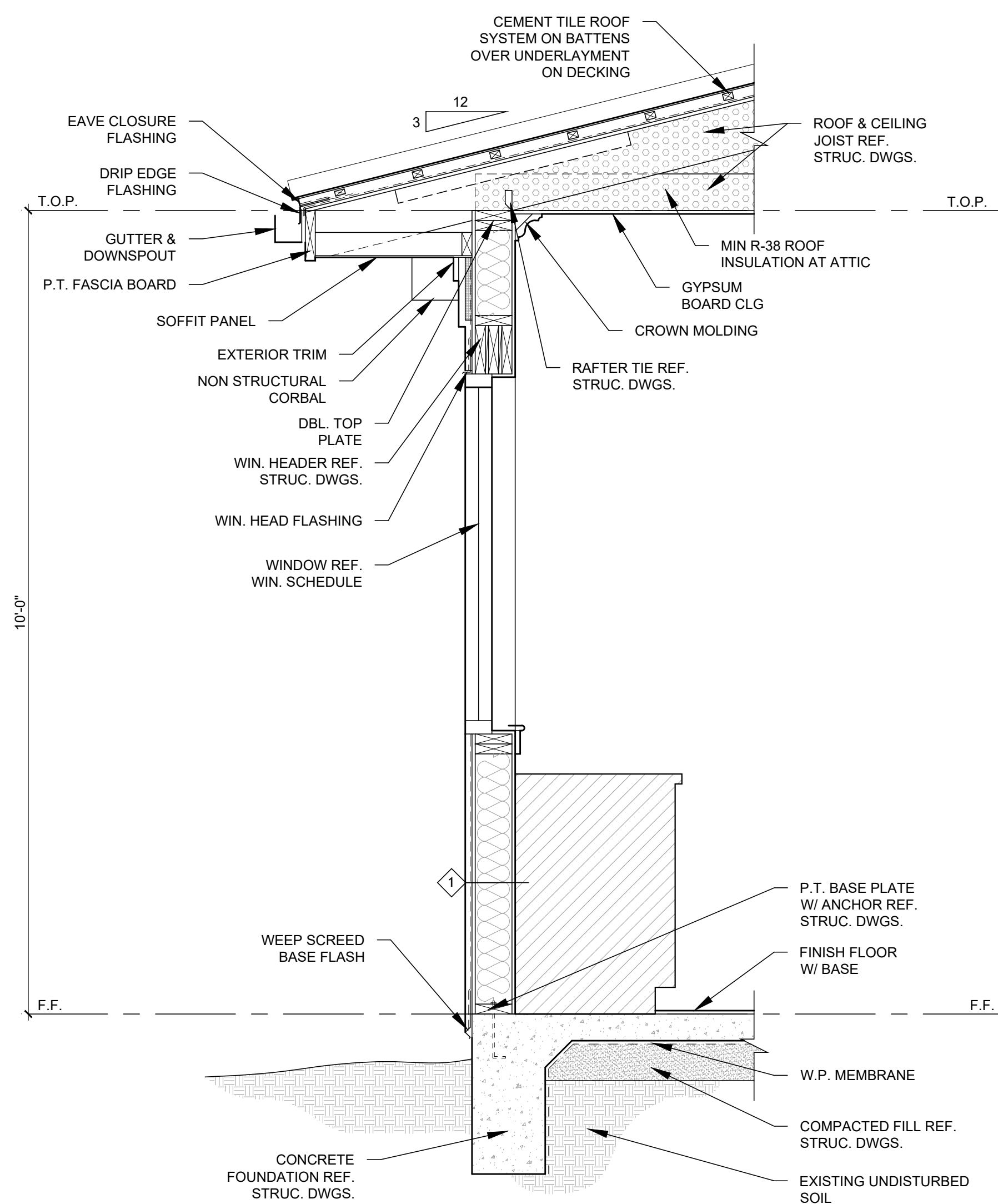
Contractor:
Captex Construction

WALL SECTIONS

drawn by: MJS
checked by: NS
scale: 3/4" = 1'-0"
first issue: 06/19/2025
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PERMIT SET

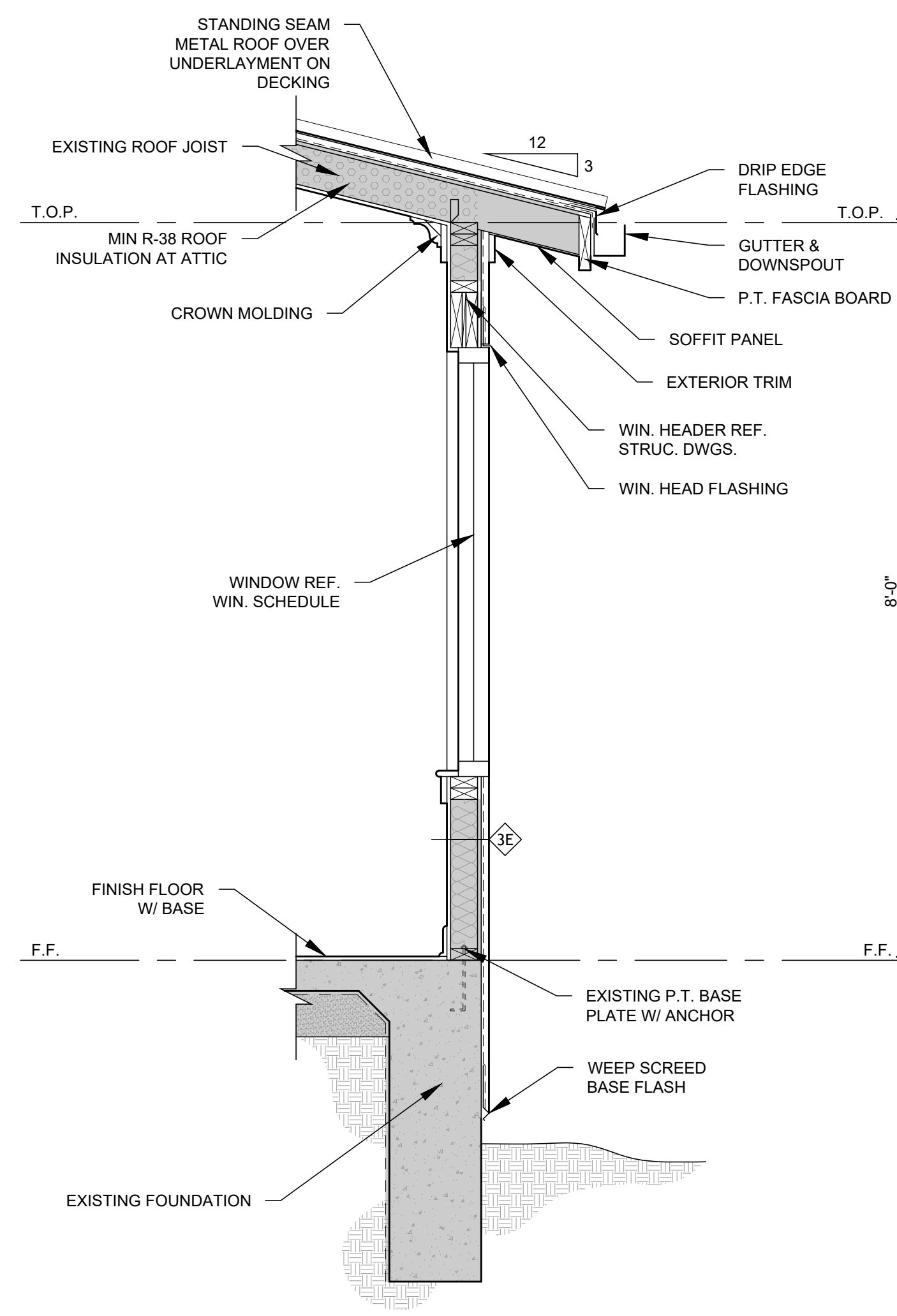
A6.0



WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

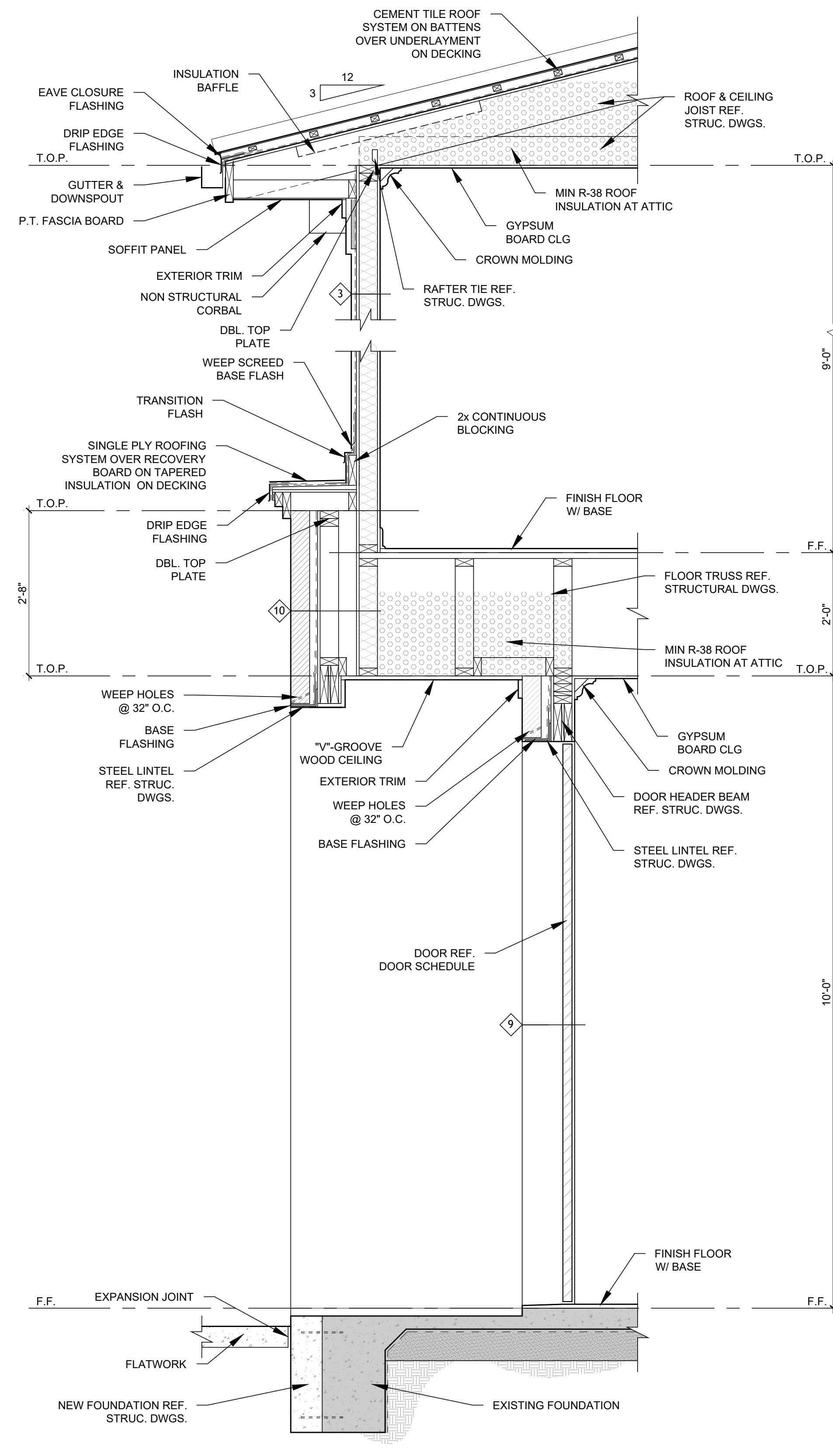
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WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

2



WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

3

Revisions	By

ARTERBERRY COOKE architecture



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
Austin TX 78746

Project Address:
419 Ridgewood Rd
West Lake Hills 78746

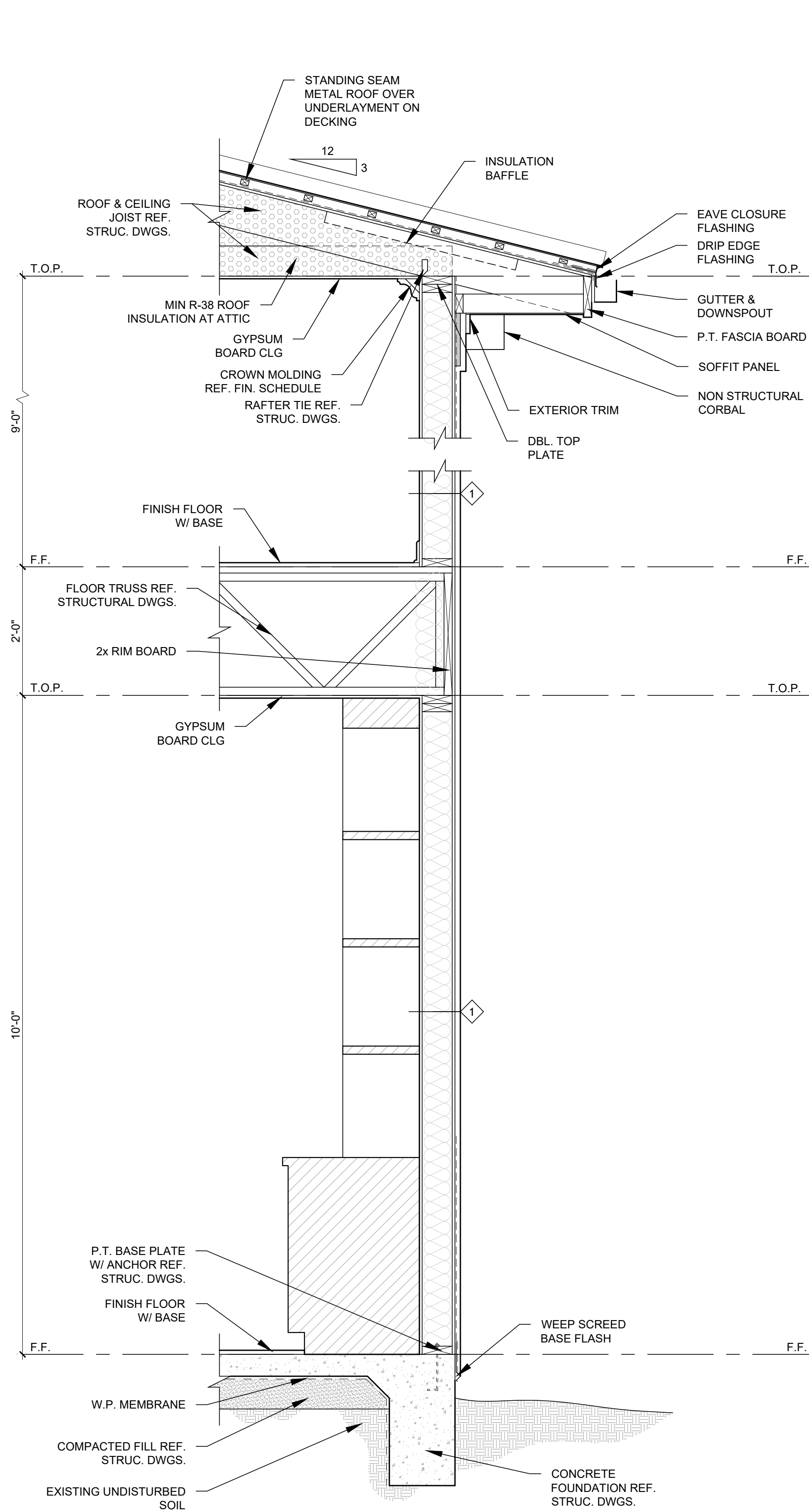
Contractor:
Captex Construction

WALL SECTIONS

drawn by: MJS
checked by: NS
scale: 3/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

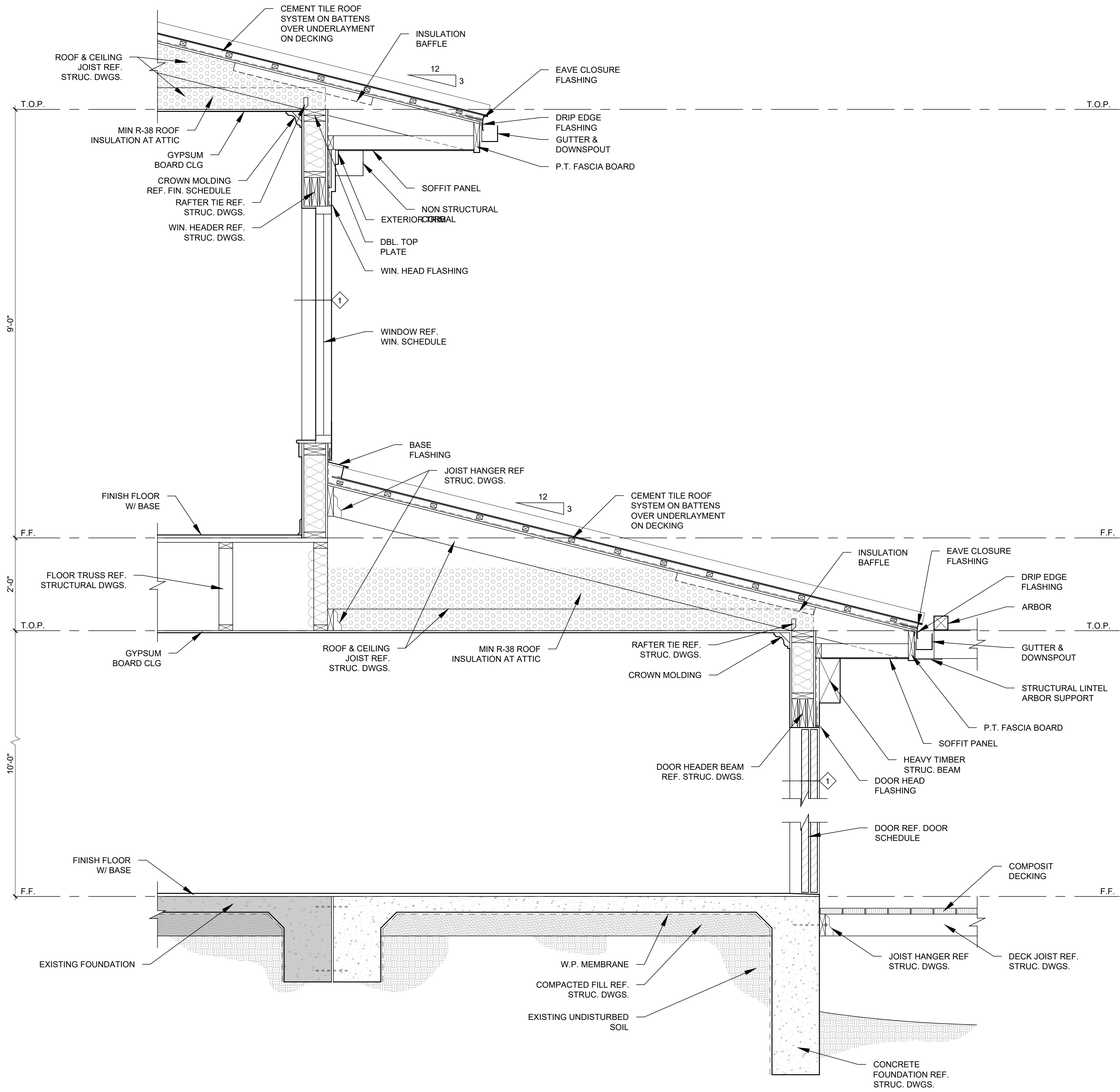
A6.1



WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

1



WALL SECTION

Scale 3/4" = 1'-0" (TABLOID: Scale 3/8" = 1'-0")

2

Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



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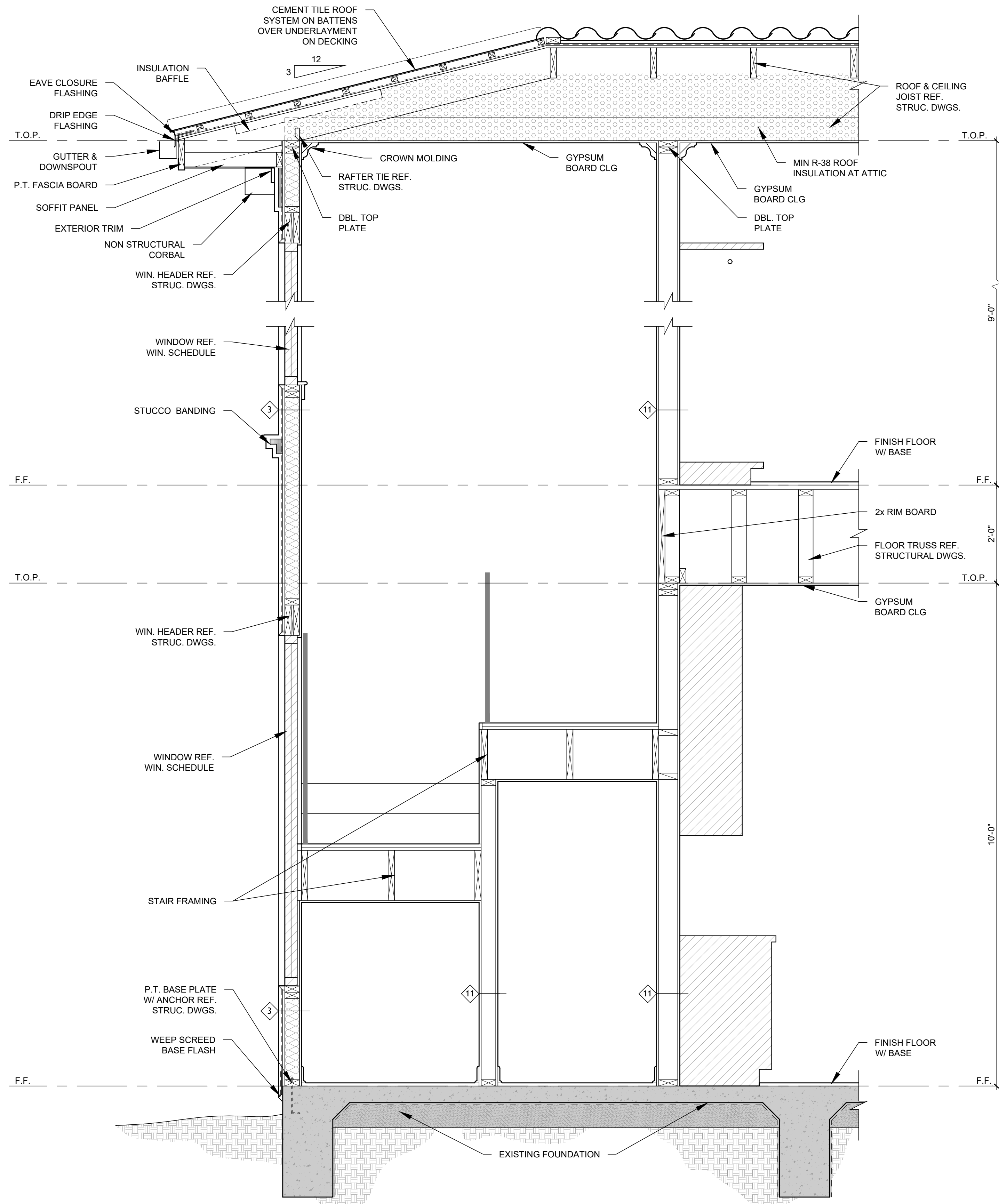
WALL SECTIONS

drawn by: MJS
checked by: NS
scale: 3/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

A6.2

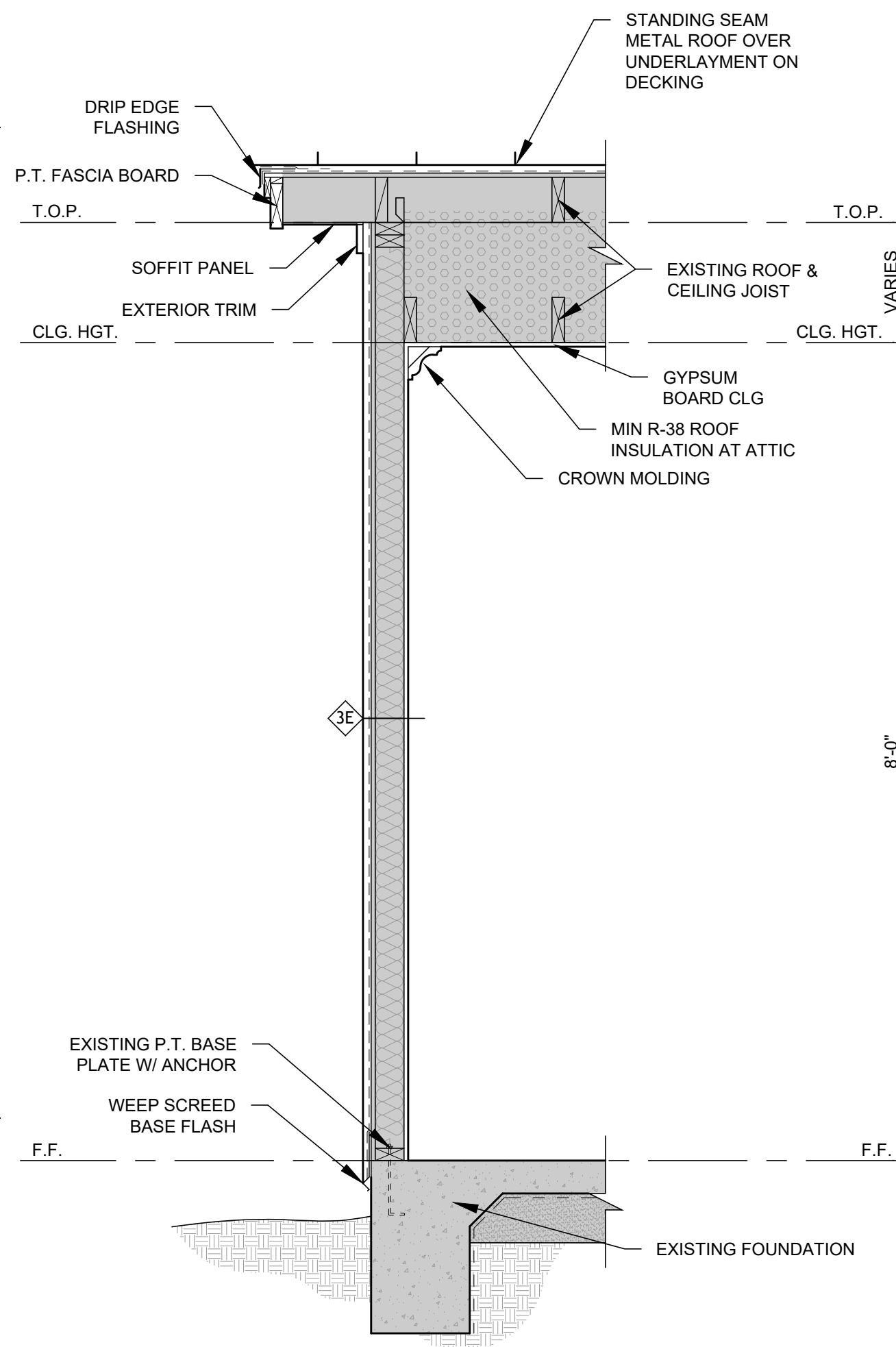
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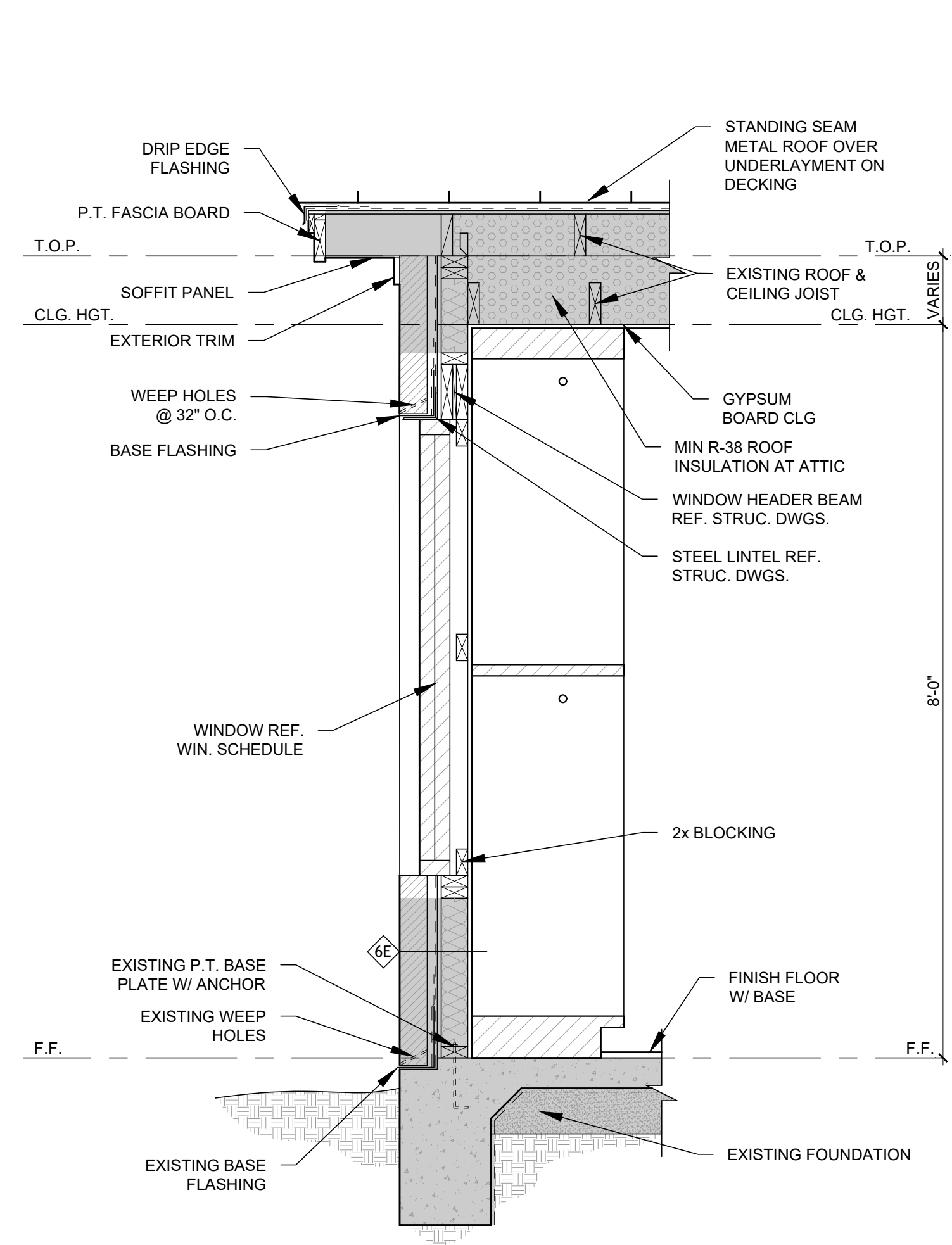
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WALL SECTION

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PERMIT SET

A6.3

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- TELEPHONE OR DATA FLOOR OUTLET, USE CAT6 CABLE
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- FOUR-WAY SWITCH
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- TIMER SWITCH
- SMOKE AND CARBON MONOXIDE DETECTOR/ALARM
- NOTE: SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING, SHALL BE INTERCONNECTED AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL.
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- CEILING-MOUNTED LIGHT FIXTURE
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- HEAVY CEILING-MOUNTED PENDANT LIGHT FIXTURE (BLOCKING REQ'D)
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- 4" RECESSED CAN LIGHT FIXTURE - WET LOCATION (MUST SUPPORT LED LIGHTS)
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- THROUGH-WALL VENT FAN
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- ELECTRIC PANEL
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LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE TOP OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION.

OUTLETS MUST BE A MINIMUM OF 15 INCHES ABOVE THE FLOOR. THIS MEASUREMENT IS FROM THE BOTTOM OF THE DEVICE OR BOX TO THE UNFINISHED FLOOR AT ROUGH INSPECTION. FLOOR OUTLETS ARE AN ACCEPTABLE ALTERNATIVE WHERE INSTALLATION OF COMPLIANT WALL OUTLETS IS NOT FEASIBLE.

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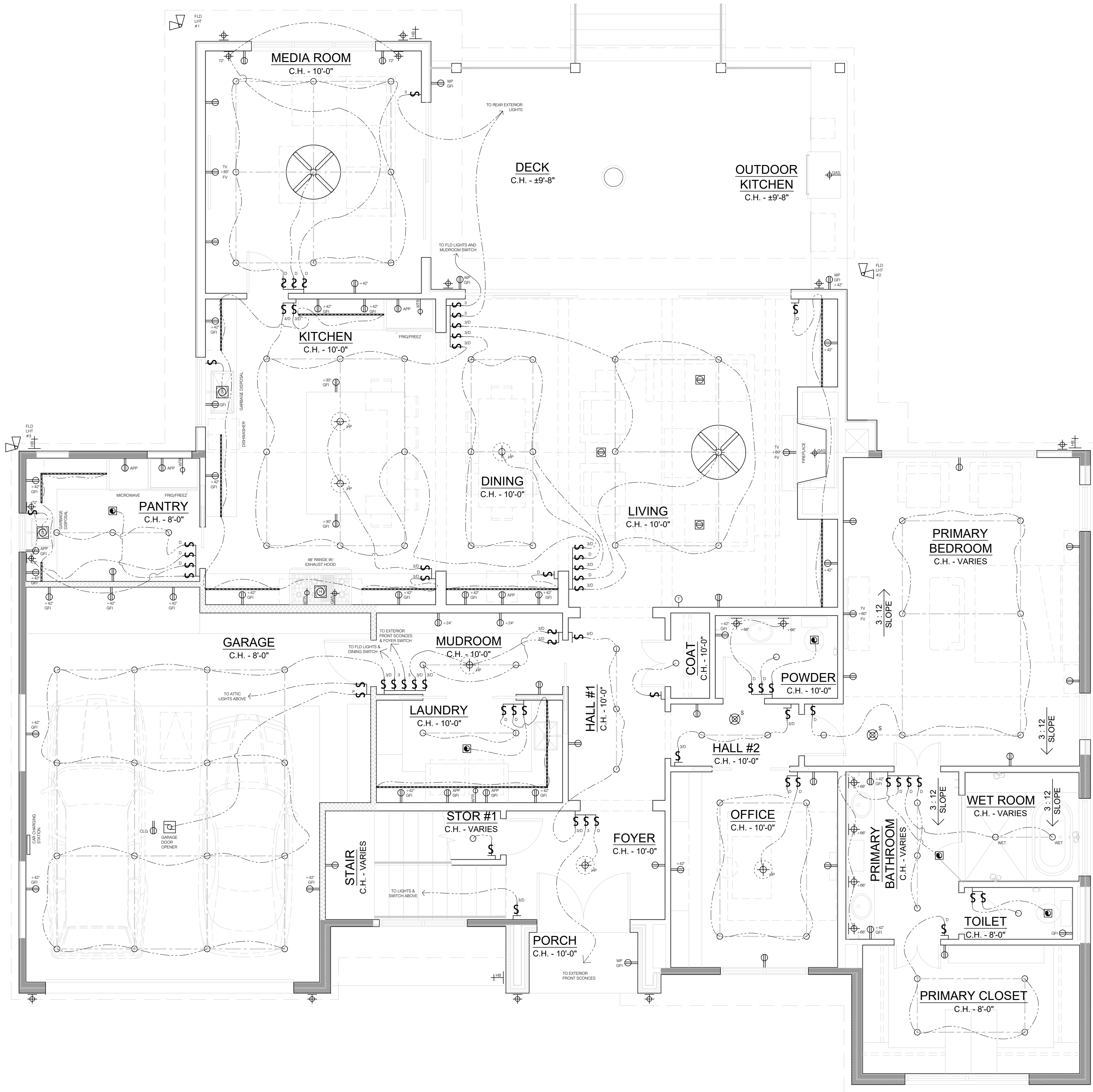
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FIRST FLOOR ELECTRICAL PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

Revisions	By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
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323.236.5182



Project Owner:
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Austin TX 78746

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Contractor:
Captex Construction

1ST FLOOR ELECTRICAL PLAN

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

E1.0

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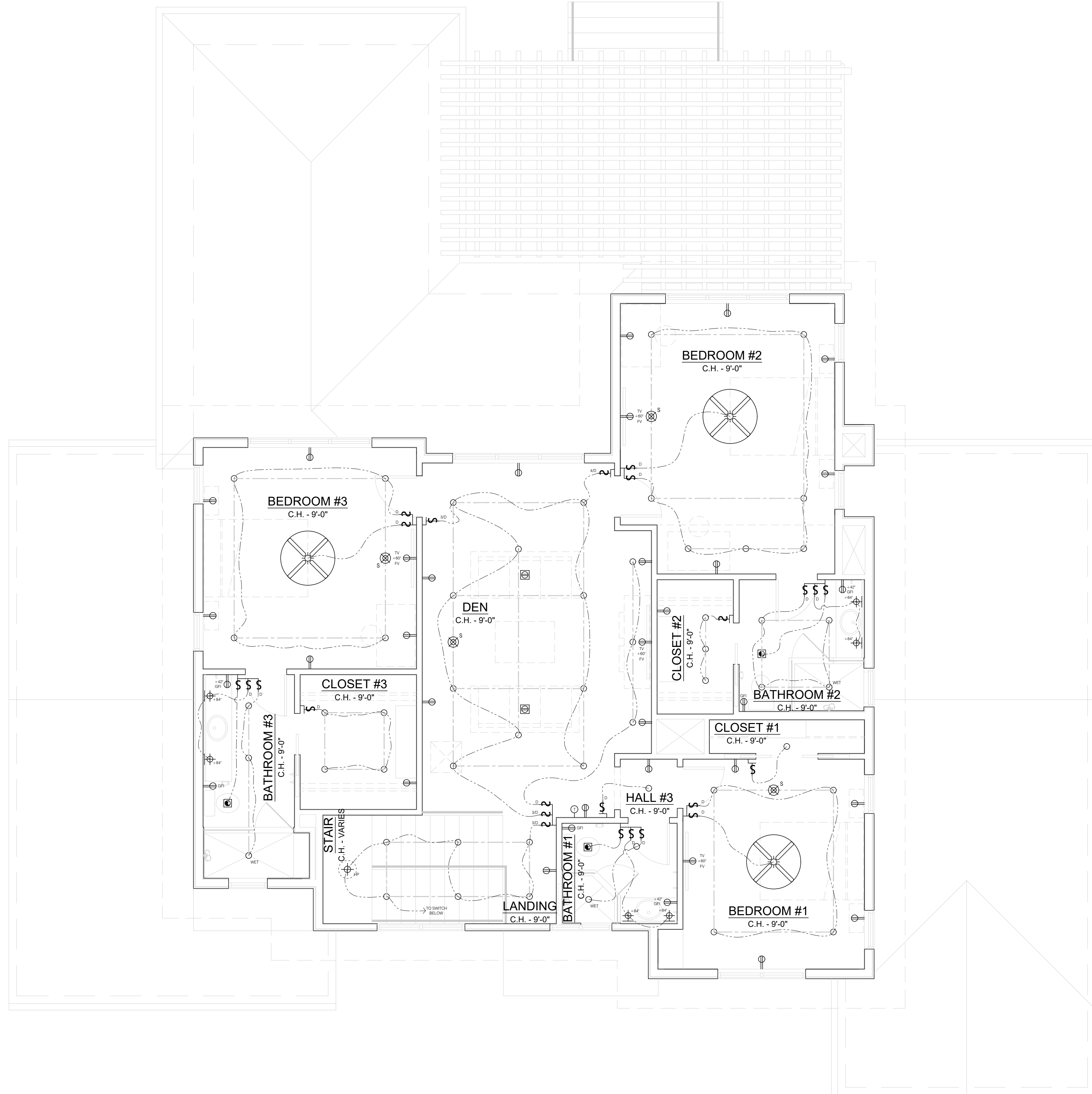
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SECOND FLOOR ELECTRICAL PLAN

Scale 1/4" = 1'-0" (TABLOID:Scale 1/8" = 1'-0")

1

Revisions By

ARTERBERRY COOKE architecture

Architect:
Alice Arterberry
3411 Windsor Rd
Austin, TX 78703
alice@arterberrycooke.com
323.236.5182



Project Owner:
Michelle and David Ewart
3806 Meandering Creek Cv
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Project Address:
419 Ridgewood Rd
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Contractor:
Captex Construction

2ND FLOOR ELECTRICAL PLAN

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
plot date: 06/19/2025

PERMIT SET

E1.1

LEGEND

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- ⊕ CEILING-MOUNTED PENDANT LIGHT FIXTURE
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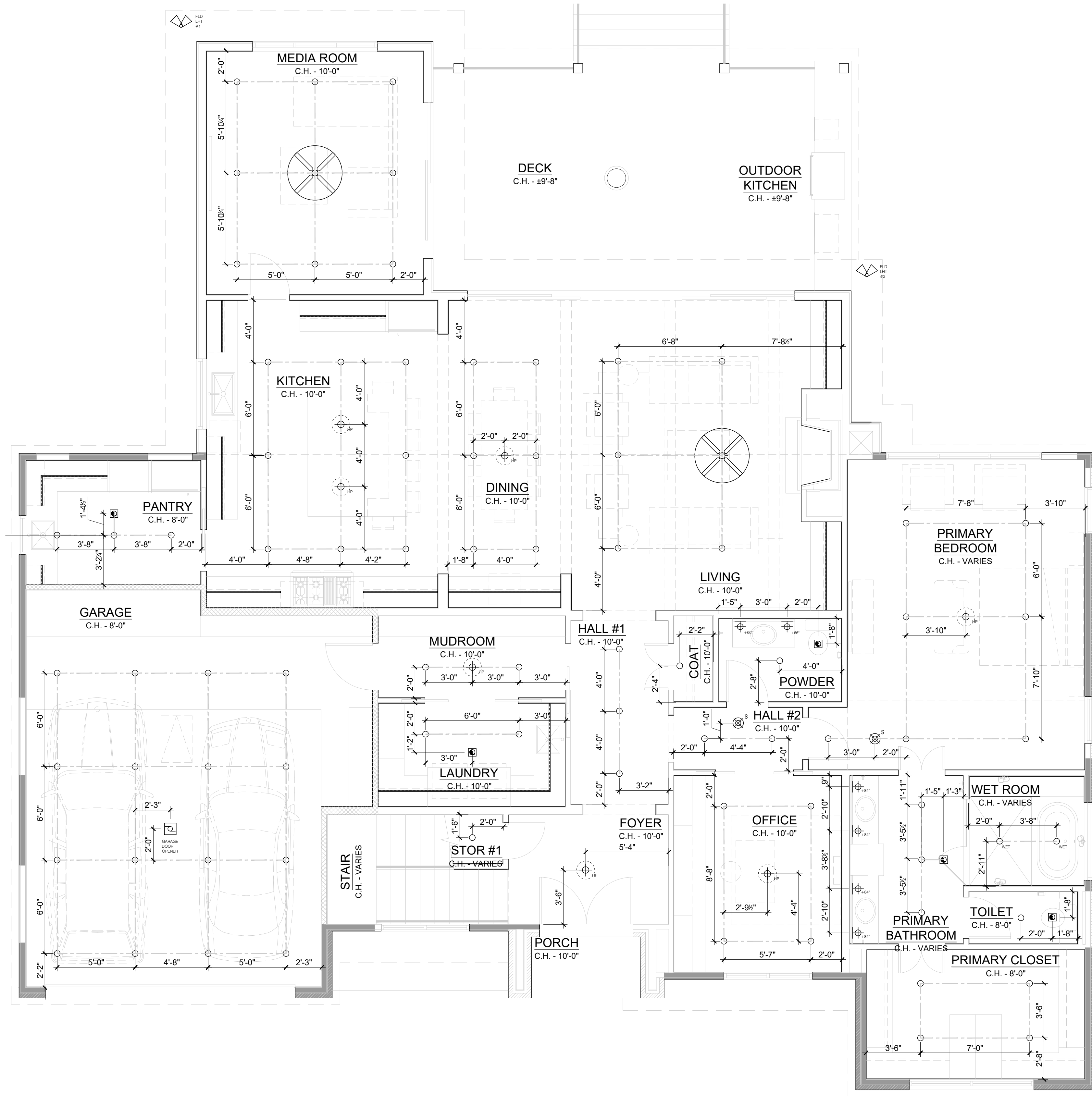
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DIMENSIONS ARE TO CENTERLINE OF FIXTURE TO CENTERLINE OF FIXTURE AND FROM FACE OF STUD FRAMING MEMBER TO CENTERLINE OF FIXTURE ON NEW CONSTRUCTION, AND FACE OF FINISH SURFACE TO CENTERLINE OF FIXTURE ON EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.

FIELD VERIFY WALL MOUNTED FIXTURE HEIGHT WITH FIXTURE SELECTION.

PROVIDE SOLID BLOCKING IN CEILING AT ALL CEILING FAN AND HEAVY PENDENT LIGHT LOCATIONS.

IF LIGHTING LAYOUT REQUIRES ALTERATION DUE TO CONFLICT OF GREATER THAN 12" NOTIFY ARCHITECT FOR NEW LIGHTING LAYOUT.



FIRST FLOOR REFLECTED CEILING PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

1

Revisions By

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1ST FLOOR REFLECTED CEILING PLAN

drawn by: MJS
checked by: NS
scale: 1/4" = 1'-0"
first issue: 06/19/2025
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PERMIT SET

E2.0

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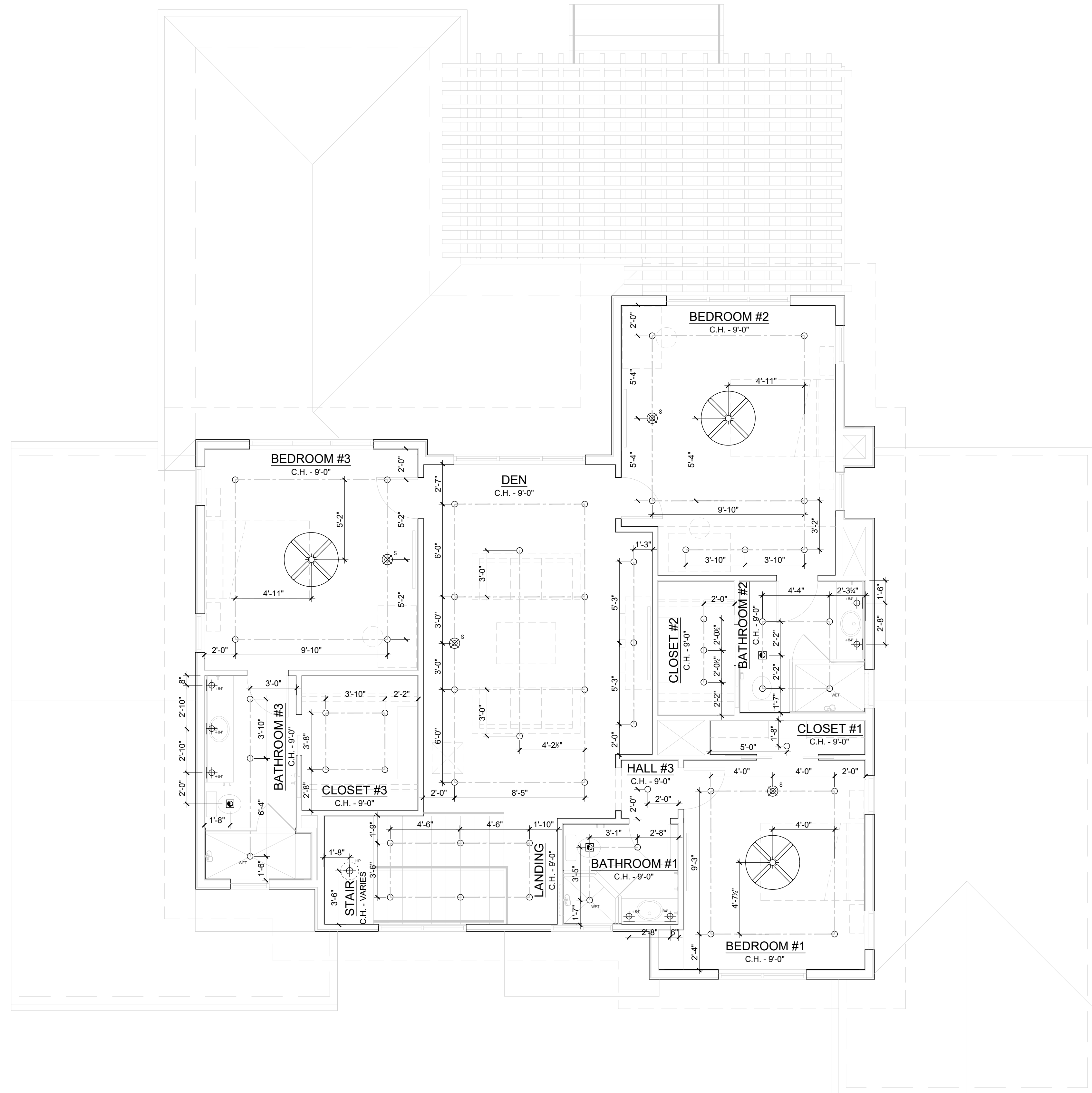
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SECOND FLOOR REFLECTED CEILING PLAN

Scale 1/4" = 1'-0" (TABLOID: Scale 1/8" = 1'-0")

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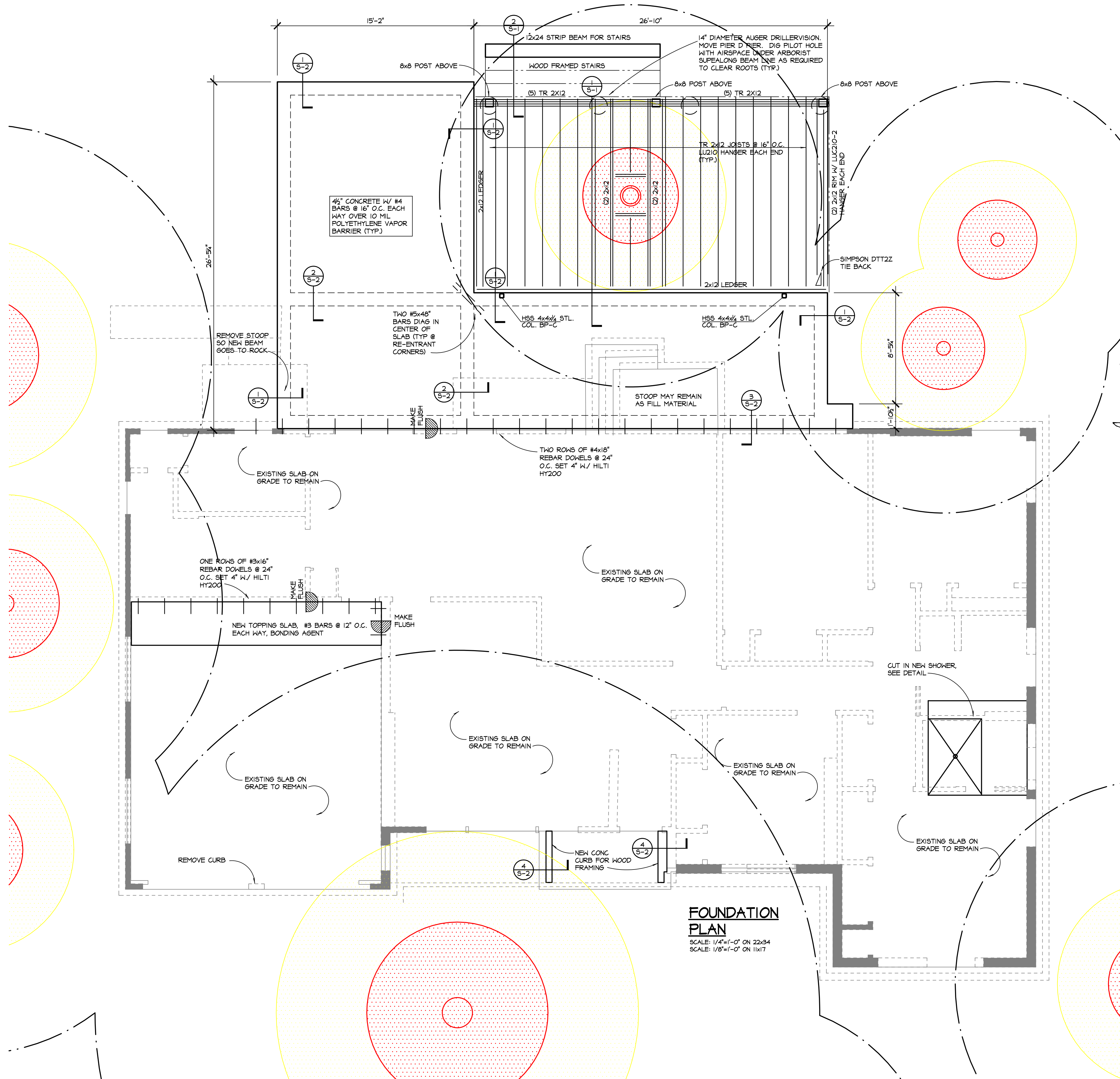
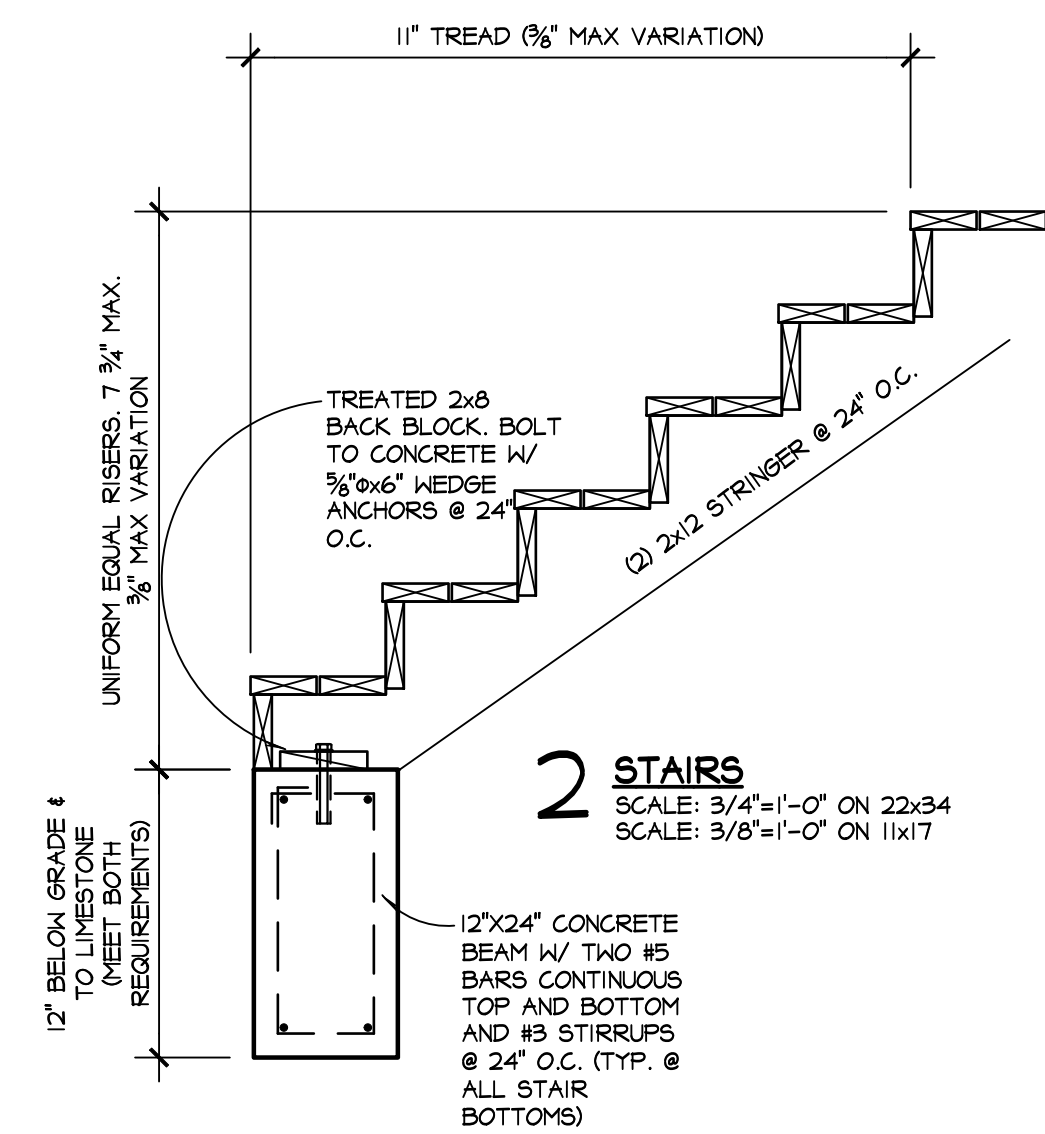
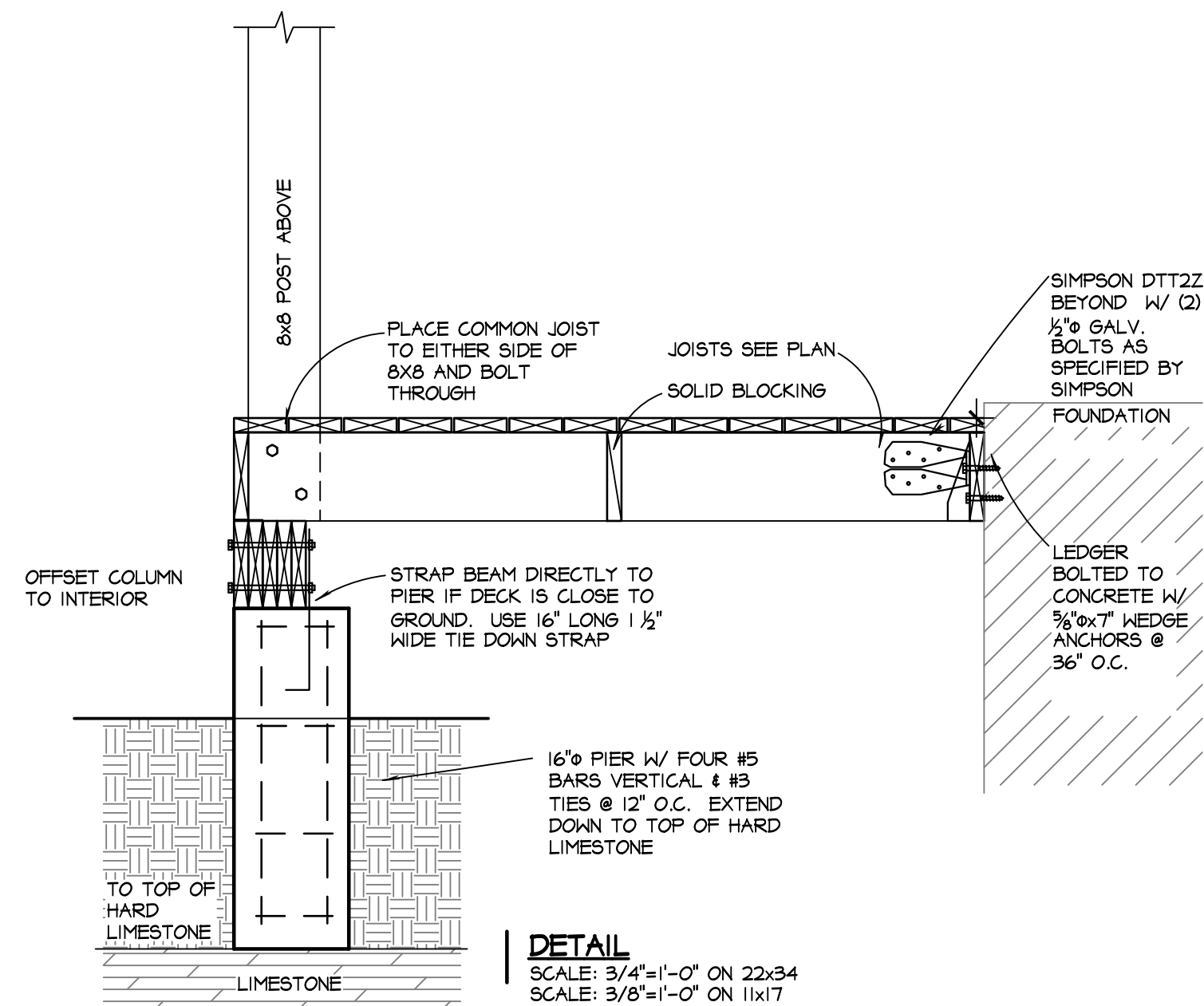
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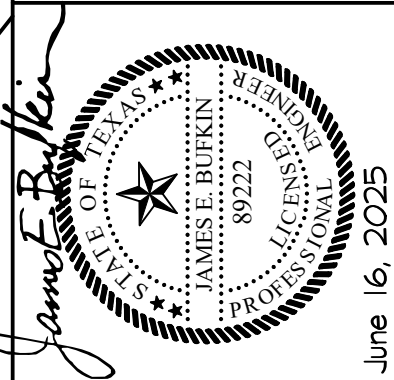
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Bufkin Engineering, Inc.
2309 West 8th Street Austin, Texas 78703
Ph: (512) 236-8070 Firm #9955 Cell: (512) 914-2659



Ewart Remodel and Addition
419 Ridgewood Road Austin, TX 78746

Job #	2025061602
Drn.	J. BUFKIN
Chk.	J. BUFKIN
Date	06-16-2025
Rev	

Sheet
S-1
Of 5

NOTES

CODES

1. Building Code: International Residential Code 2021 Edition.
2. Structural Concrete: Building Code Requirements for Reinforced Concrete, American Concrete Institute, ACI 318-14.
3. Wood Framing: National Design Specifications for Wood Construction with Supplement, National Forest and Paper Products Association, Latest Edition.
4. Structural Plywood: Plywood Design Specifications, American Plywood Association, Latest Edition.

SUBSTITUTIONS

1. All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval during the bidding period. Once bids are accepted, proposed substitutions will be considered only when they are officially submitted with an identified savings to be deducted from the contract.

BUILDING PAD

1. Prior to placing any fill material, remove all vegetation, clay and deleterious material to clean intact limestone. Bottom of exterior grade beams shall be founded on clean intact limestone. Bottom of grade beams shall have a slope less than or equal to 1 in 10. Under no circumstances shall concrete beams be placed on sloping limestone greater than 1 in 10 or limestone that is covered with loose deleterious fill material including topsoil, loose rocks, crunched rock or base material.
2. Grade adjustments within the building limits shall be accomplished with select fill soils meeting TxDOT standard specifications Item 247, Type A, Grade 4 (Crushed Limestone Base Material). All structural fill shall be placed on prepared surfaces in lifts not to exceed eight inches loose measure with compacted thickness not to exceed six inches. The fill shall be compacted to at least 95 percent of the ASTM 698 maximum dry density at a moisture content ranging between -2 and +3 percent of optimum moisture content.
3. Structural Fill shall be hard durable particles of gravel or crushed stone, with no organic material and shall meet the following criteria:

a. Retained on 1 1/4" screen	0%
b. Retained on 1" screen	0% to 5%
c. Retained on 3/4" screen	0% to 30%
d. Retained on 3/8" screen	5% to 70%
e. Retained on No. 4 mesh sieve	20% to 70%
f. Retained on No. 40 mesh sieve	30% to 85%

Material passing the No. 40 sieve shall meet the following plasticity requirements:

Maximum PI	Minimum PI	Maximum LL
15	3	35

4. Provide a 10 mil vapor barrier placed according to manufacturer's recommendations between the bottom of slab and the top of the select fill. Moisture barrier shall not be draped continuous across the bottom of grade beams.

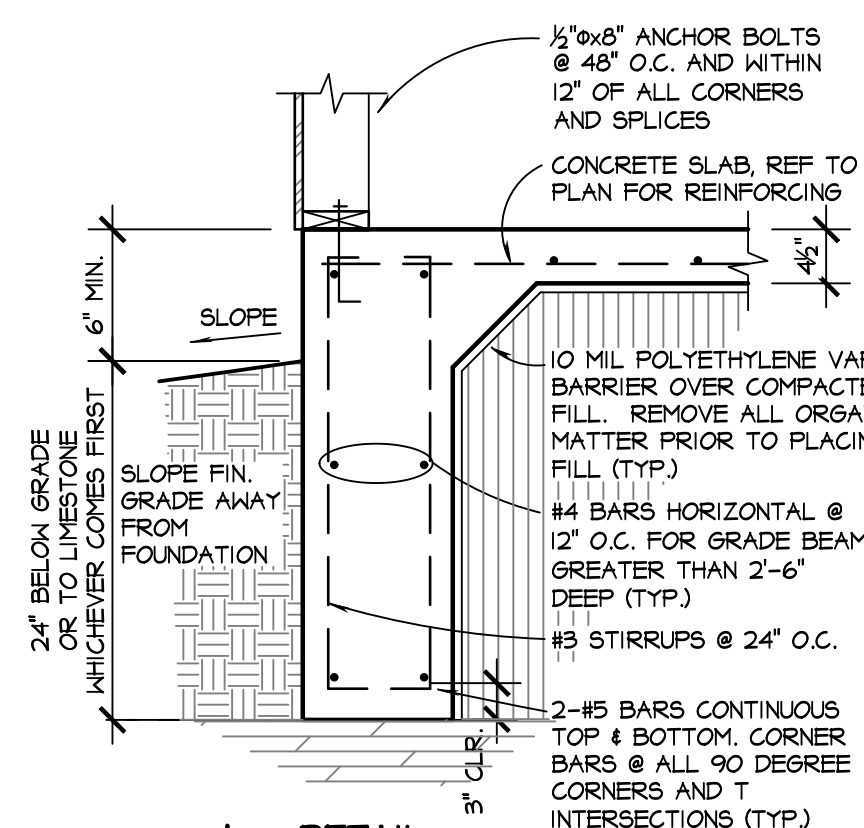
CAST IN PLACE CONCRETE

1. Cast in place concrete shall meet the following requirements:

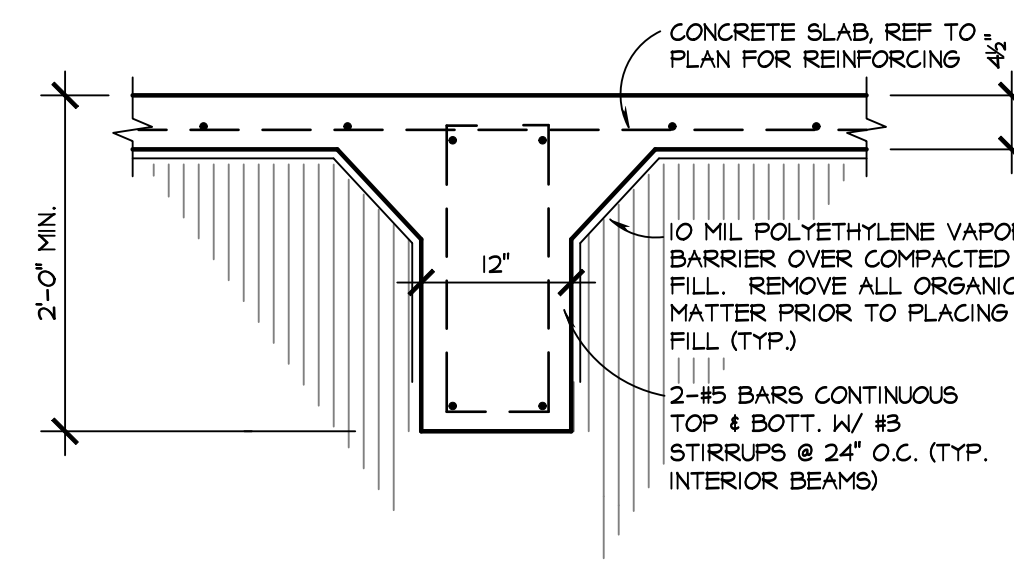
Class	28 Day Strength	Aggregate Type	Aggregate Size	Slump	Use
A	3000 psi	NW	1 1/2" max	3 to 5"	ALL

CONCRETE REINFORCING

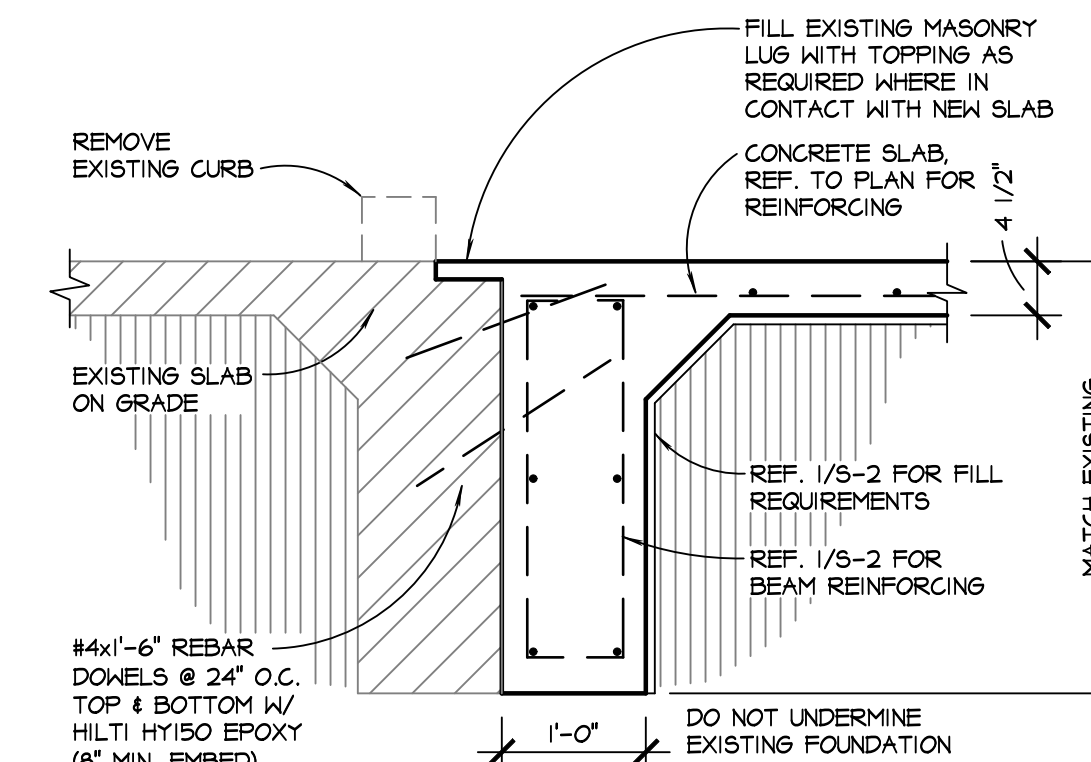
1. Reinforcing steel shall be deformed new billet steel bars in accordance with ASTM A615 Grade 60.
2. Provide reinforcing bars in accordance with the bar bending diagram if bar types are specified. In unscheduled beams, slabs, columns and walls detail reinforcing as follows:
 - a. Lap top reinforcing bars at mid span.
 - b. Lap bottom reinforcing bars at the supports.
 - c. Lap vertical bars in columns and walls only at floor lines, unless noted otherwise.
 - d. Lap reinforcing bars 36 bar diameters minimum, unless noted otherwise.
 - e. Provide standard hooks in top bars at cantilever and discontinuous ends of beams, walls and slabs.
 - f. Provide corner bars for all horizontal bars at the inside and outside faces of intersecting beams or walls. Corner bars are not required if horizontal bars are hooked.
3. Reinforcing steel clear cover shall be as follows:
 - A. Grade beams - 1 1/2" top, 3" bottom, 2" side (formed), 3" side (placed against earth)



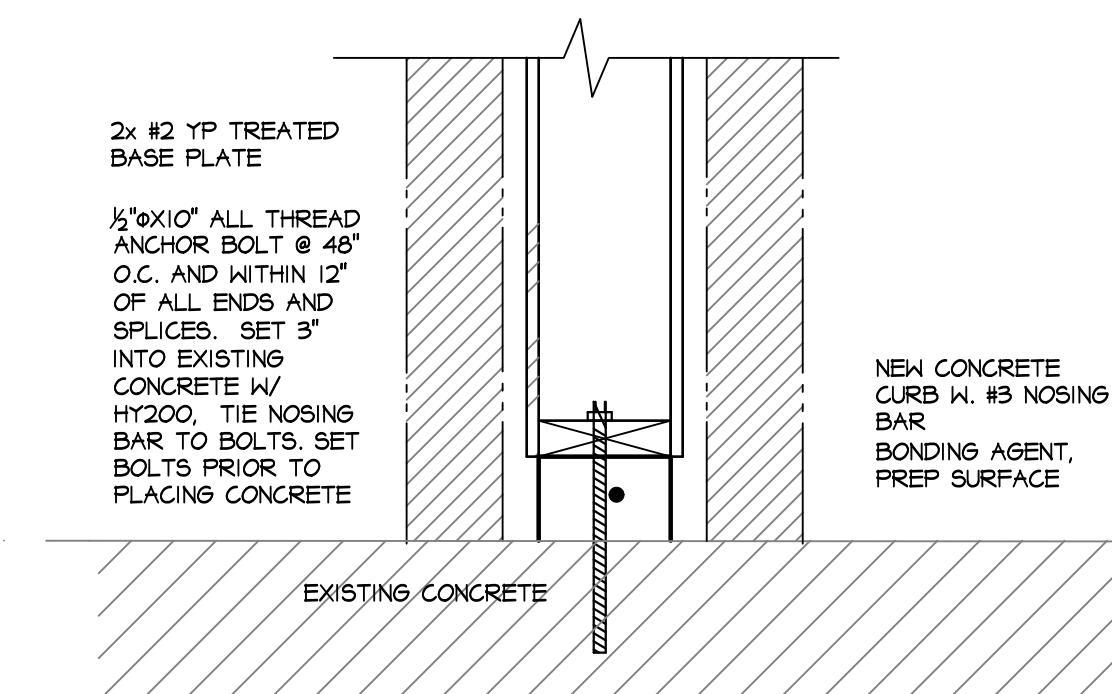
1 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17



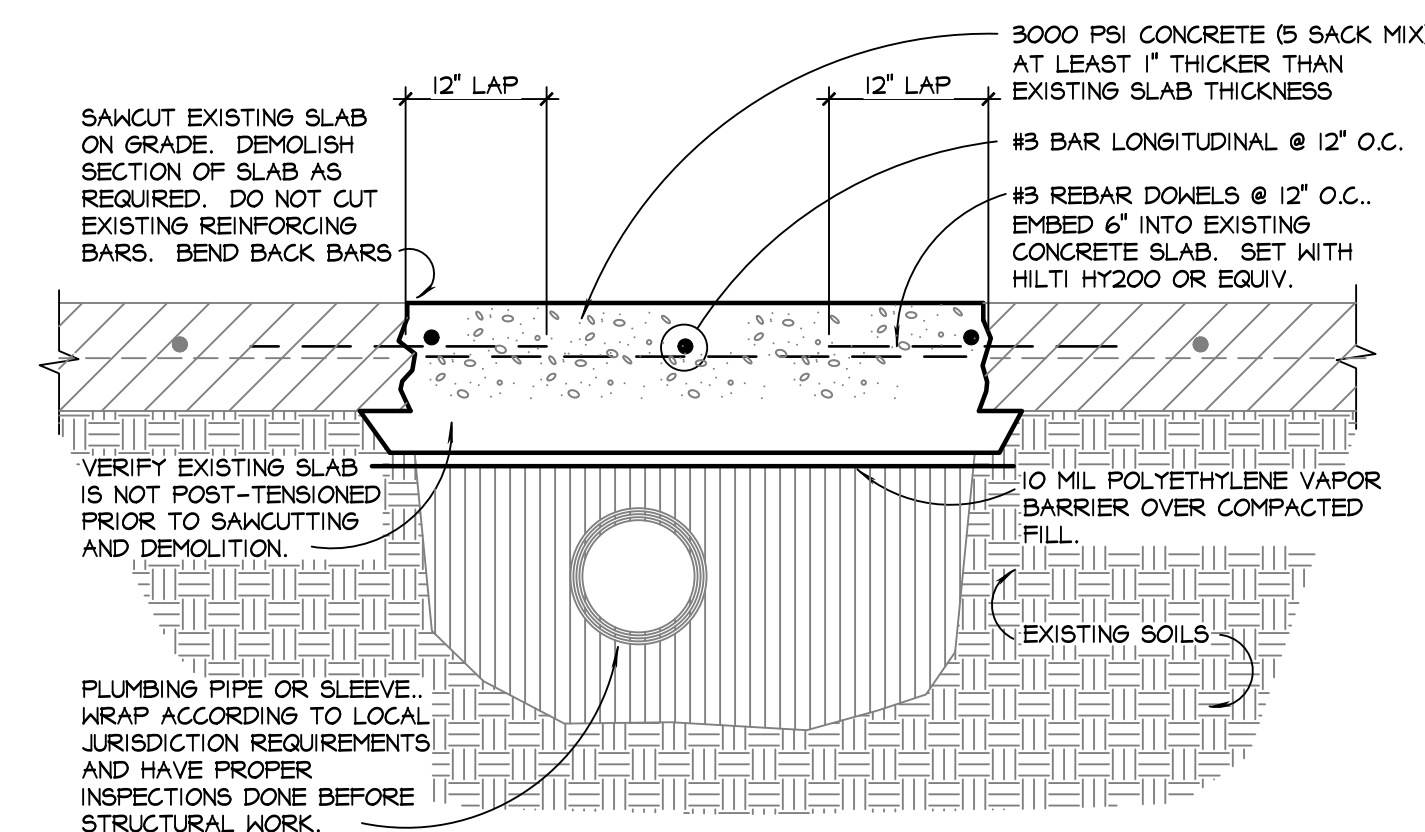
2 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17



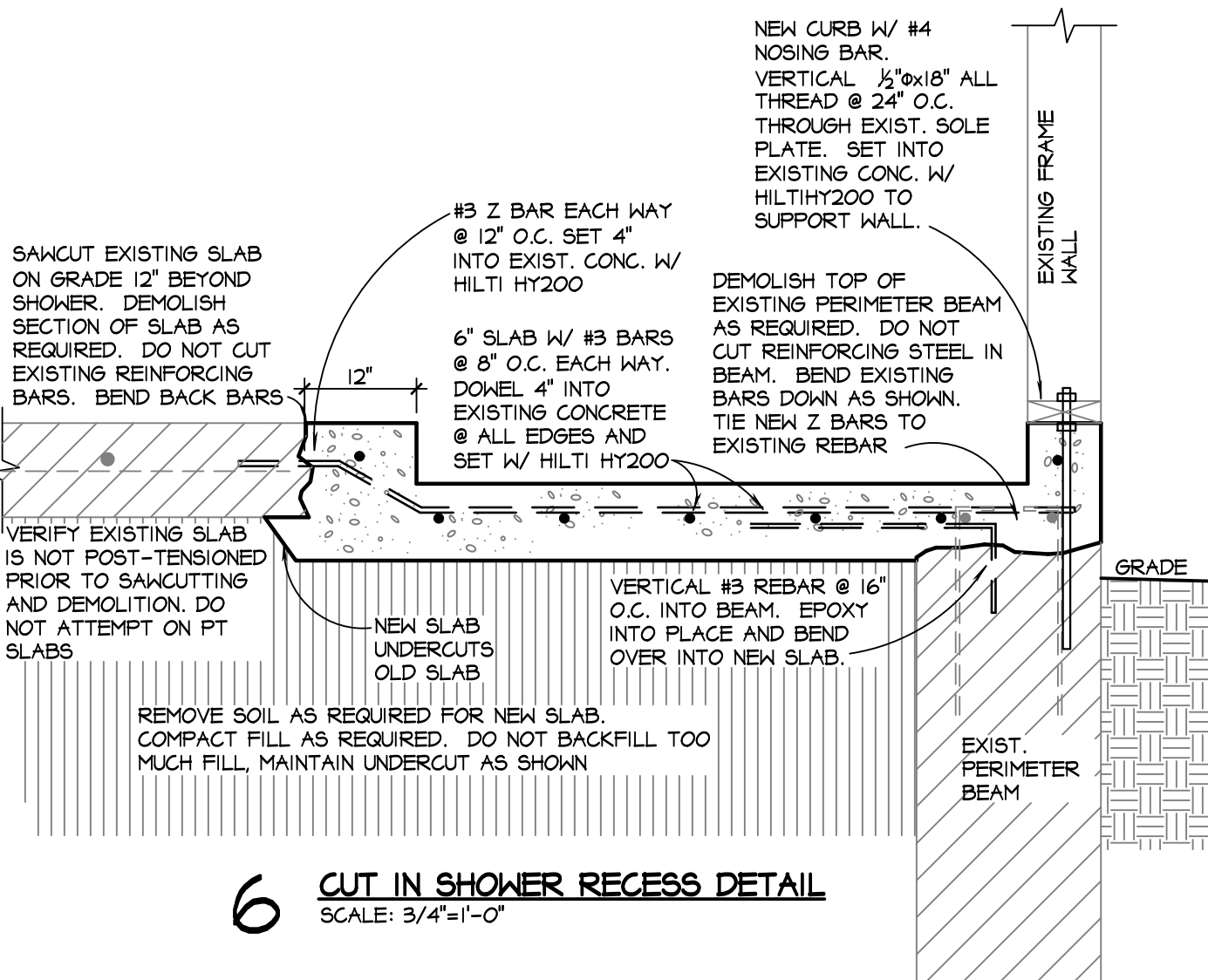
3 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17



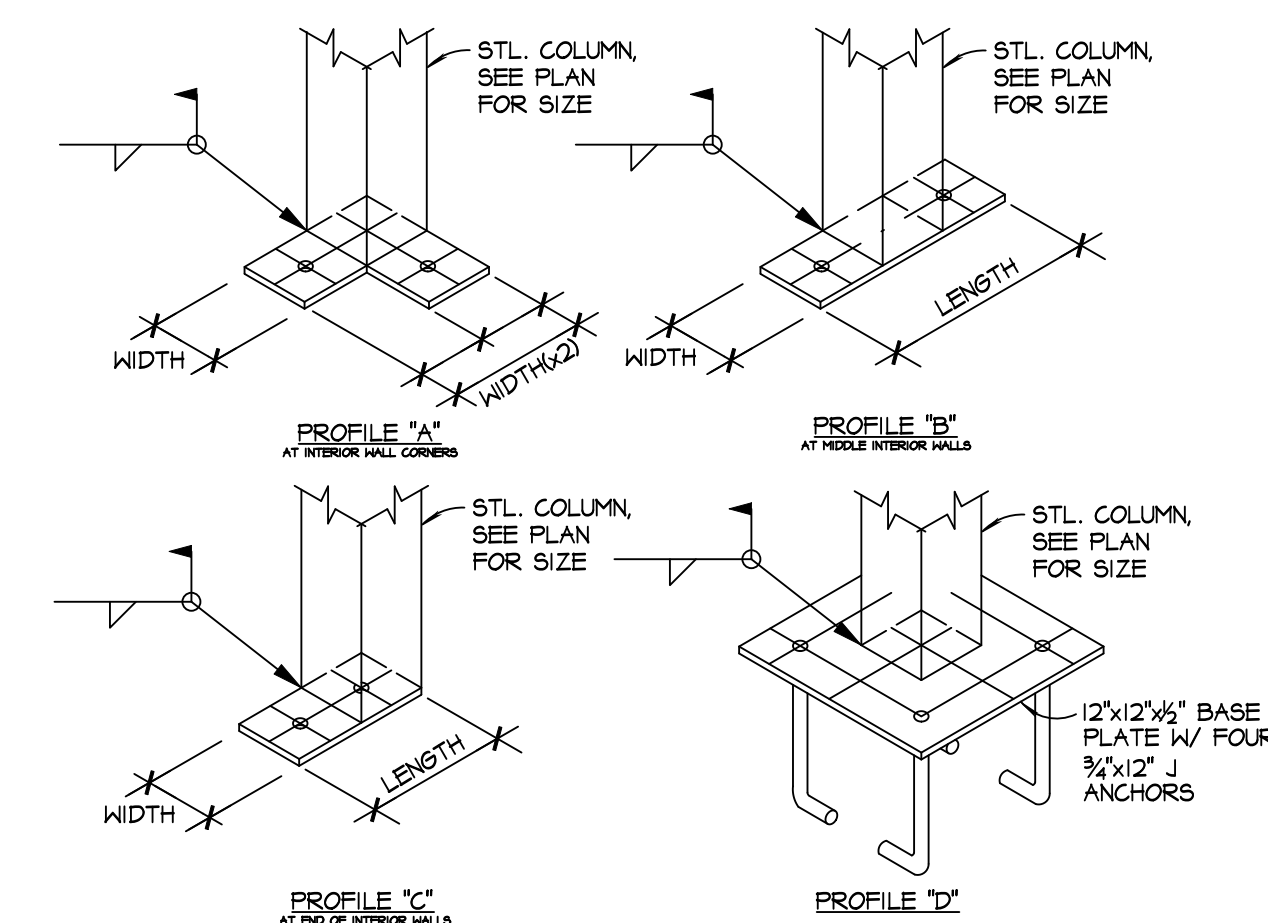
4 DETAIL
SCALE: 1 1/2"=1'-0" ON 22x34
SCALE: 3/4"=1'-0" ON 11x17



5 REPAIR DETAIL- PLUMBING TRENCHES
SCALE: 1 1/2"=1'-0"



6 CUT IN SHOWER RECESS DETAIL
SCALE: 3/4"=1'-0"

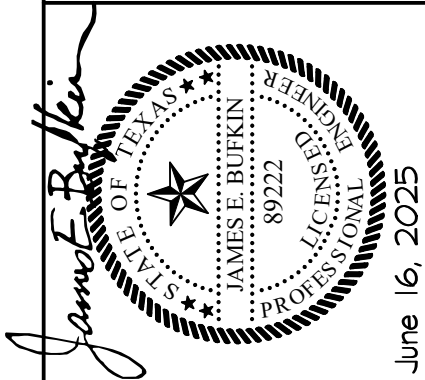


COLUMN SIZE	PLATE DIMENSIONS	PLATE DIMENSIONS	
		WIDTH	LENGTH
"A"	HSS 4x4	4"	NA
	HSS 5x5	5"	NA
"B"	HSS 4x4	4"	12"
	HSS 5x5	5"	13"
"C"	HSS 4x4	4"	8"
	HSS 5x5	5"	9"
"D"	HSS 4x4	12"	12"
	HSS 5x5	12"	12"

COLUMN SIZE	PLATE DIMENSIONS	PLATE DIMENSIONS	
		WIDTH	LENGTH
"A"	HSS 3x3	3"	NA
	HSS 6x6	6"	NA
"B"	HSS 3x3	3"	9"
	HSS 6x6	6"	14"
"C"	HSS 3x3	3"	6"
	HSS 6x6	6"	10"
"D"	HSS 3x3	12"	12"
	HSS 6x6	12"	12"

ALL BASE PLATES ARE MADE FROM 1/2" THK. A36 STEEL W/ 3/4" x 1/2" HILTI HY200 EPOXY BOLTS FOR ANCHORING OR EQUIV. DO NOT USE WEDGE ANCHORS WITHIN 8" OF A CONCRETE EDGE

7 TYPICAL RESIDENTIAL BASE PLATES
SCALE: N.T.S.



James E. Bufkin
June 16, 2025

Job # 2025061602
Dm. J. BUFKIN
Chk. J. BUFKIN
Date 06-16-2025
Rev

LAMINATED VENEER LUMBER

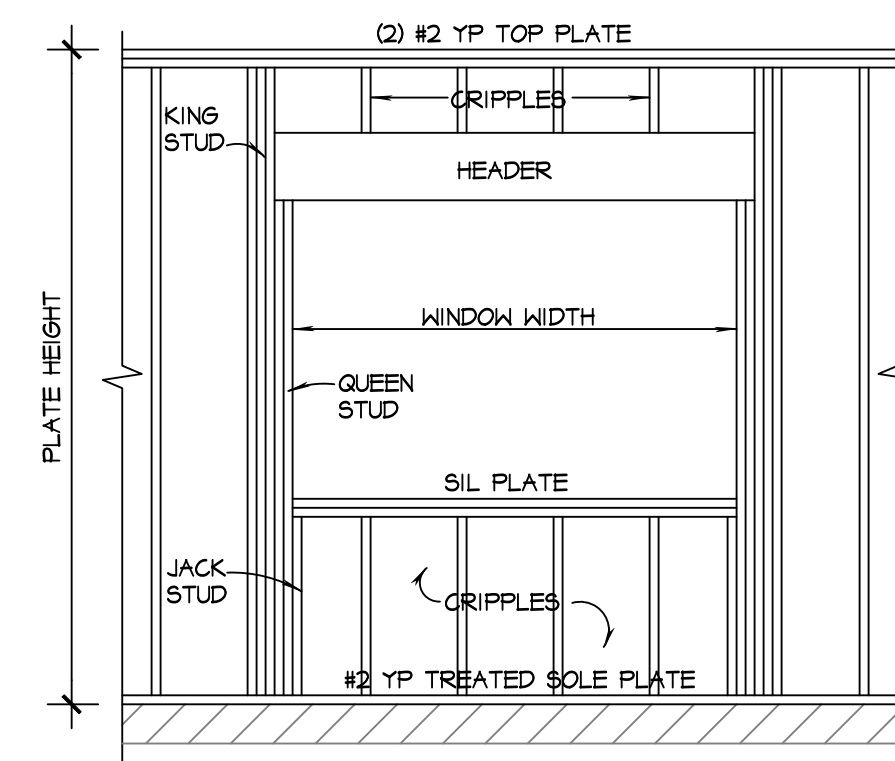
- All LVL's shall be fabricated to standards set forth in the National Evaluation Service (NES) report no. NER-481 and shall provide minimum allowable design values of 2400 PSI in bending, 285 PSI in shear perpendicular to the glue line and 1,800,000 PSI in Modulus of Elasticity
- Multiple LVL (more than 3) beams shall be bolted together full length with 1/2" through bolts at a spacing of 1.5 times the depth of the beam. Bolts shall be placed at top and bottom. All other multiple LVL beams shall be nailed together from each face with (2) 16d at 12" o.c. top and bottom.

WOOD FRAMING

- Unless otherwise noted, all structural framing lumber shall be clearly marked no. 2 southern yellow pine or douglas fir.
- All wood stud walls shall be full height without intermediate plate line unless detailed otherwise.
- Provide double studs at all wall corners and on each side of all openings.
- Floor sheathing: 1/8" grade tongue&groove Sturdifloor with exterior glue. Floor sheathing shall be adhered to the wood support members with a wet use subfloor adhesive, in addition to being nailed to the supports with 10d common nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
- Roof sheathing: 5/8" sheathing with exterior glue. Panels shall be continuous over two or more spans with the long dimension oriented perpendicular to the framing members. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports. Stagger joints in sheathing.
- Solid sheath entire building in 7/16" OSB. Provide 2x blocking as required to support all panel edges. Nail with 8d common nails at 6" on center at supported edges and 12" on center at intermediate supports.
- Solid 2x blocking or bandboard shall be provided at supports and cantilever ends of all wood joists, and between supports in rows not exceeding 8'-0" apart.
- All framing members framing into the side of a header shall be attached using metal joist hangers sized and installed in accordance with the manufacturers recommendations for the size of joist supported.
- Place a single plate at the bottom and a double plate at the top of all stud walls. Exterior sill plates shall be bolted to the foundation with 1/2" anchor bolts with a minimum embedment of 8" spaced at 4'-0" on center. Sill plates in contact with concrete or masonry shall be pressure treated with a preservative. All horizontal plates shall be #2 yellow pine.
- Provide double joists under all interior partition walls oriented parallel to the joists.
- All bolts and lag screws shall have standard washers. All anchor and expansion bolts used in wood to concrete connections in crawlspace areas shall be hot dip galvanized or stainless steel.
- Refer to the architectural drawings for additional wood framing members. Provide additional wood framing members shown on the architectural drawings even though they may not be shown on the structural drawings.

DESIGN LOADS

- Live Loads
 - Single Family Residential
 - Typical u.n.o. 40 psf
 - Sleeping Areas 30 psf
 - Attic Space 10 psf
 - Balconies 60 psf
 - Stairs 100 psf
 - Roof 16 psf
 - Wind Lateral Load on Structural Frame: as per IBC requirements. 25 psf, Projected Area Method
- Dead Loads include the self weight of the structural elements.
 - Roofing (Roofing) 10 psf



FRAMING DETAIL
SCALE: NTS

TYPICAL FRAMED OPENING SCHEDULE

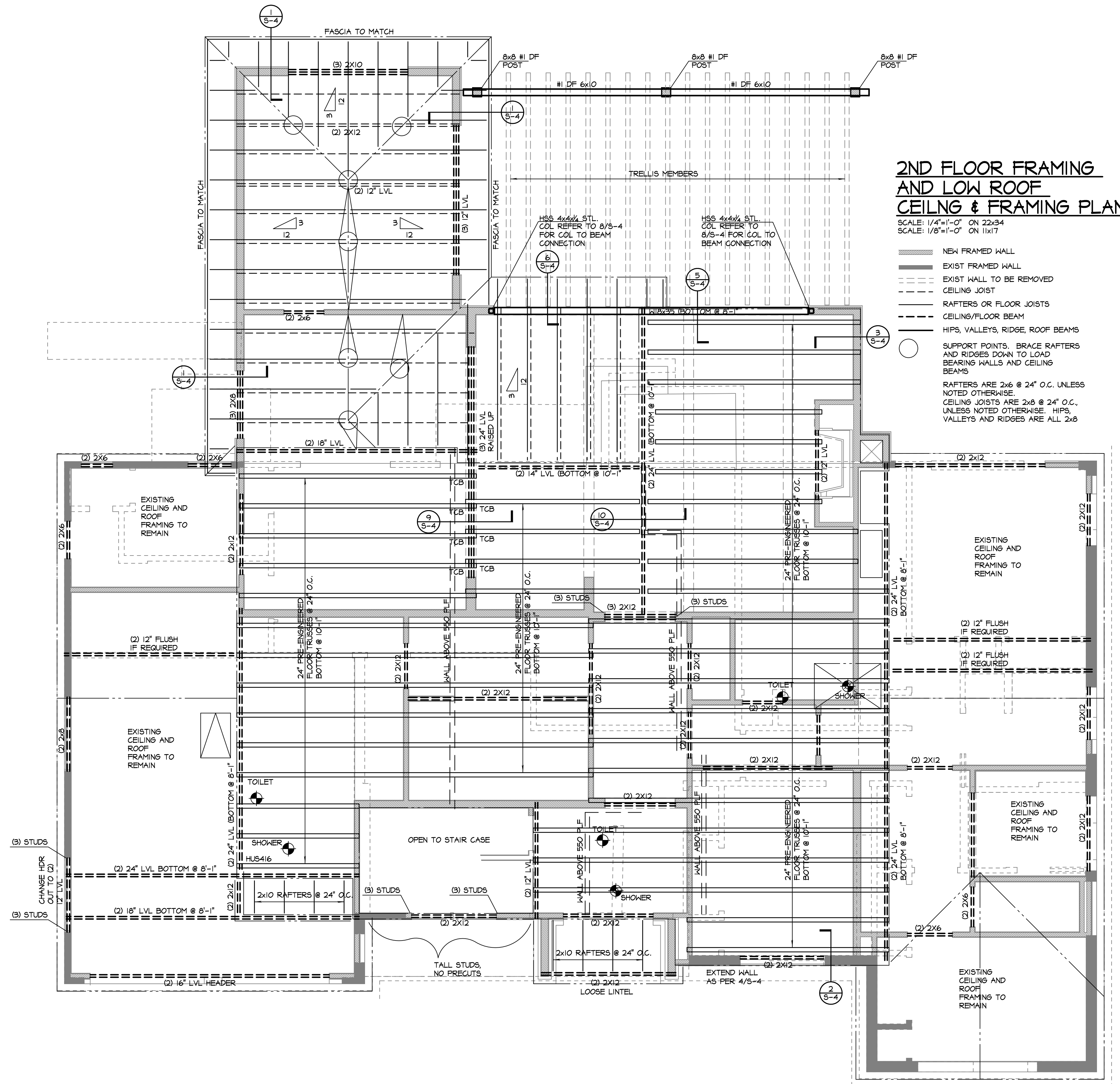
WINDOW WIDTH	NUMBER OF STUDS AT EACH SIDE OF WINDOW			# SIL PLATE
	KING	QUEEN	JACK	
< 3'-11"	1	1	1	1
4'-0" to 6'-5"	2	1	1	1
6'-6" to 9'-0"	3	2	1	1
9'-1" to 11'-11"	4	2	1	2
12'-0" to 14'-8"	5	2	1	2

CHART IS FOR 16" O.C. STUD SPACING.
DOUBLE ALL COUNTS FOR 8" O.C. SPACING

TYPICAL WALL FRAMING SCHEDULE

PLATE HEIGHT	SUPPORTING ROOF ONLY		SUPPORTING FLOOR AND ROOF	
	@ 16" O.C.	@ 8" O.C.	@ 16" O.C.	@ 8" O.C.
< 10'-2"	2x4	2x4	2x4	2x4
10'-2" to 14'-2"	2x6	2x4	2x6	2x6
14'-2" to 16'-2"	2x6	2x6	2x6	2x6
16'-2" to 20'-0"	N/A	2x6	N/A	2x6

ALL STUDS ARE SPF OR #2 YP.



2ND FLOOR FRAMING AND LOW ROOF CEILING & FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22x34
SCALE: 1/8"=1'-0" ON 11x17

- NEW FRAMED WALL
- EXIST WALL TO BE REMOVED
- CEILING JOIST
- RAFTERS OR FLOOR JOISTS
- CEILING/FLOOR BEAM
- HIPS, VALLEYS, RIDGE, ROOF BEAMS
- SUPPORT POINTS, BRACE RAFTERS AND RIDGES DOWN TO LOAD BEARING WALLS AND CEILING BEAMS
- RAFTERS ARE 2x6 @ 24" O.C. UNLESS NOTED OTHERWISE.
- CEILING JOISTS ARE 2x6 @ 24" O.C., UNLESS NOTED OTHERWISE. HIPS, VALLEYS AND RIDGES ARE ALL 2x6

Bufkin Engineering, Inc.

2309 West 8th Street Austin, Texas 78703

Ph: (512) 236-8070 Firm #9955 Cell: (512) 914-2659

Ewart Remodel and Addition

419 Ridgewood Road Austin, TX 78746

Job # 2025061602

Dr. J. BUFKIN

Chk. J. BUFKIN

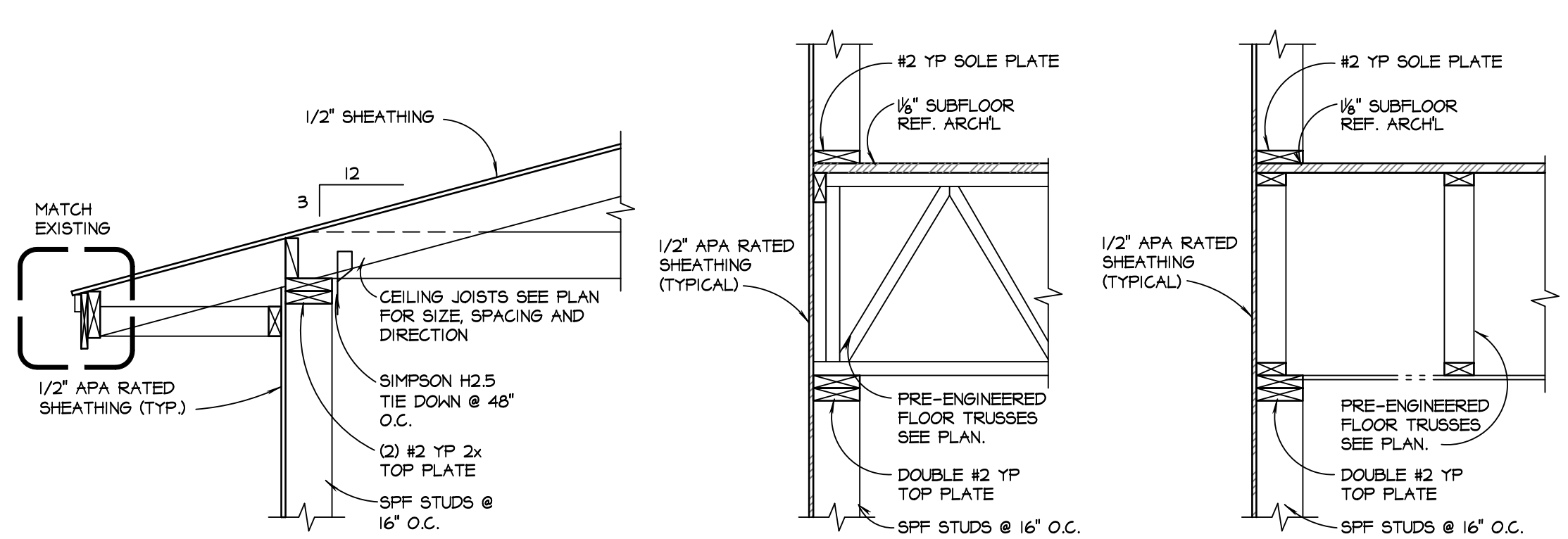
Date 06-16-2025

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Sheet

S-3

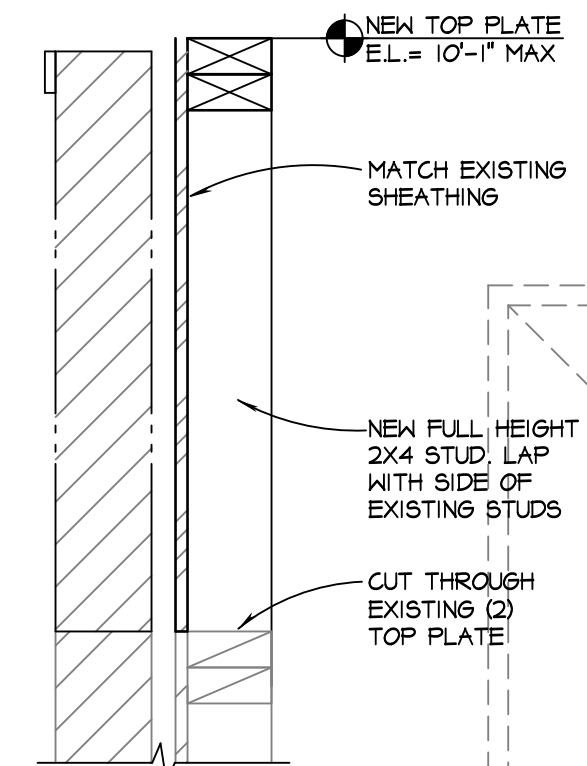
Of 5



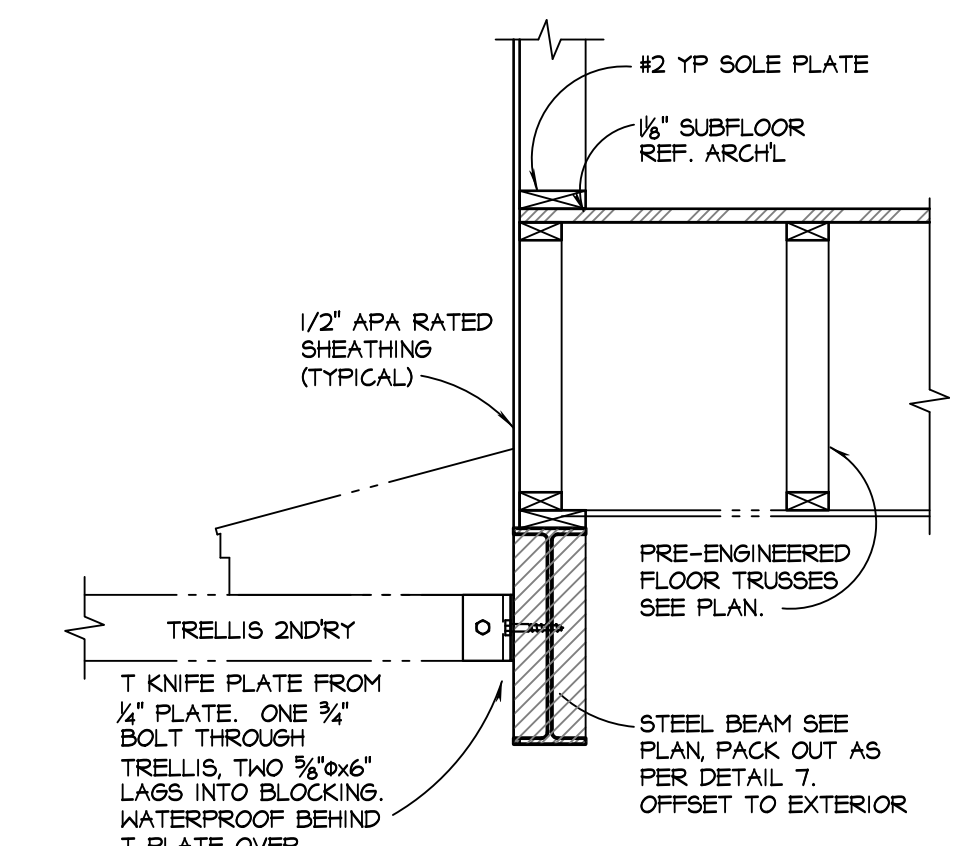
1 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

2 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

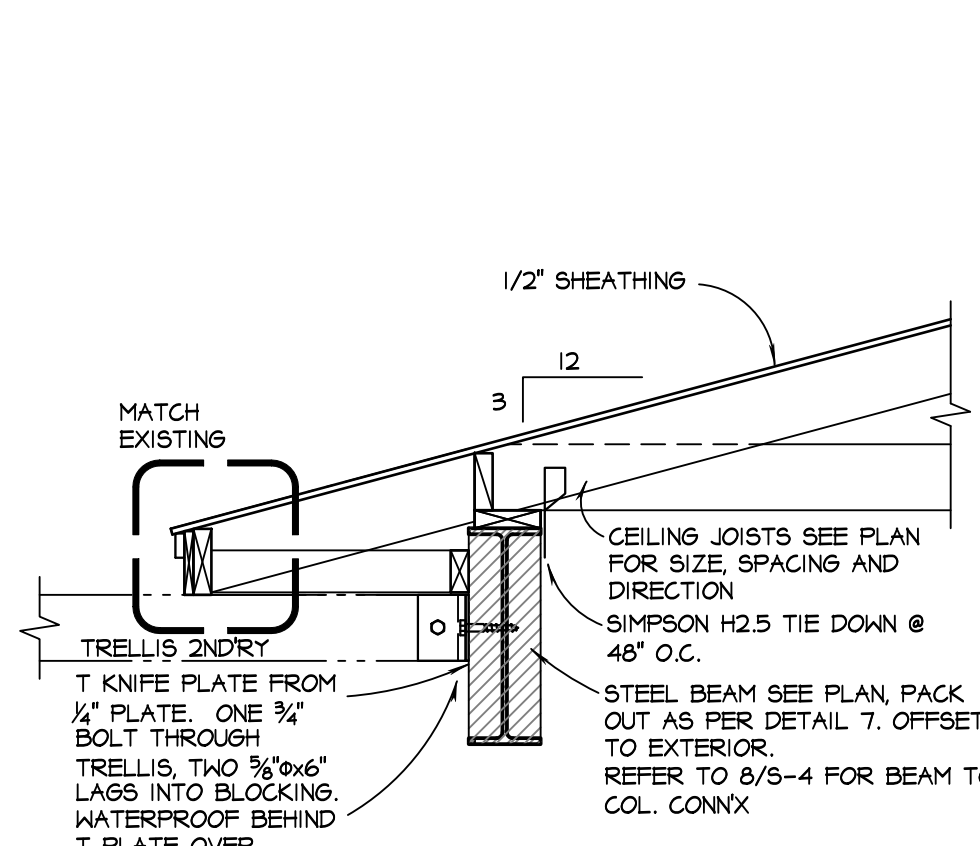
3 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17



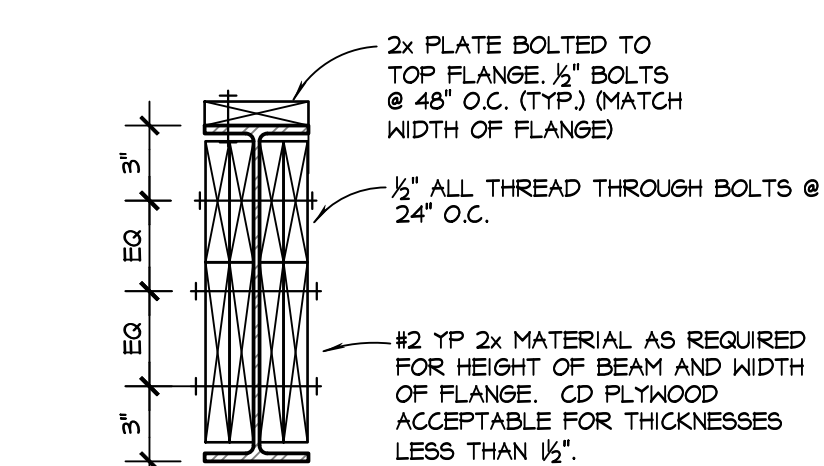
4 WALL EXTENSION DETAIL
SCALE: 1/2"=1'-0"



5 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

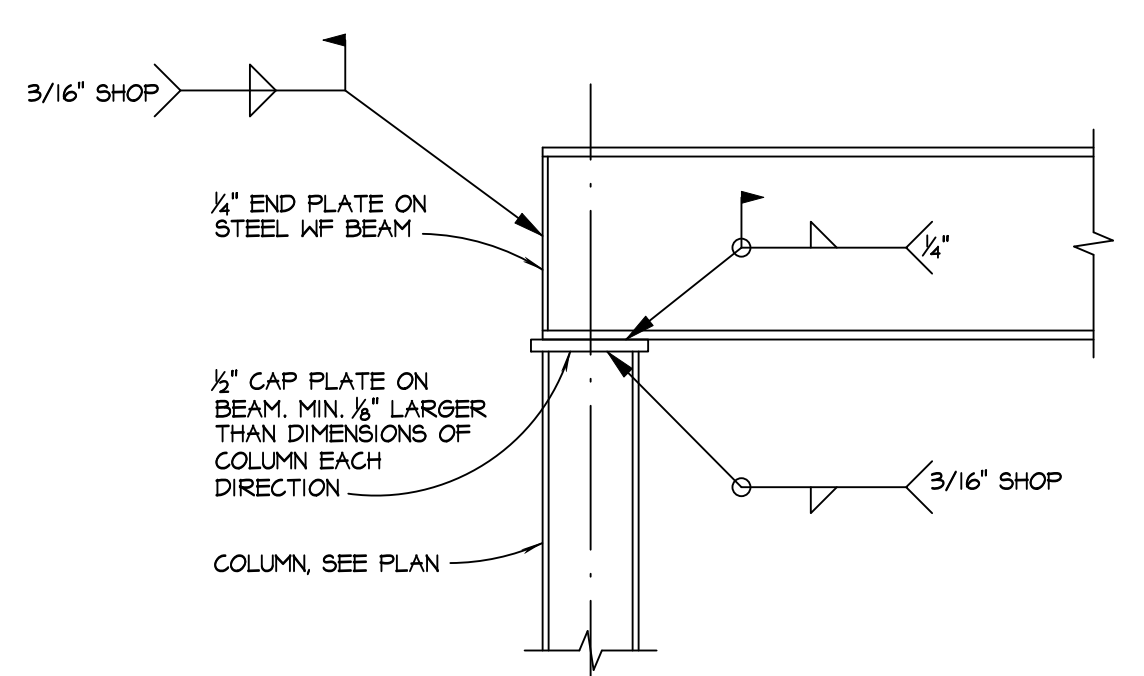


6 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

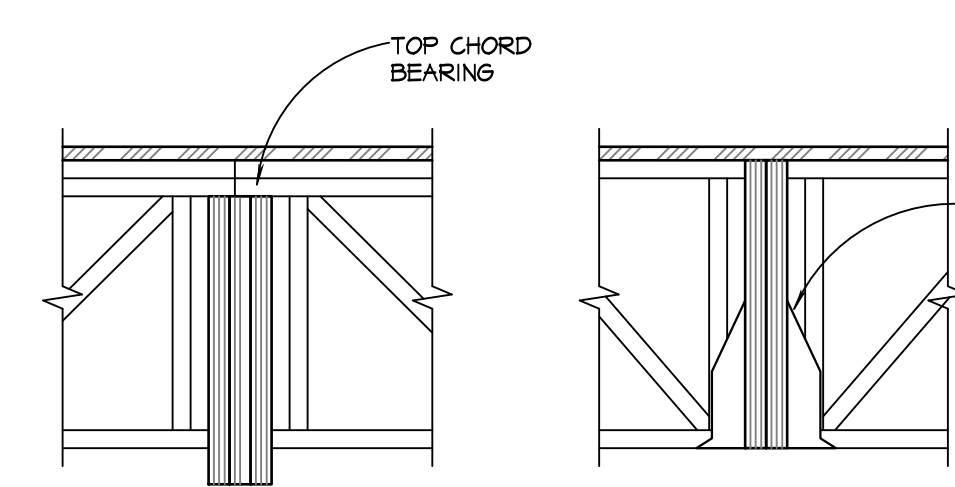


BEAM SIZE	# ROWS
6" TO 8"	1
10" TO 14"	2
16" TO 18"	3
21" TO 24"	4

7 TYP. STEEL BEAM PACK OUT
SCALE: 1"=1'-0"



8 TYP. COLUMN TO WF BEAM CONNECTION DETAIL
SCALE: 1/2"=1'-0"

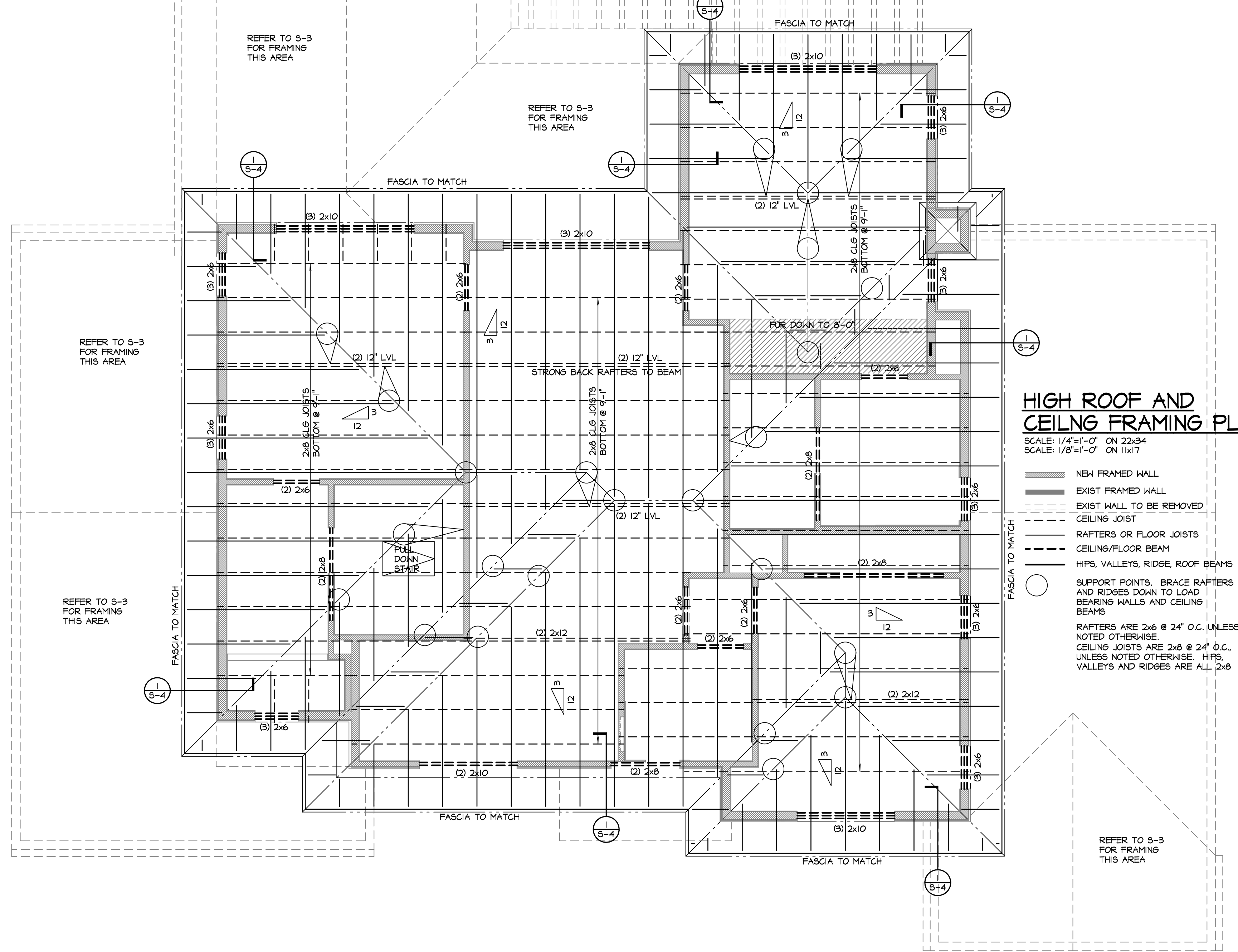


9 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

10 DETAIL
SCALE: 3/4"=1'-0" ON 22x34
SCALE: 3/8"=1'-0" ON 11x17

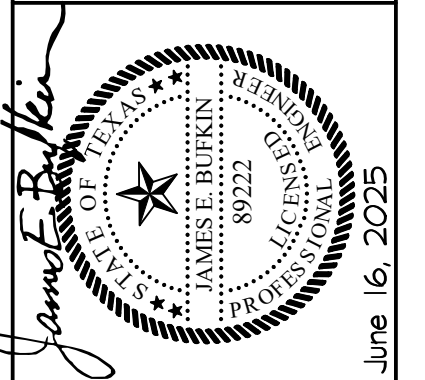
LOOSE LINTEL SCHEDULE		
MASONRY OPENING	SIZE	DETAIL
LESS THAN 5'-0"	L3x3x3/4" LLV	J
5'-0" BUT LESS THAN 6'-6"	L4x3x3/4" LLV	J
6'-6" BUT LESS THAN 8'-0"	L5x3x3/4" LLV	J
8'-0" BUT LESS THAN 10'-0"	L6x3x3/4" LLV	J
10'-0" BUT LESS THAN 11'-0"	C6X8.2 W/ 1/4" PL.	J
11'-0" BUT LESS THAN 13'-0"	C7X9.8 W/ 1/4" PL.	J
13'-0" BUT LESS THAN 15'-0"	C8X11.5 W/ 1/4" PL.	J
15'-0" BUT LESS THAN 17'-0"	C9X13.4 W/ 1/4" PL.	J
17'-0" BUT LESS THAN 19'-0"	C10X15.3 W/ 1/4" PL.	J
19'-0" BUT LESS THAN 23'-0"	C12X20.7 W/ 1/4" PL.	J
23'-0" BUT LESS THAN 24'-0"	C12X25 W/ 1/4" PL.	J
24'-0" BUT LESS THAN 25'-0"	C12X30 W/ 1/4" PL.	J
25'-0" BUT LESS THAN 30'-0"	C15X33.9 W/ 1/4" PL.	J

NOTE: PROVIDE 8" MINIMUM BEARING EACH END FOR STEEL LOOSE LINTELS. ONE ANGLE SHALL BE PROVIDED FOR EACH W/ THE OF BRICK. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. STEEL LINTELS SHALL BE GALVANIZED EXCEPT AT THOSE LOCATIONS NOTED OTHERWISE. BOLT THROUGH LOOSE LINTEL INTO HEADER BEYOND WITH 1/2" BOLTS @ 48" O.C.

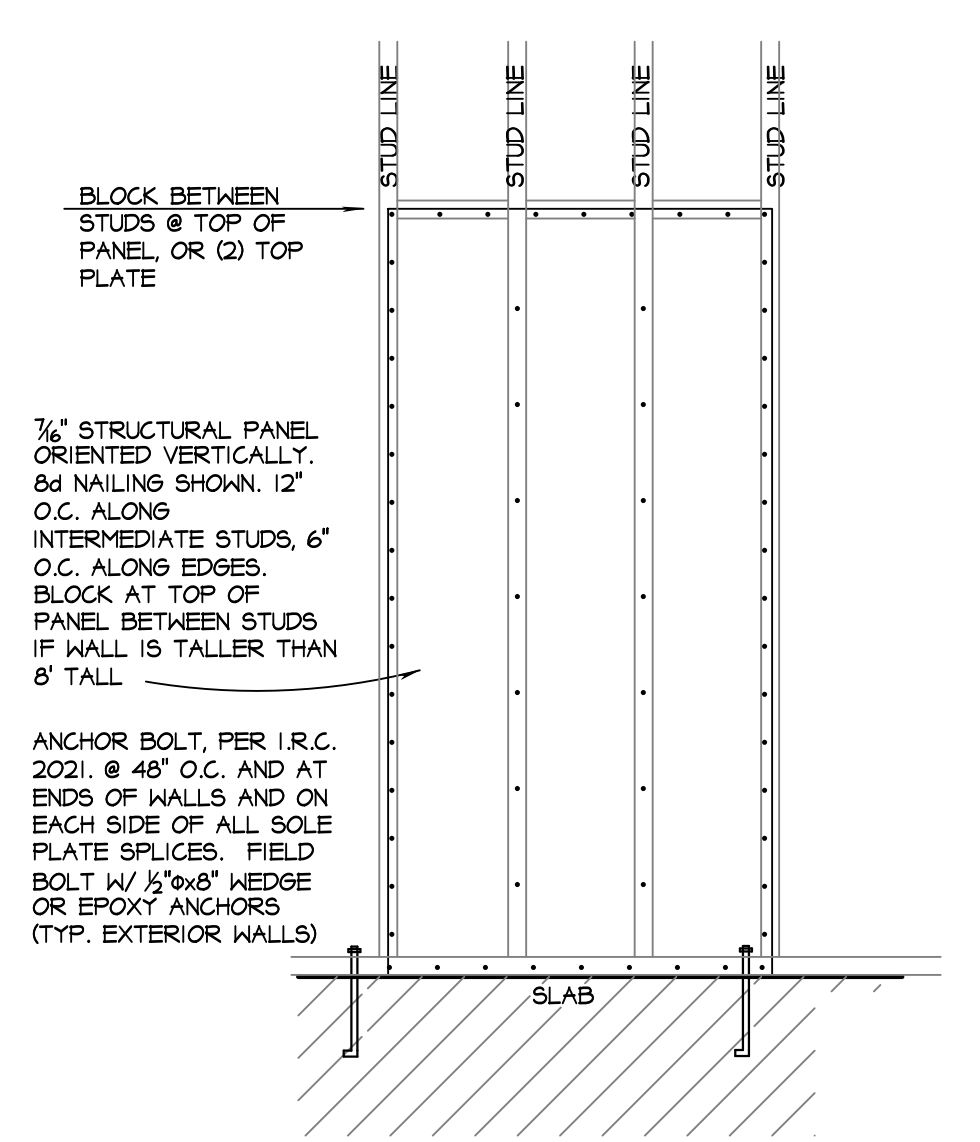


HIGH ROOF AND CEILING FRAMING PLAN
SCALE: 1/4"=1'-0" ON 22x34
SCALE: 1/8"=1'-0" ON 11x17

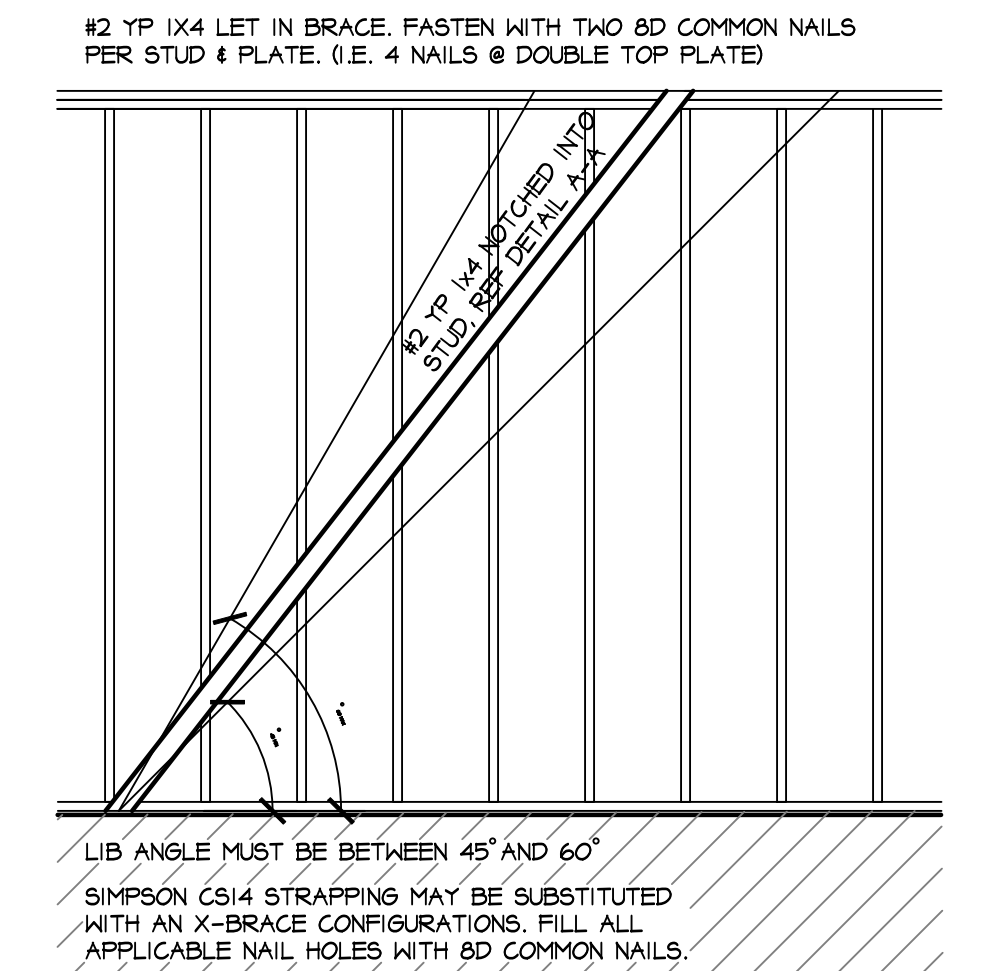
- NEW FRAMED WALL
- EXIST FRAMED WALL
- EXIST WALL TO BE REMOVED
- CEILING JOIST
- RAFTERS OR FLOOR JOISTS
- CEILING/FLOOR BEAM
- HIPS, VALLEYS, RIDGE, ROOF BEAMS
- SUPPORT POINTS. BRACE RAFTERS AND RIDGES DOWN TO LOAD BEARING WALLS AND CEILING BEAMS
- RAFTERS ARE 2x6 @ 24" O.C., UNLESS NOTED OTHERWISE.
- CEILING JOISTS ARE 2x8 @ 24" O.C., UNLESS NOTED OTHERWISE. HIPS, VALLEYS AND RIDGES ARE ALL 2x8



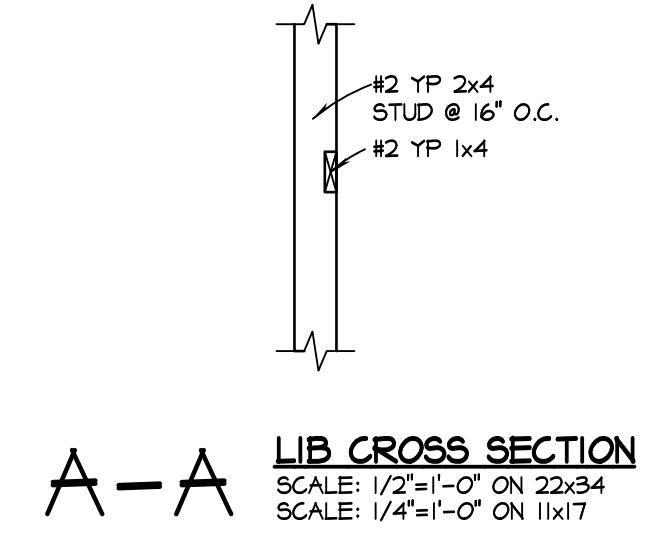
Job #	2025061602
Drn.	J. BUFKIN
Chk.	J. BUFKIN
Date	06-16-2025
Rev	



CS-WSP VERTICAL APPLICATION
 SCALE: 1/2"=1'-0" ON 22x34
 SCALE: 1/4"=1'-0" ON 11x17
 REFER TO PLAN FOR LOCATION OF ANY REQUIRED HOLDDOWNS



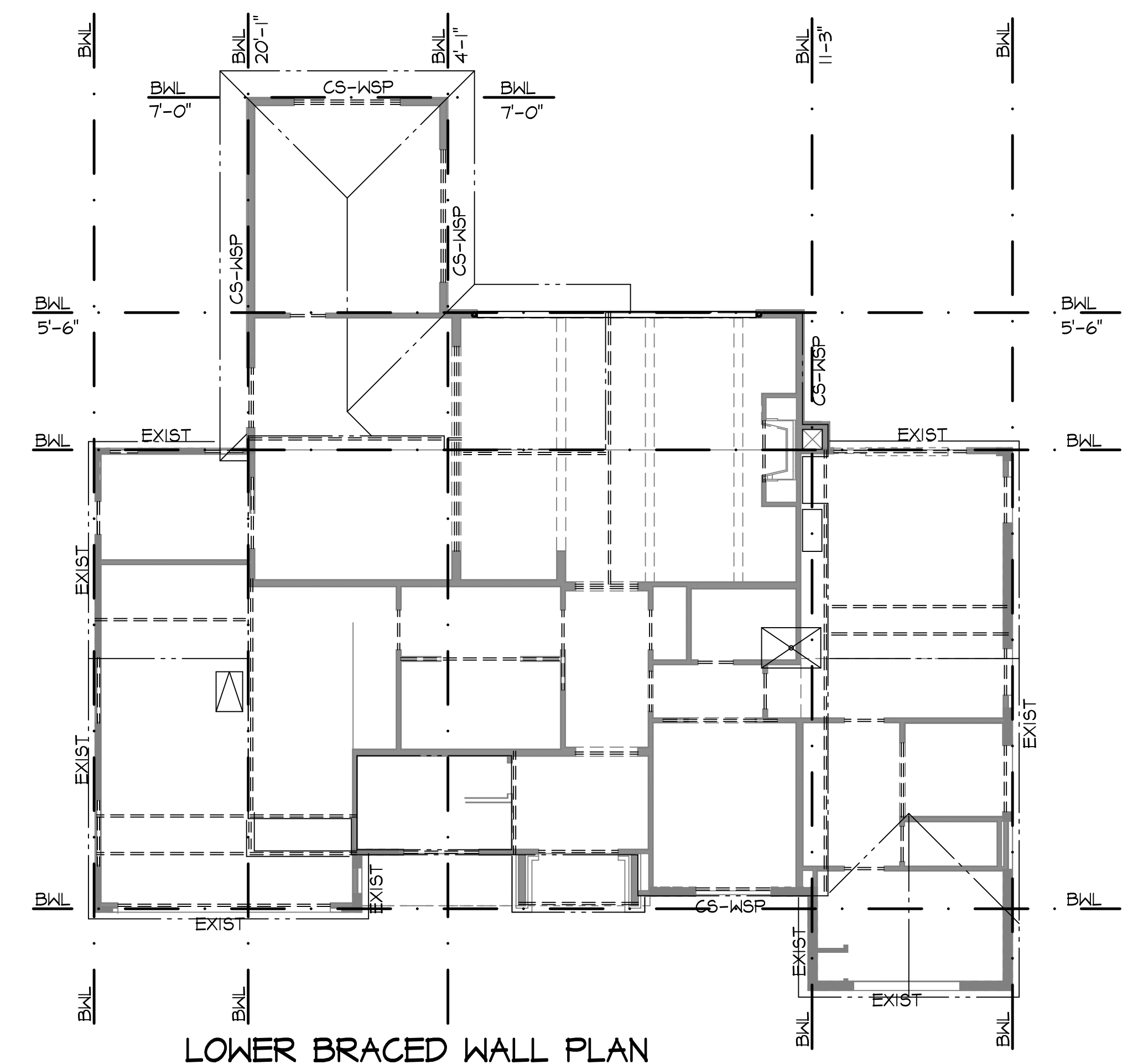
LIB DETAIL
 SCALE: 1/4"=1'-0" ON 22x34
 SCALE: 1/8"=1'-0" ON 11x17



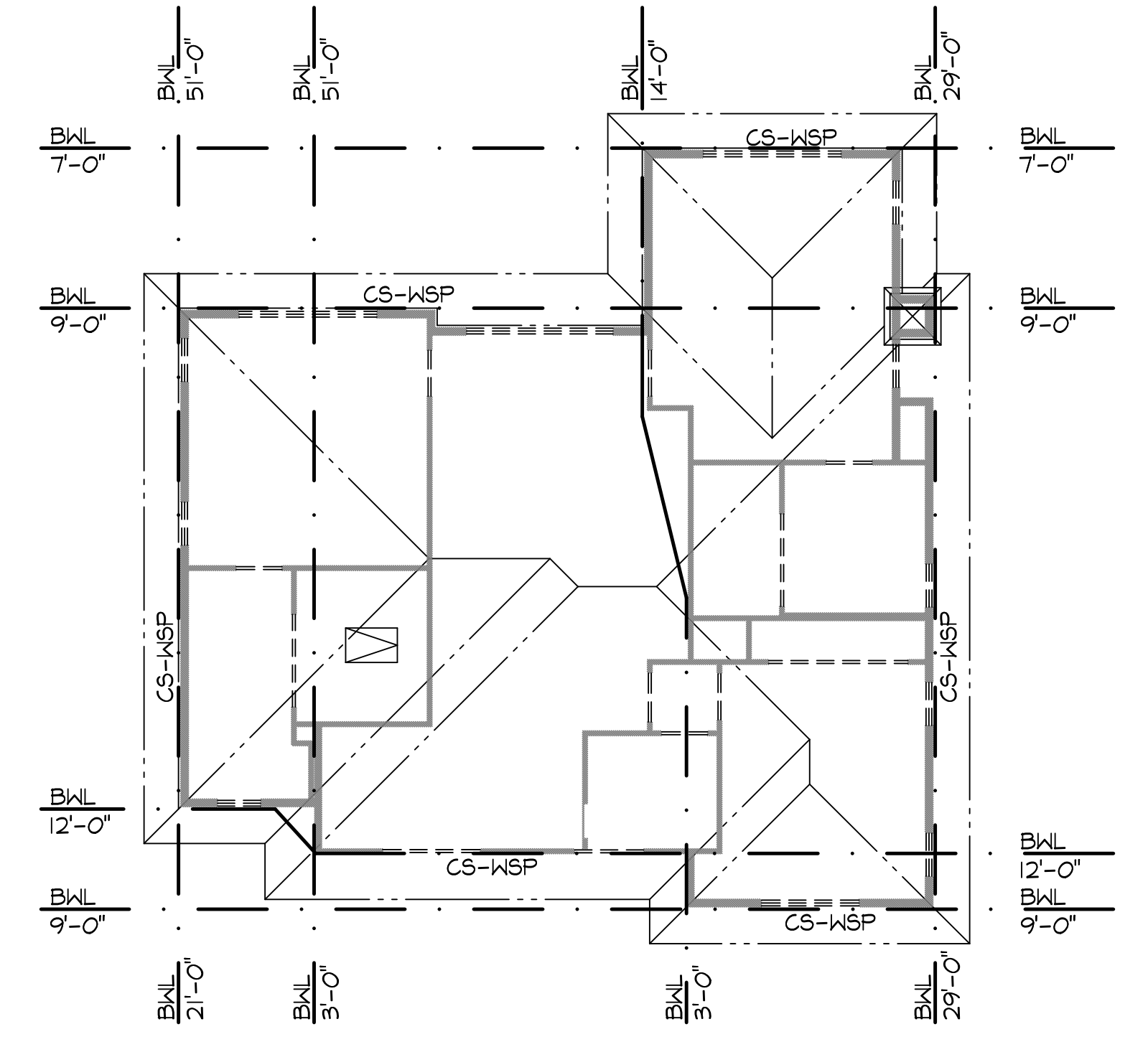
A-A LIB CROSS SECTION
 SCALE: 1/2"=1'-0" ON 22x34
 SCALE: 1/4"=1'-0" ON 11x17

WALL BRACING NOTES

- CODES**
 1. Building Code: International Residential Code 2021 Edition, Section R602.10
- WALL BRACING LEGEND**
- CS-WSP** Solid sheath entire building in 7/16" to 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports. Staples not allowed on CS-WSP walls. Horizontal block all wood panels.
- BWL** = BRACED WALL LINE
 ##'-#"=TOTAL LENGTH OF CONTRIBUTING PANELS ON BRACED WALL LINE
- BWL** Braced wall line
- LIB** 1x4 diagonal wood bracing continuous from top plate to bottom plate or approved metal straps at 45 to 60 degree angles for 16" stud spacing. Install straps as per manufacturer's requirements. Intermittent braced walls must have 1/2" gypsum wall board installed on side of wall opposite the bracing material.



LOWER BRACED WALL PLAN
 SCALE: 1/8"=1'-0" ON 22x34
 SCALE: 1/16"=1'-0" ON 11x17



UPPER BRACED WALL PLAN
 SCALE: 1/8"=1'-0" ON 22x34
 SCALE: 1/16"=1'-0" ON 11x17

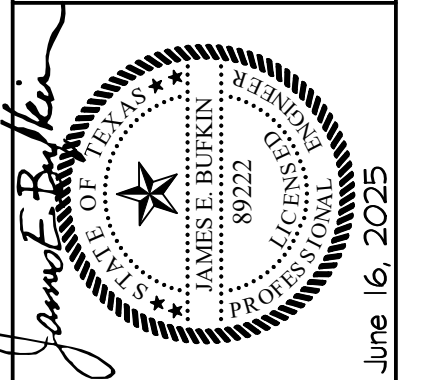


Exhibit A

419 Ridgewood- Tree Variance

Applicant's Findings of Fact

- 1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.**

The existing tree is in fair condition and poses a threat to construction activities and the proposed residence. Its removal and replacement will protect those working on site and the Owner's investment.
- 2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.**

The disruption is not unreasonable given the health and instability of Tree 1835. As it stands, it is a liability.
- 3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.**

Leaving the tree and waiting for its failure will mean it is an ongoing threat to construction activities and the proposed house. The tree has a previous repair attempt that was incomplete, making it a poor candidate for additional remediation steps.
- 4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.**

We believe the location of the tree, adjacent to the proposed construction, it poses a hazard to life and property. Trimming it or providing it additional support will not alleviate this threat. Its removal is necessary.
- 5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.**

We don't believe it is the goal of the City to require the Owner's to maintain a tree that poses a threat to life and property. This tree is at the center of the site and behind the proposed house. Although its removal will impact the public domain (view from the street) we believe this impact will be mitigated by the installation of healthy, replacement trees.
- 6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.**

This tree is at the center of the site and behind the proposed house. Although its removal will impact the public domain (view from the street) and neighbors (view from adjacent properties) we believe this impact will be mitigated by the installation of healthy, replacement trees.



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	<u>March 18, 2026</u>	Item Number:	<u>6</u>
Department:	<u>Building & Development</u>		
Prepared By:	<u>Jennifer C. Bills</u>	Cost / Budget:	<u>None</u>
Exhibits:	<u>See Attached</u>	Source of Funds:	<u>N/A</u>

Subject

Discuss and consider action to make a recommendation to City Council on the adoption of the amended Drainage and Erosion Control Design Manual.

Recommendation

Discuss and provide recommendations to City Council.

Discussion

The drainage focus group was designated by Mayor Vaughan in 2024 to review and make recommendations for revisions to the adopted Drainage and Erosion Control Design Manual. The DECDM was first adopted in 2018. Previously, the city had site plans and site disturbance requirements scattered throughout the Code of Ordinances for residential and adopted the City of Austin standards for commercial projects. The DECDM was amended in 2020 to adopt the FEMA Atlas 14 rainfall data and increase the size of the project that qualified for a Residential Type I drainage review. The amount of added impervious cover increased from 400 sf to 1,000 sf to qualify for Type I, which does not require a drainage study.

Colliers Engineering was contracted in June to fulfill the role of City Engineer. In this capacity, Colliers is responsible for assisting the city with development reviews, especially those with drainage and detention requirements established within the City Code and the City’s DECDM.

Among the first task orders delegated to Colliers was to review and provide recommendations regarding improvements that should be considered related to drainage and detention requirements. They presented high level recommendations to the drainage focus group and at a City Council Workshop on October 1, 2025. The regulation of impervious cover is also integral to these matters and was also discussed by the architectural committee. With the direction provided, Colliers started the draft revisions, which were provided to ZAPCO for review and feedback at a workshop on January 7, 2026. In addition to the manual, the city engineer is working on additional flow charts and updated checklists to assist with drainage plan preparation and interpreting the DECDM. The current draft of the DECDM will be provided to the Commission by Monday, March 16.

While changes to the DECDM do not require formal review and recommendation by ZAPCO, certain aspects of the code revisions impact the development codes.

Attachments:

- Checklists - Draft
- Residential Development Flowchart - Draft
- Non-Residential Development Flowchart - Draft
- Watercourse Exhibits



CHECKLIST FOR TYPE I RESIDENTIAL & NON-RESIDENTIAL DEVELOPMENTS

Project Name/Address: _____ Permit Number: _____

The following information shall be shown on the plans and/or submitted with the plans:

COVER SHEET

- ___1. Project name, legal description, existing and proposed zoning, and type of plans included
- ___2. Location map with north arrow, scale, and location of jurisdictional boundaries
- ___3. The name, address and phone number of the Applicant/record owner
- ___4. Standard signature block for City acceptance located on website

PROJECT NOTES

- ___1. The West Lake Hills Standard Construction Notes located on the City website
- ___2. A sequence of construction

SITE PLAN

- ___1. Property lines, address, land use, and zoning of adjacent properties
- ___2. Name and location of existing and proposed easements, right-of-way, streets, pipelines, water courses, etc. within or abutting the lot where development
- ___3. Required front, side and rear setbacks as defined in the Ordinance Sec 22.03.281
- ___4. Current and certified tree survey including tree table with size and species
- ___5. North arrow, north to be at top of sheet if possible
- ___6. Legend with all acronyms defined
- ___7. Scale bar and numeric scale, in generally accepted engineering scale. Minimum scale 1"=50'
- ___8. Existing features and proposed/future improvements.

EROSION AND SEDIMENTATION CONTROL PLAN

- ___1. Location of disturbed area
- ___2. Contractor staging areas, vehicle access areas, temporary and permanent spoil storage areas
- ___3. The location, size, and character of all temporary and permanent erosion and sediment control facilities

DRAINAGE MEMO

- ___1. Drainage memo prepared by the property owner or its agent per Drainage and Erosion Control Manual 2.1.2.1 criteria.

WATER QUALITY

- ___1. Edwards Aquifer Zone Designation (Contributing or Recharge). Development and redevelopment located over the Edwards Aquifer Regulatory Zones shall comply with the latest TCEQ published rules and technical design guidance for the Edwards Aquifer in accordance with 30 TAC Chapter 213 (Edwards Aquifer Rules).
- ___2. All single-family residential developments with impervious cover above 20% must provide water quality treatment for both the Recharge and Contributing Zones. Must include two impervious cover tables: one addressing Building Rules/Drainage Mitigation and a second for water quality determination.

I hereby confirm that this application is complete and all required information is attached. I further agree to comply with all platting and subdivision design requirements of the City of West Lake Hills. I understand that the permit will not be issued unless staff comments are satisfactorily addressed.

Signature of Owner/Applicant

Date

Print Name & Title

GENERAL NOTES

1. All materials and construction methods for site grading, paving, sitework, and drainage shall be in accordance with the current City of Austin Standard Specifications, unless otherwise noted. All work shall be in accordance with the building codes, ordinances, safety codes, and rules and procedures of the City of West Lake Hills.
2. All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In reviewing these plans, the City of West Lake Hills must rely on the adequacy of the work of the design engineer.
3. Prior to any construction, the Contractor shall apply for and secure all proper permits from the appropriate authorities.
4. Blasting or burning shall not be permitted on this project.
5. The contractor shall verify all depths and locations of existing utilities prior to beginning construction. Any discrepancies with the construction plans found in the field shall be brought to the attention of the design engineer immediately. The design engineer shall be responsible for revising the plans as appropriate and submitting a revision to the City.
6. Contractor will be responsible for keeping roads and drives adjacent to and near the site free from soil, sediment, and debris. Contractor will not remove soil, sediment, or debris from any area or vehicle by means of water, only shoveling and sweeping will be allowed. Contractor will be responsible for dust control from the site.
7. Any existing utilities, pavement, curbs, sidewalks, structures, trees, etc., not planned for destruction or removal or other public infrastructure damaged or removed will be by the contractor at his expense before acceptance of the project.
8. After the construction permit has been issued and prior to the beginning construction, the owner or his representative shall schedule a pre-construction conference between the City of West Lake Hills, Design Engineer, Contractor(s), other utility companies, and any other affected parties. The City of West Lake Hills shall be contacted to set up the meeting at least 48 hours prior to the proposed meeting time.
9. Any changes or revisions to these approved plans must be submitted by the design engineer and approved by the City of West Lake Hills prior to construction of the revision.
10. Available benchmarks that may be utilized for the construction of this project are described as follows:

TRENCH SAFETY NOTES

1. In accordance with the Laws of the State of Texas and the U. S. Occupational Safety and Health Administration regulations, all trenches over 5 feet in depth in either hard and compact or soft and unstable soil shall be sloped, shored, sheeted, braced or otherwise supported. Furthermore, all trenches less than 5 feet in depth shall also be effectively protected when hazardous ground movement may be expected. Trench safety systems to be utilized for this project will be provided by the contractor.
2. In accordance with the U. S. Occupational Safety and Health Administration regulations, when persons are in trenches 4-feet deep or more, adequate means of exit, such as a ladder or steps, must be provided and located so as to require no more than 25 feet of lateral travel.
3. If trench safety system details were not provided in the plans because trenches were anticipated

to be less than 5 feet in depth and during construction it is found that trenches are in fact 5 feet or more in depth or trenches less than 5 feet in depth are in an area where hazardous ground movement is expected, all construction shall cease, the trenched area shall be barricaded and the Engineer notified immediately. Construction shall not resume until appropriate trench safety system details, as designed by a professional engineer, are retained and copies submitted to the City of West Lake Hills.

STREET AND DRAINAGE NOTES

1. All testing shall be done by an independent laboratory at the Applicant’s expense. A City Inspector shall be present during all tests. Testing shall be coordinated with the City Inspector and he shall be given a minimum of 24-hour notice prior to any testing.
2. Backfill behind the curb shall be compacted to obtain a minimum of 85% maximum density to within 3 inches of the top of curb. Material used shall be primarily granular with no rocks larger than 3 inches in the greatest dimension. The remaining 3 inches shall be clean topsoil free from all clods and suitable for sustaining plant life.
3. All RCP shall be minimum Class III.
4. The subgrade material for the streets shown herein was tested by _____. The paving sections were designed by _____ in accordance with the current City of West Lake Hills design criteria. The paving sections are to be constructed as follows:

Street	Station	Flex. Base Thickness	HMAC Thickness	Lime Stab. Thickness

5. Lots in this subdivision are located over the Edwards Aquifer Recharge Zone and subject to the current Texas Commission on Environmental Quality Edwards Rules. No building permit will be issued by the City of West Lake Hills until the requirements of the Edwards Rules are fully complied with. The applicant for a building permit is responsible for furnishing the City written compliance to the Edwards Aquifer Rules from the Texas Commission on Environmental Quality. (if applicable)
6. The FEMA maps for the City of West Lake Hills, Texas, indicate that the property shown hereon does/does not lie within a special flood hazard area as defined by FIRM Panel _____, dated _____.”
7. FLOOD WARNING: The degree of flood protection required by the City of West Lake Hills Flood Damage Prevention Ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. Acceptance of this plan by the City Council does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. Nor shall acceptance of this plan create liability on the part of the City of West Lake Hills or any official or employee thereof for any flood damages that result from reliance on the information contained within this plan or any administration decision lawfully made hereunder.

TRAFFIC MARKING NOTES

1. Barricades built to the Texas Manual on Uniform Traffic Control Devices standards shall be constructed on all dead-end streets and as necessary during construction to maintain job and public safety.

2. Any methods, street markings, and signage necessary for warning motorists, warning pedestrians, or diverting traffic during construction shall conform to the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest edition.
3. All pavement markings, markers, paint, traffic buttons, traffic controls, and signs shall be installed in accordance with the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges and the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest editions.

EROSION CONTROL NOTES

1. Every lot in this subdivision is subject to the City of West Lake Hills' site clearance procedures. No site clearance, excavation, grading or landfill shall commence unless a permit shall have first been issued for such work in accordance with the provisions of applicable ordinances. Impervious cover shall not exceed the maximum percentage permitted under City Ordinance.
2. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation). The placement of erosion/sedimentation controls shall be in accordance with the current City West Lake Hills Drainage and Erosion Control Manual and the approved Erosion and Sedimentation Control Plan. No erosion controls shall be placed beyond the property lines of the site unless written permission has been obtained from adjacent property owners.
3. All slopes shall be sodded or seeded with approved grass, grass mixtures, or ground cover suitable to the area and season in which they are applied.
4. Any major variation in materials or locations of controls or fences from those shown on the approved plans will require a revision and must be approved by the Engineer. Major revisions must be approved by the City. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be required by the City Inspector during the course of construction to correct control inadequacies.
5. The contractor is required to inspect the controls at weekly intervals and after any rainfall event to ensure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
6. All temporary erosion control measures shall not be removed until final inspection and approval of the project by the City Inspector. It shall be the responsibility of the Contractor to maintain all temporary erosion control structures and to remove each structure as approved by the City Inspector.
7. Per TPDES requirements, disturbed areas on which construction activities have ceased (temporarily or permanently) shall be stabilized within 14 days unless activity resumes within 21 days. Seeding does not constitute as stabilization.
8. Stripping of vegetation from project sites shall be phased so as to expose the minimum amount of area to soil erosion for the shortest possible period of time per the Drainage and Erosion Control Design Manual Sec.7.1(l).
9. Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.

OWNERS CERTIFICATION

AS OWNER OF THIS PROPERTY, I INTEND TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER/TRUSTEE

DATE

ENGINEERS CERTIFICATION

STATE OF TEXAS

COUNTY OF TRAVIS

I, (LICENSED PROFESSIONAL ENGINEER), DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF WEST LAKE HILLS CODE OF ORDINANCES, THE CITY MASTER PLAN AND CITY POLICY.

(SEAL & SIGNATURE OF PROFESSIONAL ENGINEER)

NAME OF PROFESSIONAL ENGINEER

DATE

CITY ACCEPTANCE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF WEST LAKE HILLS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

CITY ADMINISTRATOR

DATE



CHECKLIST FOR TYPE II NON-RESIDENTIAL DEVELOPMENT

Project Name/Address: _____ Permit Number: _____

The following information shall be shown on the plans and/or submitted with the plans:

GENERAL REQUIREMENTS

The following shall be shown on all plan view sheets, as applicable.

- ___1. North arrow, north to be at top of sheet if possible
- ___2. Legend with all acronyms defined
- ___3. Scale bar and numeric scale, in generally accepted engineering scale. Minimum scale 1"=50'
- ___4. Required front, side and rear setbacks as defined in the Ordinance Sec 22.03.281
- ___5. Survey information including planimetrics features and labels, as appropriate
- ___6. Name and location of existing and proposed easements, right-of-way, streets, pipelines, water courses, etc. within or abutting the lot where development
- ___7. Project boundaries
- ___8. The dimensions of any right-of-way, easement, or other part of the property intended to be dedicated to public use
- ___9. Post-development 100-year frequency event water surface elevation boundaries shall be shown and contained within an easement

COVER SHEET

- ___1. Project name, legal description, existing and proposed zoning, and type of plans included
- ___2. Location map with north arrow, scale, and location of jurisdictional boundaries
- ___3. The name, address and phone numbers of the Applicant, record owner, registered public surveyor, and licensed professional engineer (if applicable)
- ___4. A sheet index
- ___5. A revision block
- ___6. A list of utility providers and contact information
- ___7. The permit numbers of other entities or jurisdictions which have authority over the project
- ___8. A description of any variances and the date of which they were approved
- ___9. Owner's certification located on website
- ___10. Engineer's certification located on website
- ___11. Standard signature block for City acceptance located on website

PROJECT NOTES

- ___1. The West Lake Hills Standard Construction Notes located on the City website
- ___2. A sequence of construction
- ___3. Any other notes required by other regulatory agencies (e.g. TxDOT)

EXISTING CONDITIONS

- ___1. Surveyor's certification
- ___2. Survey control information including locations of all benchmarks, permanent monuments and control points
- ___3. Boundary survey with dimensions and bearings; boundary shown in solid bold lines
- ___4. Property lines, address, land use, and zoning of adjacent properties
- ___5. One-foot contours a minimum of 50 feet beyond all site boundaries



CHECKLIST FOR TYPE II NON-RESIDENTIAL DEVELOPMENT

- ___6. On the ground survey of existing planimetrics including buildings, sidewalks, pavements, utilities, septic systems, drainage features, and other features not less than one year old
- ___7. Current and certified tree survey including tree table with size and species
- ___8. Location, type, acreage, and percentage of existing impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___9. Total Site Area

SITE PLAN

- ___1. Location, type, acreage, and percentage of proposed impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___2. Driveway spacing from centerline to centerline of all adjacent and opposing driveways
- ___3. Fire lanes and fire striping notes or details
- ___4. Fire lanes and fire striping notes or details
- ___5. Required parking calculations and parking layout with dimensions per Ordinance Sec. 22.03.242
- ___6. Location of screening with dimensions and materials proposed
- ___7. Dumpster location(s) and screening

GRADING PLAN

- ___1. Existing and proposed topographic contours
- ___2. Locations of all proposed cut and fill or other structure elevating techniques, levees, channel modifications and detention facilities
- ___3. Proposed swales and typical cross sections
- ___4. Finished floor elevations and spot grades as necessary to demonstrate grading
- ___5. Flow arrows

EROSION AND SEDIMENTATION CONTROL PLAN

- ___1. Existing and proposed topographic conditions
- ___2. Existing and proposed street, utility, and drainage facilities
- ___3. Location / limits of construction/disturbed area
- ___4. Contractor staging areas, vehicle access areas, temporary and permanent spoil storage areas
- ___5. The location, size, and character of all temporary and permanent erosion and sediment control facilities with appropriate erosion details
- ___6. A plan for restoration for the mitigation of erosion in all areas disturbed during construction
- ___7. Maximum cut/fill limits per Drainage and Erosion Control Design Manual Section 9.4.1 criteria.

DRAINAGE IMPROVEMENTS

- ___1. Drainage Report shall be prepared, signed and sealed by a professional engineer licensed in the State of Texas, experienced in civil engineering, and having a thorough knowledge of hydraulic analysis and design per Drainage and Erosion Control Manual 2.1.4.1 criteria.
- ___2. Existing and proposed drainage area boundaries showing watershed delineations, existing and proposed topographic contours, and existing and proposed drainage infrastructure
- ___3. Drainage impact assessment per Drainage and Erosion Control Design Manual Sec. 2.4 showing points of concentration used for analysis for the 5-, 25, and 100-year storm events
- ___4. Plan view of all storm sewers including size, pipe material, length, and elevation of all drainage facilities

- ___5. Appropriate drainage details

CHANNEL / DETENTION POND PLAN AND DETAILS

- ___1. Plan view of all facilities including geometry, side slopes, and inlet and outlet points per the Drainage and Erosion Control Design Manual Sec. 4.5.1
- ___2. Profiles of all proposed channels including existing and proposed finished grade, hydraulic grade lines, velocity calculations, capacity, flow line elevations, and slopes per the Drainage and Erosion Control Design Manual Sec. 4.5.3
- ___3. Cross sections for proposed facilities showing channel geometry, side slopes, and 100-year water surface elevations

WATER QUALITY

- ___1. Edwards Aquifer Zone Designation (Contributing or Recharge). Development and redevelopment located over the Edwards Aquifer Regulatory Zones shall comply with the latest TCEQ published rules and technical design guidance for the Edwards Aquifer in accordance with 30 TAC Chapter 213 (Edwards Aquifer Rules).

UTILITY LAYOUTS

- ___1. The plan shall indicate the availability of existing water and wastewater infrastructure necessary to serve all structures and uses including septic systems per Ordinance Chapter 18.
- ___2. The size, pipe material and classification, and location (vertical and horizontal) with respect to easements, rights-of way, and property lines of the existing and proposed service line, appurtenances, and other related structures sufficient to serve the proposed land uses and development shall be identified

ELECTRIC AND LIGHTING PLAN

- ___1. Exterior lighting including service to all structures, location of existing and proposed transformers and lighting fixtures per Ordinance Sec. 24.03.003
- ___2. Lighting fixture detail cut sheets and detail of light poles
- ___3. Lighting fixture lumen schedule and calculation table.

BUILDING FOUNDATION HEIGHT

- ___1. Building elevations showing any architectural features and indicating the height of the proposed structure and foundation height per Ordinance Sec. 22.03.281

LANDSCAPE PLAN

- ___1. The location, size, and species of all trees to be preserved or removed and location of replacement trees
- ___2. The location, size, species, and spacing of all plant and screening materials to be used
- ___3. Layout and description of irrigation, sprinkler, or water systems including placement of water sources.
- ___4. Description of maintenance provision
- ___5. Intersection sight distance visibility triangles shown on the plan
- ___6. Landscaping area and tree mitigation

I hereby confirm that this application is complete and all required information is attached. I further agree to comply with all platting and subdivision design requirements of the City of West Lake Hills. I understand that the permit will not be issued unless staff comments are satisfactorily addressed.

Signature of Owner/Applicant

Date

Print Name & Title

GENERAL NOTES

1. All materials and construction methods for site grading, paving, sitework, and drainage shall be in accordance with the current City of Austin Standard Specifications, unless otherwise noted. All work shall be in accordance with the building codes, ordinances, safety codes, and rules and procedures of the City of West Lake Hills.
2. All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In reviewing these plans, the City of West Lake Hills must rely on the adequacy of the work of the design engineer.
3. Prior to any construction, the Contractor shall apply for and secure all proper permits from the appropriate authorities.
4. Blasting or burning shall not be permitted on this project.
5. The contractor shall verify all depths and locations of existing utilities prior to beginning construction. Any discrepancies with the construction plans found in the field shall be brought to the attention of the design engineer immediately. The design engineer shall be responsible for revising the plans as appropriate and submitting a revision to the City.
6. Contractor will be responsible for keeping roads and drives adjacent to and near the site free from soil, sediment, and debris. Contractor will not remove soil, sediment, or debris from any area or vehicle by means of water, only shoveling and sweeping will be allowed. Contractor will be responsible for dust control from the site.
7. Any existing utilities, pavement, curbs, sidewalks, structures, trees, etc., not planned for destruction or removal or other public infrastructure damaged or removed will be by the contractor at his expense before acceptance of the project.
8. After the construction permit has been issued and prior to the beginning construction, the owner or his representative shall schedule a pre-construction conference between the City of West Lake Hills, Design Engineer, Contractor(s), other utility companies, and any other affected parties. The City of West Lake Hills shall be contacted to set up the meeting at least 48 hours prior to the proposed meeting time.
9. Any changes or revisions to these approved plans must be submitted by the design engineer and approved by the City of West Lake Hills prior to construction of the revision.
10. Available benchmarks that may be utilized for the construction of this project are described as follows:

TRENCH SAFETY NOTES

1. In accordance with the Laws of the State of Texas and the U. S. Occupational Safety and Health Administration regulations, all trenches over 5 feet in depth in either hard and compact or soft and unstable soil shall be sloped, shored, sheeted, braced or otherwise supported. Furthermore, all trenches less than 5 feet in depth shall also be effectively protected when hazardous ground movement may be expected. Trench safety systems to be utilized for this project will be provided by the contractor.
2. In accordance with the U. S. Occupational Safety and Health Administration regulations, when persons are in trenches 4-feet deep or more, adequate means of exit, such as a ladder or steps, must be provided and located so as to require no more than 25 feet of lateral travel.
3. If trench safety system details were not provided in the plans because trenches were anticipated

to be less than 5 feet in depth and during construction it is found that trenches are in fact 5 feet or more in depth or trenches less than 5 feet in depth are in an area where hazardous ground movement is expected, all construction shall cease, the trenched area shall be barricaded and the Engineer notified immediately. Construction shall not resume until appropriate trench safety system details, as designed by a professional engineer, are retained and copies submitted to the City of West Lake Hills.

STREET AND DRAINAGE NOTES

1. All testing shall be done by an independent laboratory at the Applicant’s expense. A City Inspector shall be present during all tests. Testing shall be coordinated with the City Inspector and he shall be given a minimum of 24-hour notice prior to any testing.
2. Backfill behind the curb shall be compacted to obtain a minimum of 85% maximum density to within 3 inches of the top of curb. Material used shall be primarily granular with no rocks larger than 3 inches in the greatest dimension. The remaining 3 inches shall be clean topsoil free from all clods and suitable for sustaining plant life.
3. All RCP shall be minimum Class III.
4. The subgrade material for the streets shown herein was tested by _____. The paving sections were designed by _____ in accordance with the current City of West Lake Hills design criteria. The paving sections are to be constructed as follows:

Street	Station	Flex. Base Thickness	HMAC Thickness	Lime Stab. Thickness

5. Lots in this subdivision are located over the Edwards Aquifer Recharge Zone and subject to the current Texas Commission on Environmental Quality Edwards Rules. No building permit will be issued by the City of West Lake Hills until the requirements of the Edwards Rules are fully complied with. The applicant for a building permit is responsible for furnishing the City written compliance to the Edwards Aquifer Rules from the Texas Commission on Environmental Quality. (if applicable)
6. The FEMA maps for the City of West Lake Hills, Texas, indicate that the property shown hereon does/does not lie within a special flood hazard area as defined by FIRM Panel _____, dated _____.”
7. FLOOD WARNING: The degree of flood protection required by the City of West Lake Hills Flood Damage Prevention Ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. Acceptance of this plan by the City Council does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. Nor shall acceptance of this plan create liability on the part of the City of West Lake Hills or any official or employee thereof for any flood damages that result from reliance on the information contained within this plan or any administration decision lawfully made hereunder.

TRAFFIC MARKING NOTES

1. Barricades built to the Texas Manual on Uniform Traffic Control Devices standards shall be constructed on all dead-end streets and as necessary during construction to maintain job and public safety.

2. Any methods, street markings, and signage necessary for warning motorists, warning pedestrians, or diverting traffic during construction shall conform to the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest edition.
3. All pavement markings, markers, paint, traffic buttons, traffic controls, and signs shall be installed in accordance with the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges and the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest editions.

EROSION CONTROL NOTES

1. Every lot in this subdivision is subject to the City of West Lake Hills' site clearance procedures. No site clearance, excavation, grading or landfill shall commence unless a permit shall have first been issued for such work in accordance with the provisions of applicable ordinances. Impervious cover shall not exceed the maximum percentage permitted under City Ordinance.
2. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation). The placement of erosion/sedimentation controls shall be in accordance with the current City West Lake Hills Drainage and Erosion Control Manual and the approved Erosion and Sedimentation Control Plan. No erosion controls shall be placed beyond the property lines of the site unless written permission has been obtained from adjacent property owners.
3. All slopes shall be sodded or seeded with approved grass, grass mixtures, or ground cover suitable to the area and season in which they are applied.
4. Any major variation in materials or locations of controls or fences from those shown on the approved plans will require a revision and must be approved by the Engineer. Major revisions must be approved by the City. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be required by the City Inspector during the course of construction to correct control inadequacies.
5. The contractor is required to inspect the controls at weekly intervals and after any rainfall event to ensure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
6. All temporary erosion control measures shall not be removed until final inspection and approval of the project by the City Inspector. It shall be the responsibility of the Contractor to maintain all temporary erosion control structures and to remove each structure as approved by the City Inspector.
7. Per TPDES requirements, disturbed areas on which construction activities have ceased (temporarily or permanently) shall be stabilized within 14 days unless activity resumes within 21 days. Seeding does not constitute as stabilization.
8. Stripping of vegetation from project sites shall be phased so as to expose the minimum amount of area to soil erosion for the shortest possible period of time per the Drainage and Erosion Control Design Manual Sec.7.1(l).
9. Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.

OWNERS CERTIFICATION

AS OWNER OF THIS PROPERTY, I INTEND TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER/TRUSTEE

DATE

ENGINEERS CERTIFICATION

STATE OF TEXAS

COUNTY OF TRAVIS

I, (LICENSED PROFESSIONAL ENGINEER), DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF WEST LAKE HILLS CODE OF ORDINANCES, THE CITY MASTER PLAN AND CITY POLICY.

(SEAL & SIGNATURE OF PROFESSIONAL ENGINEER)

NAME OF PROFESSIONAL ENGINEER

DATE

CITY ACCEPTANCE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF WEST LAKE HILLS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

CITY ADMINISTRATOR

DATE



CHECKLIST FOR TYPE II RESIDENTIAL DEVELOPMENT

Project Name/Address: _____ Permit Number: _____

The following information shall be shown on the plans and/or submitted with the plans:

GENERAL REQUIREMENTS

The following shall be shown on all plan view sheets, as applicable.

- ___1. North arrow, north to be at top of sheet if possible
- ___2. Legend with all acronyms defined
- ___3. Scale bar and numeric scale, in generally accepted engineering scale. Minimum scale 1"=50'
- ___4. Required front, side and rear setbacks as defined in the Ordinance Sec 22.03.281
- ___5. Survey information including planimetrics features and labels, as appropriate
- ___6. Name and location of existing and proposed easements, right-of-way, streets, pipelines, water courses, etc. within or abutting the lot where development
- ___7. Project boundaries
- ___8. The dimensions of any right-of-way, easement, or other part of the property intended to be dedicated to public use
- ___9. Post-development 100-year frequency event water surface elevation boundaries shall be shown and contained within an easement

COVER SHEET

- ___1. Project name, legal description, existing and proposed zoning, and type of plans included
- ___2. Location map with north arrow, scale, and location of jurisdictional boundaries
- ___3. The name, address and phone numbers of the Applicant, record owner, registered public surveyor, and licensed professional engineer (if applicable)
- ___4. A sheet index
- ___5. A revision block
- ___6. A list of utility providers and contact information
- ___7. The permit numbers of other entities or jurisdictions which have authority over the project
- ___8. A description of any variances and the date of which they were approved
- ___9. Owner's certification located on website
- ___10. Engineer's certification located on website
- ___11. Standard signature block for City acceptance located on website

PROJECT NOTES

- ___1. The West Lake Hills Standard Construction Notes located on the City website
- ___2. A sequence of construction
- ___3. Any other notes required by other regulatory agencies (e.g. TxDOT)

EXISTING CONDITIONS

- ___1. Surveyor's certification
- ___2. Survey control information including locations of all benchmarks, permanent monuments and control points
- ___3. Boundary survey with dimensions and bearings; boundary shown in solid bold lines
- ___4. Property lines, address, land use, and zoning of adjacent properties
- ___5. One-foot contours a minimum of 50 feet beyond all site boundaries
- ___6. On the ground survey of existing planimetrics including buildings, sidewalks, pavements, utilities, septic systems, drainage features, and other features not less than one year old



CHECKLIST FOR TYPE II RESIDENTIAL DEVELOPMENT

- ___7. Current and certified tree survey including tree table with size and species
- ___8. Location, type, acreage, and percentage of existing impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___9. Total Site Area

SITE PLAN

- ___1. Location, type, acreage, and percentage of proposed impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___2. Driveway spacing from centerline to centerline of all adjacent and opposing driveways
- ___3. Fire lanes and fire striping notes or details
- ___4. Fire lanes and fire striping notes or details
- ___5. Required parking calculations/ parking layout with dimensions per Ordinance Sec. 22.03.242
- ___6. Location of screening with dimensions and materials proposed
- ___7. Dumpster location(s) and screening

GRADING PLAN

- ___1. Existing and proposed topographic contours
- ___2. Locations of all proposed cut and fill or other structure elevating techniques, levees, channel modifications and detention facilities.
- ___3. Proposed swales and typical cross sections
- ___4. Finished floor elevations and spot grades as necessary to demonstrate grading
- ___5. Flow arrows

EROSION AND SEDIMENTATION CONTROL PLAN

- ___1. Existing and proposed topographic conditions
- ___2. Existing and proposed street, utility, and drainage facilities
- ___3. Location / limits of construction/disturbed area.
- ___4. Contractor staging areas, vehicle access areas, temporary and permanent spoil storage areas
- ___5. The location, size, and character of all temporary and permanent erosion and sediment control facilities with appropriate erosion details
- ___6. A plan for restoration for the mitigation of erosion in all areas disturbed during construction
- ___7. Maximum cut/fill limits per Drainage and Erosion Control Design Manual Section 9.4.1 criteria.

DRAINAGE IMPROVEMENTS

- ___1. Drainage and Water Quality Report shall be prepared, signed and sealed by a professional engineer licensed in the State of Texas, experienced in civil engineering per Drainage and Erosion Control Design Manual Section 2.1.3.1 criteria.
- ___2. Existing and proposed drainage area boundaries showing watershed delineations, existing and proposed topographic contours, and existing and proposed drainage infrastructure
- ___3. Drainage impact assessment per Drainage and Erosion Control Design Manual Sec. 2.4 showing points of concentration used for analysis for the 5-, 25, and 100-year storm events
- ___4. Plan view of all storm sewers including size, pipe material, length, and elevation of all drainage facilities
- ___5. Appropriate drainage details

CHANNEL / DETENTION POND PLAN AND DETAILS

- ___1. Plan view of all facilities including geometry, side slopes, and inlet and outlet points per the Drainage and Erosion Control Design Manual Sec. 4.5.1
- ___2. Profiles of all proposed channels including existing and proposed finished grade, hydraulic grade lines, velocity calculations, capacity, flow line elevations, and slopes per the Drainage and Erosion Control Design Manual Sec. 4.5.3
- ___3. Cross sections for proposed facilities showing channel geometry, side slopes, and 100-year water surface elevations

WATER QUALITY

- ___1. Edwards Aquifer Zone Designation (Contributing or Recharge). Development and redevelopment located over the Edwards Aquifer Regulatory Zones shall comply with the latest TCEQ published rules and technical design guidance for the Edwards Aquifer in accordance with 30 TAC Chapter 213 (Edwards Aquifer Rules).
- ___2. All single-family residential developments with impervious cover above 20% must provide water quality treatment for both the Recharge and Contributing Zones. Must include two impervious cover tables: one addressing Building Rules/Drainage Mitigation and a second for water quality determination.

UTILITY LAYOUTS

- ___1. The plan shall indicate the availability of existing water and wastewater infrastructure necessary to serve all structures and uses including septic systems per Ordinance Chapter 18.
- ___2. The size, pipe material and classification, and location (vertical and horizontal) with respect to easements, rights-of way, and property lines of the existing and proposed service line, appurtenances, and other related structures sufficient to serve the proposed land uses and development shall be identified

ELECTRIC AND LIGHTING PLAN

- ___1. Exterior lighting including service to all structures, location of existing and proposed transformers and lighting fixtures per Ordinance Sec. 24.03.003
- ___2. Lighting fixture detail cut sheets and detail of light poles
- ___3. Lighting fixture lumen schedule and calculation table.

BUILDING FOUNDATION HEIGHT

- ___1. Building elevations showing any architectural features and indicating the height of the proposed structure and foundation height per Ordinance Sec. 22.03.281

LANDSCAPE PLAN

- ___1. The location, size, and species of all trees to be preserved or removed and location of replacement trees
- ___2. The location, size, species, and spacing of all plant and screening materials to be used
- ___3. Layout and description of irrigation, sprinkler, or water systems including placement of water sources.
- ___4. Description of maintenance provision
- ___5. Intersection sight distance visibility triangles shown on the plan
- ___6. Landscaping area and tree mitigation

I hereby confirm that this application is complete and all required information is attached. I further agree to comply with all platting and subdivision design requirements of the City of West Lake Hills. I understand that the permit will not be issued unless staff comments are satisfactorily addressed.

Signature of Owner/Applicant

Date

Print Name & Title

GENERAL NOTES

1. All materials and construction methods for site grading, paving, sitework, and drainage shall be in accordance with the current City of Austin Standard Specifications, unless otherwise noted. All work shall be in accordance with the building codes, ordinances, safety codes, and rules and procedures of the City of West Lake Hills.
2. All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In reviewing these plans, the City of West Lake Hills must rely on the adequacy of the work of the design engineer.
3. Prior to any construction, the Contractor shall apply for and secure all proper permits from the appropriate authorities.
4. Blasting or burning shall not be permitted on this project.
5. The contractor shall verify all depths and locations of existing utilities prior to beginning construction. Any discrepancies with the construction plans found in the field shall be brought to the attention of the design engineer immediately. The design engineer shall be responsible for revising the plans as appropriate and submitting a revision to the City.
6. Contractor will be responsible for keeping roads and drives adjacent to and near the site free from soil, sediment, and debris. Contractor will not remove soil, sediment, or debris from any area or vehicle by means of water, only shoveling and sweeping will be allowed. Contractor will be responsible for dust control from the site.
7. Any existing utilities, pavement, curbs, sidewalks, structures, trees, etc., not planned for destruction or removal or other public infrastructure damaged or removed will be by the contractor at his expense before acceptance of the project.
8. After the construction permit has been issued and prior to the beginning construction, the owner or his representative shall schedule a pre-construction conference between the City of West Lake Hills, Design Engineer, Contractor(s), other utility companies, and any other affected parties. The City of West Lake Hills shall be contacted to set up the meeting at least 48 hours prior to the proposed meeting time.
9. Any changes or revisions to these approved plans must be submitted by the design engineer and approved by the City of West Lake Hills prior to construction of the revision.
10. Available benchmarks that may be utilized for the construction of this project are described as follows:

TRENCH SAFETY NOTES

1. In accordance with the Laws of the State of Texas and the U. S. Occupational Safety and Health Administration regulations, all trenches over 5 feet in depth in either hard and compact or soft and unstable soil shall be sloped, shored, sheeted, braced or otherwise supported. Furthermore, all trenches less than 5 feet in depth shall also be effectively protected when hazardous ground movement may be expected. Trench safety systems to be utilized for this project will be provided by the contractor.
2. In accordance with the U. S. Occupational Safety and Health Administration regulations, when persons are in trenches 4-feet deep or more, adequate means of exit, such as a ladder or steps, must be provided and located so as to require no more than 25 feet of lateral travel.
3. If trench safety system details were not provided in the plans because trenches were anticipated

to be less than 5 feet in depth and during construction it is found that trenches are in fact 5 feet or more in depth or trenches less than 5 feet in depth are in an area where hazardous ground movement is expected, all construction shall cease, the trenched area shall be barricaded and the Engineer notified immediately. Construction shall not resume until appropriate trench safety system details, as designed by a professional engineer, are retained and copies submitted to the City of West Lake Hills.

STREET AND DRAINAGE NOTES

1. All testing shall be done by an independent laboratory at the Applicant’s expense. A City Inspector shall be present during all tests. Testing shall be coordinated with the City Inspector and he shall be given a minimum of 24-hour notice prior to any testing.
2. Backfill behind the curb shall be compacted to obtain a minimum of 85% maximum density to within 3 inches of the top of curb. Material used shall be primarily granular with no rocks larger than 3 inches in the greatest dimension. The remaining 3 inches shall be clean topsoil free from all clods and suitable for sustaining plant life.
3. All RCP shall be minimum Class III.
4. The subgrade material for the streets shown herein was tested by _____. The paving sections were designed by _____ in accordance with the current City of West Lake Hills design criteria. The paving sections are to be constructed as follows:

Street	Station	Flex. Base Thickness	HMAC Thickness	Lime Stab. Thickness

5. Lots in this subdivision are located over the Edwards Aquifer Recharge Zone and subject to the current Texas Commission on Environmental Quality Edwards Rules. No building permit will be issued by the City of West Lake Hills until the requirements of the Edwards Rules are fully complied with. The applicant for a building permit is responsible for furnishing the City written compliance to the Edwards Aquifer Rules from the Texas Commission on Environmental Quality. (if applicable)
6. The FEMA maps for the City of West Lake Hills, Texas, indicate that the property shown hereon does/does not lie within a special flood hazard area as defined by FIRM Panel _____, dated _____.”
7. FLOOD WARNING: The degree of flood protection required by the City of West Lake Hills Flood Damage Prevention Ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. Acceptance of this plan by the City Council does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. Nor shall acceptance of this plan create liability on the part of the City of West Lake Hills or any official or employee thereof for any flood damages that result from reliance on the information contained within this plan or any administration decision lawfully made hereunder.

TRAFFIC MARKING NOTES

1. Barricades built to the Texas Manual on Uniform Traffic Control Devices standards shall be constructed on all dead-end streets and as necessary during construction to maintain job and public safety.

2. Any methods, street markings, and signage necessary for warning motorists, warning pedestrians, or diverting traffic during construction shall conform to the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest edition.
3. All pavement markings, markers, paint, traffic buttons, traffic controls, and signs shall be installed in accordance with the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges and the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest editions.

EROSION CONTROL NOTES

1. Every lot in this subdivision is subject to the City of West Lake Hills' site clearance procedures. No site clearance, excavation, grading or landfill shall commence unless a permit shall have first been issued for such work in accordance with the provisions of applicable ordinances. Impervious cover shall not exceed the maximum percentage permitted under City Ordinance.
2. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation). The placement of erosion/sedimentation controls shall be in accordance with the current City West Lake Hills Drainage and Erosion Control Manual and the approved Erosion and Sedimentation Control Plan. No erosion controls shall be placed beyond the property lines of the site unless written permission has been obtained from adjacent property owners.
3. All slopes shall be sodded or seeded with approved grass, grass mixtures, or ground cover suitable to the area and season in which they are applied.
4. Any major variation in materials or locations of controls or fences from those shown on the approved plans will require a revision and must be approved by the Engineer. Major revisions must be approved by the City. Minor changes to be made as field revisions to the Erosion and Sedimentation Control Plan may be required by the City Inspector during the course of construction to correct control inadequacies.
5. The contractor is required to inspect the controls at weekly intervals and after any rainfall event to ensure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
6. All temporary erosion control measures shall not be removed until final inspection and approval of the project by the City Inspector. It shall be the responsibility of the Contractor to maintain all temporary erosion control structures and to remove each structure as approved by the City Inspector.
7. Per TPDES requirements, disturbed areas on which construction activities have ceased (temporarily or permanently) shall be stabilized within 14 days unless activity resumes within 21 days. Seeding does not constitute as stabilization.
8. Stripping of vegetation from project sites shall be phased so as to expose the minimum amount of area to soil erosion for the shortest possible period of time per the Drainage and Erosion Control Design Manual Sec.7.1(l).
9. Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.

OWNERS CERTIFICATION

AS OWNER OF THIS PROPERTY, I INTEND TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER/TRUSTEE

DATE

ENGINEERS CERTIFICATION

STATE OF TEXAS

COUNTY OF TRAVIS

I, (LICENSED PROFESSIONAL ENGINEER), DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF WEST LAKE HILLS CODE OF ORDINANCES, THE CITY MASTER PLAN AND CITY POLICY.

(SEAL & SIGNATURE OF PROFESSIONAL ENGINEER)

NAME OF PROFESSIONAL ENGINEER

DATE

CITY ACCEPTANCE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF WEST LAKE HILLS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

ACCEPTED FOR CONSTRUCTION:

CITY ADMINISTRATOR

DATE



CHECKLIST FOR TYPE III NON-RESIDENTIAL DEVELOPMENT

Project Name/Address: _____ Permit Number: _____

The following information shall be shown on the plans and/or submitted with the plans:

GENERAL REQUIREMENTS

The following shall be shown on all plan view sheets, as applicable.

- ___1. North arrow, north to be at top of sheet if possible
- ___2. Legend with all acronyms defined
- ___3. Scale bar and numeric scale, in generally accepted engineering scale. Minimum scale 1"=50'
- ___4. Required front, side and rear setbacks as defined in the Ordinance Sec 22.03.281
- ___5. Survey information including planimetrics features and labels, as appropriate
- ___6. Name and location of existing and proposed easements, right-of-way, streets, pipelines, water courses, etc. within or abutting the lot where development
- ___7. Project boundaries
- ___8. The dimensions of any right-of-way, easement, or other part of the property intended to be dedicated to public use
- ___9. Existing, proposed, and future improvements.
- ___10. Post-development 100-year frequency event water surface elevation boundaries shall be shown and contained within an easement

COVER SHEET

- ___1. Project name, legal description, existing and proposed zoning, and type of plans included
- ___2. Location map with north arrow, scale, and location of jurisdictional boundaries
- ___3. The name, address and phone numbers of the Applicant, record owner, registered public surveyor, and licensed professional engineer
- ___4. A sheet index
- ___5. A revision block
- ___6. A list of utility providers and contact information
- ___7. The permit numbers of other entities or jurisdictions which have authority over the project
- ___8. A description of any variances and the date of which they were approved
- ___9. Owner's certification located on website
- ___10. Engineer's certification located on website
- ___11. Standard signature block for City acceptance located on website

PROJECT NOTES

- ___1. The West Lake Hills Standard Construction Notes located on the City website
- ___2. A sequence of construction
- ___3. Any other notes required by other regulatory agencies (e.g. TxDOT)

EXISTING CONDITIONS

- ___1. Surveyor's certification
- ___2. Survey control information including locations of all benchmarks, permanent monuments and control points
- ___3. Boundary survey with dimensions and bearings; boundary shown in solid bold lines
- ___4. Property lines, address, land use, and zoning of adjacent properties
- ___5. One-foot contours a minimum of 50 feet beyond all site boundaries



CHECKLIST FOR TYPE III NON-RESIDENTIAL DEVELOPMENT

- ___ 6. On the ground survey of existing planimetrics including buildings, sidewalks, pavements, utilities, septic systems, drainage features, and other features not less than one year old
- ___ 7. Current and certified tree survey including tree table with size and species
- ___ 8. Location, type, acreage, and percentage of existing impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___ 9. Total Site Area

SITE PLAN

- ___ 1. Location, type, acreage, and percentage of proposed impervious cover per Drainage and Erosion Control Design Manual Section 2.1.6 impervious cover criteria.
- ___ 2. Driveway spacing from centerline to centerline of all adjacent and opposing driveways
- ___ 3. Fire lanes and fire striping notes or details
- ___ 4. Required parking calculations and parking layout with dimensions per Ordinance Sec. 22.03.242
- ___ 5. Location of screening with dimensions and materials proposed
- ___ 6. Dumpster location(s) and screening

STREET PLAN AND PROFILES

- ___ 1. Attendant documents containing additional information required to evaluate the proposed roadway improvements, including geotechnical information and traffic impact studies
- ___ 2. Horizontal layouts and alignments showing geometric data and other pertinent design details.
- ___ 3. Direction of storm water flow and the location of existing and proposed drainage facilities
- ___ 4. Vertical layouts and alignments showing existing and proposed center line, right and left right-of-way line elevations. The vertical layout shall show the location of drainage facilities
- ___ 5. Typical paving sections showing right-of-way width, lane widths, median widths, shoulder widths, and pavement recommendations
- ___ 6. Location and dimensions of all sidewalks including location of pedestrian ramps
- ___ 7. Location, type, and size of all proposed street signs and markings in accordance with TxMUTCD including end of street markings
- ___ 8. Identify all areas of proposed cut and fill, including bridges, and provide details
- ___ 9. Appropriate roadway details

GRADING PLAN

- ___ 1. Existing and proposed topographic contours
- ___ 2. Locations of all proposed cut and fill or other structure elevating techniques, levees, channel modifications and detention facilities
- ___ 3. Proposed swales and typical cross sections
- ___ 4. Finished floor elevations and spot grades as necessary to demonstrate grading
- ___ 5. Flow arrows
- ___ 6. Fill specifications

EROSION AND SEDIMENTATION CONTROL PLAN

- ___ 1. Proposed fill, retaining walls, levees, channel modifications and detention facilities
- ___ 2. Existing and proposed topographic conditions
- ___ 3. Existing and proposed street, utility, and drainage facilities
- ___ 4. Location / limits of construction/disturbed area



CHECKLIST FOR TYPE III NON-RESIDENTIAL DEVELOPMENT

- ___5. Contractor staging areas, vehicle access areas, temporary and permanent spoil storage areas
- ___6. The location, size, and character of all temporary and permanent erosion and sediment control facilities with appropriate erosion details
- ___7. A plan for restoration for the mitigation of erosion in all areas disturbed during construction
- ___8. Maximum cut/fill limits per Drainage and Erosion Control Design Manual Section 9.4.1 criteria.

DRAINAGE IMPROVEMENTS

- ___1. Drainage and Water Quality Report shall be prepared, signed and sealed by a professional engineer licensed in the State of Texas, experienced in civil engineering, and having a thorough knowledge of hydraulic analysis and design per Drainage and Erosion Control Design Manual Section 2.1.5.1 criteria.
- ___2. Existing and proposed drainage area boundaries showing watershed delineations, existing and proposed topographic contours, and existing and proposed drainage infrastructure
- ___3. Drainage impact assessment per Drainage and Erosion Control Design Manual Sec. 2.4 showing points of concentration used for analysis for the 5, 25, and 100-year storm events
- ___4. Plan view of all storm sewers including size, pipe material, length, and elevation of all drainage facilities
- ___5. Vertical layouts and alignments showing existing and proposed ground profile, inlet locations with top elevations, pipe grades and elevations, and utility crossings. The layouts shall show the line designation, design flows, velocity, and the hydraulic grade lines for the 25-year and 100-year storm events
- ___6. Appropriate drainage details

CHANNEL / DETENTION POND PLAN AND DETAILS

- ___1. Plan view of all facilities including geometry, side slopes, and inlet and outlet points per the Drainage and Erosion Control Design Manual Sec. 4.5.1
- ___2. Profiles of all proposed channels including existing and proposed finished grade, hydraulic grade lines, velocity calculations, capacity, flow line elevations, and slopes per the Drainage and Erosion Control Design Manual Sec. 4.5.3
- ___3. Cross sections for proposed facilities showing channel geometry, side slopes, and 100-year water surface elevations
- ___4. Design data sufficient to verify compliance the Drainage and Erosion Control Design Manual Chapter 5 including stage-storage-discharge table, size, total capacity, velocity, water surface elevation, and freeboard

WATER QUALITY

- ___1. Edwards Aquifer Zone Designation (Contributing or Recharge). Development and redevelopment located over the Edwards Aquifer Regulatory Zones shall comply with the latest TCEQ published rules and technical design guidance for the Edwards Aquifer in accordance with 30 TAC Chapter 213 (Edwards Aquifer Rules).



CHECKLIST FOR TYPE III NON-RESIDENTIAL DEVELOPMENT

UTILITY LAYOUTS

- ___1. The plan shall indicate the availability of existing water and wastewater infrastructure necessary to serve all structures and uses including septic systems per Ordinance Chapter 18.
- ___2. The size, pipe material and classification, and location (vertical and horizontal) with respect to easements, rights-of way, and property lines of the existing and proposed service line, appurtenances, and other related structures sufficient to serve the proposed land uses and development shall be identified
- ___3. Details of appurtenances and connection with the existing City wastewater system

ELECTRIC AND LIGHTING PLAN

- ___1. Exterior lighting including service to all structures, location of existing and proposed transformers and lighting fixtures per Ordinance Sec. Sec 24.03.003
- ___2. Lighting fixture detail cut sheets and detail of light poles
- ___3. Lighting fixture lumen schedule and calculation table.

BUILDING ELEVATIONS

- ___1. Building elevations showing any architectural features and indicating the height of the proposed structure per Ordinance Sec. 22.03.281

LANDSCAPE PLAN

- ___1. The location, size, and species of all trees to be preserved or removed and location of replacement trees
- ___2. The location, size, species, and spacing of all plant and screening materials to be used
- ___3. Layout and description of irrigation, sprinkler, or water systems including placement of water sources.
- ___4. Description of maintenance provision
- ___5. Intersection sight distance visibility triangles shown on the plan
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I hereby confirm that this application is complete and all required information is attached. I further agree to comply with all platting and subdivision design requirements of the City of West Lake Hills. I understand that the permit will not be issued unless staff comments are satisfactorily addressed.

Signature of Owner/Applicant

Date

Print Name & Title

GENERAL NOTES

1. All materials and construction methods for site grading, paving, sitework, and drainage shall be in accordance with the current City of Austin Standard Specifications, unless otherwise noted. All work shall be in accordance with the building codes, ordinances, safety codes, and rules and procedures of the City of West Lake Hills.
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9. Any changes or revisions to these approved plans must be submitted by the design engineer and approved by the City of West Lake Hills prior to construction of the revision.
10. Available benchmarks that may be utilized for the construction of this project are described as follows:

TRENCH SAFETY NOTES

1. In accordance with the Laws of the State of Texas and the U. S. Occupational Safety and Health Administration regulations, all trenches over 5 feet in depth in either hard and compact or soft and unstable soil shall be sloped, shored, sheeted, braced or otherwise supported. Furthermore, all trenches less than 5 feet in depth shall also be effectively protected when hazardous ground movement may be expected. Trench safety systems to be utilized for this project will be provided by the contractor.
2. In accordance with the U. S. Occupational Safety and Health Administration regulations, when persons are in trenches 4-feet deep or more, adequate means of exit, such as a ladder or steps, must be provided and located so as to require no more than 25 feet of lateral travel.
3. If trench safety system details were not provided in the plans because trenches were anticipated

to be less than 5 feet in depth and during construction it is found that trenches are in fact 5 feet or more in depth or trenches less than 5 feet in depth are in an area where hazardous ground movement is expected, all construction shall cease, the trenched area shall be barricaded and the Engineer notified immediately. Construction shall not resume until appropriate trench safety system details, as designed by a professional engineer, are retained and copies submitted to the City of West Lake Hills.

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1. All testing shall be done by an independent laboratory at the Applicant’s expense. A City Inspector shall be present during all tests. Testing shall be coordinated with the City Inspector and he shall be given a minimum of 24-hour notice prior to any testing.
2. Backfill behind the curb shall be compacted to obtain a minimum of 85% maximum density to within 3 inches of the top of curb. Material used shall be primarily granular with no rocks larger than 3 inches in the greatest dimension. The remaining 3 inches shall be clean topsoil free from all clods and suitable for sustaining plant life.
3. All RCP shall be minimum Class III.
4. The subgrade material for the streets shown herein was tested by _____. The paving sections were designed by _____ in accordance with the current City of West Lake Hills design criteria. The paving sections are to be constructed as follows:

Street	Station	Flex. Base Thickness	HMAC Thickness	Lime Stab. Thickness

5. Lots in this subdivision are located over the Edwards Aquifer Recharge Zone and subject to the current Texas Commission on Environmental Quality Edwards Rules. No building permit will be issued by the City of West Lake Hills until the requirements of the Edwards Rules are fully complied with. The applicant for a building permit is responsible for furnishing the City written compliance to the Edwards Aquifer Rules from the Texas Commission on Environmental Quality. (if applicable)
6. The FEMA maps for the City of West Lake Hills, Texas, indicate that the property shown hereon does/does not lie within a special flood hazard area as defined by FIRM Panel _____, dated _____.”
7. FLOOD WARNING: The degree of flood protection required by the City of West Lake Hills Flood Damage Prevention Ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. Acceptance of this plan by the City Council does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. Nor shall acceptance of this plan create liability on the part of the City of West Lake Hills or any official or employee thereof for any flood damages that result from reliance on the information contained within this plan or any administration decision lawfully made hereunder.

TRAFFIC MARKING NOTES

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2. Any methods, street markings, and signage necessary for warning motorists, warning pedestrians, or diverting traffic during construction shall conform to the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest edition.
3. All pavement markings, markers, paint, traffic buttons, traffic controls, and signs shall be installed in accordance with the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges and the Texas Manual of Uniform Traffic Control Devices for Streets and Highways, latest editions.

EROSION CONTROL NOTES

1. Every lot in this subdivision is subject to the City of West Lake Hills' site clearance procedures. No site clearance, excavation, grading or landfill shall commence unless a permit shall have first been issued for such work in accordance with the provisions of applicable ordinances. Impervious cover shall not exceed the maximum percentage permitted under City Ordinance.
2. The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation). The placement of erosion/sedimentation controls shall be in accordance with the current City West Lake Hills Drainage and Erosion Control Manual and the approved Erosion and Sedimentation Control Plan. No erosion controls shall be placed beyond the property lines of the site unless written permission has been obtained from adjacent property owners.
3. All slopes shall be sodded or seeded with approved grass, grass mixtures, or ground cover suitable to the area and season in which they are applied.
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5. The contractor is required to inspect the controls at weekly intervals and after any rainfall event to ensure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
6. All temporary erosion control measures shall not be removed until final inspection and approval of the project by the City Inspector. It shall be the responsibility of the Contractor to maintain all temporary erosion control structures and to remove each structure as approved by the City Inspector.
7. Per TPDES requirements, disturbed areas on which construction activities have ceased (temporarily or permanently) shall be stabilized within 14 days unless activity resumes within 21 days. Seeding does not constitute as stabilization.
8. Stripping of vegetation from project sites shall be phased so as to expose the minimum amount of area to soil erosion for the shortest possible period of time per the Drainage and Erosion Control Design Manual Sec.7.1(l).
9. Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.

OWNERS CERTIFICATION

AS OWNER OF THIS PROPERTY, I INTEND TO DEVELOP AND MAINTAIN THIS PROPERTY AS DESCRIBED BY THIS PLAN

NAME OF OWNER/TRUSTEE

DATE

ENGINEERS CERTIFICATION

STATE OF TEXAS

COUNTY OF TRAVIS

I, (LICENSED PROFESSIONAL ENGINEER), DO HEREBY CERTIFY THAT THE PUBLIC WORKS AND DRAINAGE IMPROVEMENTS DESCRIBED HEREIN HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CITY OF WEST LAKE HILLS CODE OF ORDINANCES, THE CITY MASTER PLAN AND CITY POLICY.

(SEAL & SIGNATURE OF PROFESSIONAL ENGINEER)

NAME OF PROFESSIONAL ENGINEER

DATE

CITY ACCEPTANCE BLOCK

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF WEST LAKE HILLS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

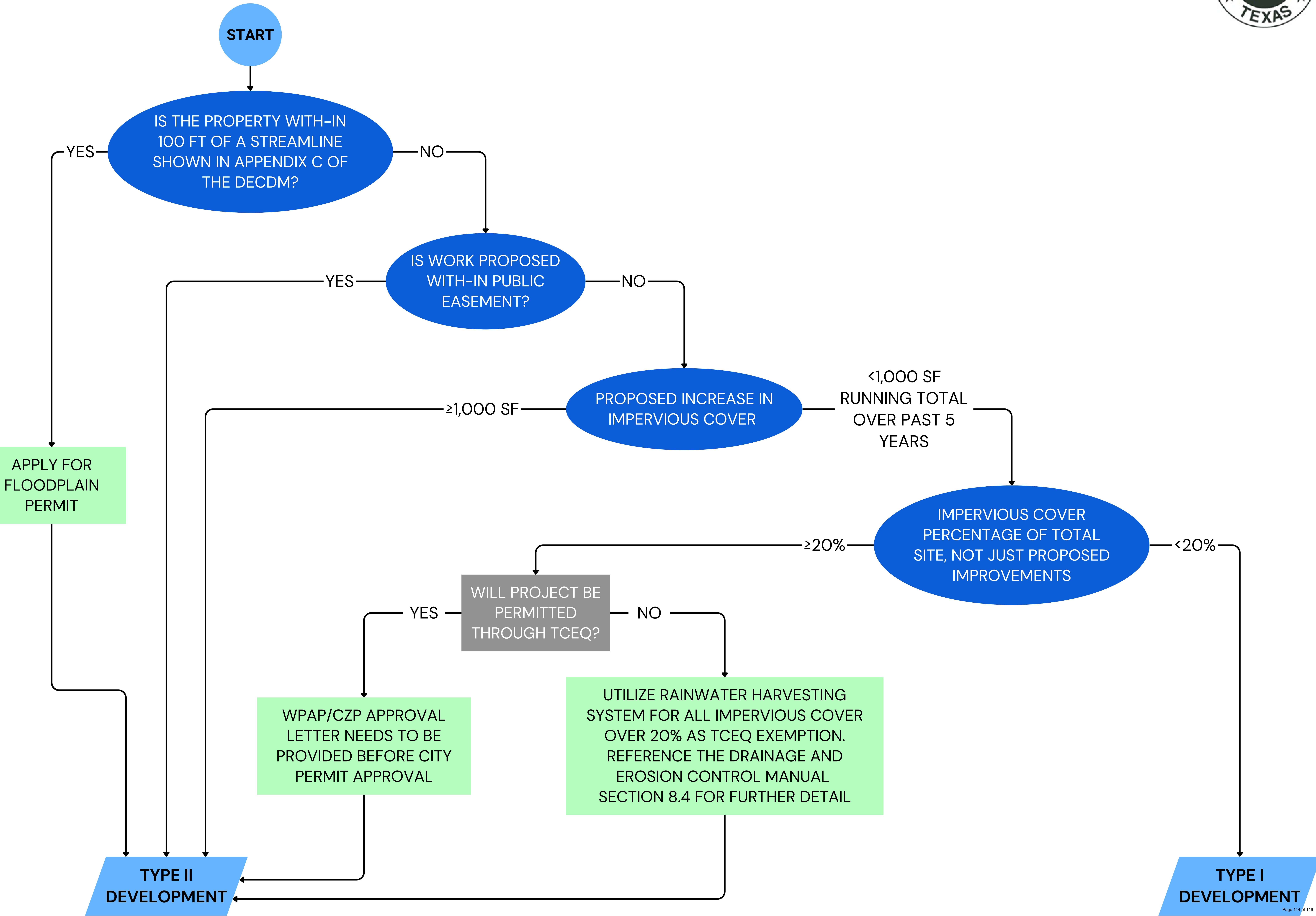
ACCEPTED FOR CONSTRUCTION:

CITY ADMINISTRATOR

DATE



RESIDENTIAL DEVELOPMENT FLOWCHART





NON-RESIDENTIAL DEVELOPMENT FLOWCHART

START

IS THE PROPERTY WITH-IN 100 FT OF A STREAMLINE SHOWN IN APPENDIX C OF THE DECDM?

YES

NO

APPLY FOR FLOODPLAIN PERMIT

VARIANCES/SPECIAL USE PERMIT?

YES

NO

IS WORK PROPOSED WITH-IN PUBLIC EASEMENT?

YES

NO

PROPOSED INCREASE IN IMPERVIOUS COVER

≥400 SF

<400 SF

PROPOSED INCREASE IN IMPERVIOUS COVER

≥1,000 SF

<1,000 SF

<1,000 SF ADDITIONAL IMPERVIOUS COVER

IMPERVIOUS COVER PERCENTAGE OF TOTAL SITE, NOT JUST PROPOSED IMPROVEMENTS

>30%

≤30%

DISTURBED AREA OF TOTAL SITE

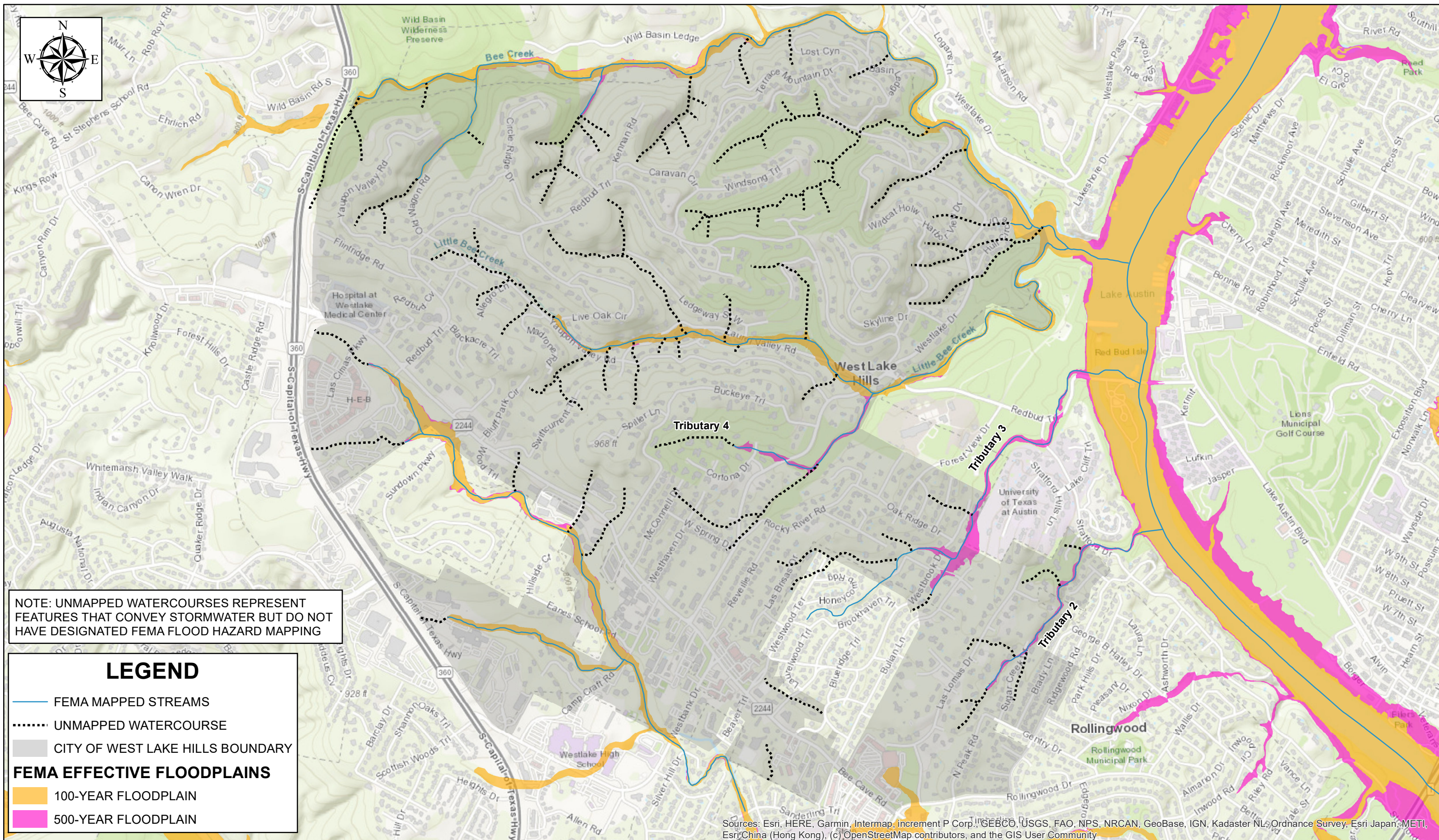
≤1/8 AC

>1/8 AC

TYPE III DEVELOPMENT

TYPE II DEVELOPMENT

TYPE I DEVELOPMENT



NOTE: UNMAPPED WATERCOURSES REPRESENT FEATURES THAT CONVEY STORMWATER BUT DO NOT HAVE DESIGNATED FEMA FLOOD HAZARD MAPPING

LEGEND

- FEMA MAPPED STREAMS
- - - UNMAPPED WATERCOURSE
- CITY OF WEST LAKE HILLS BOUNDARY

FEMA EFFECTIVE FLOODPLAINS

- 100-YEAR FLOODPLAIN
- 500-YEAR FLOODPLAIN

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

CITY OF WEST LAKE HILLS WATERCOURSE EXHIBIT

