



CITY OF WEST LAKE HILLS, TEXAS
NOTICE OF ZONING & PLANNING COMMISSION (ZAPCO) REGULAR MEETING
Wednesday, September 17, 2025 at 6:30 PM

Notice is hereby given that the Zoning and Planning Commission (ZAPCO) of the City of West Lake Hills, Texas, will hold a Regular Meeting on the 17th day of September 2025 at 6:30 p.m., in the Council Chamber, Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas, at which time the following items will be discussed, to-wit:

REMOTE ACCESS - Join Zoom Meeting at <https://us02web.zoom.us/j/3499549035>
Or via telephone: Dial (346) 248-7799
Meeting ID: 349 954 9035

If you wish to speak during the meeting or provide written comments, please email your name, phone number, comments, and the item number you wish to speak on to planner@westlakehills.gov by 1:00 P.M. on September 17, 2025

1. Call to Order. Chairman Robert Meisel.
2. Consent Agenda The Commission welcomes public comments at this point on any issue. If the issue is listed on the agenda, the speaker may choose to comment during the Public Comment period or when the specific agenda item is taken up by the Commission later in the meeting. The Commission cannot respond to or discuss matters not listed on the agenda. The Commission may provide factual information, refer the item to a staff member, or request the item be added to a future meeting agenda. Speakers shall limit their comments to five (5) minutes each
3. Consent Agenda The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these item/s unless a Commission Member or citizen so requests.
 1. Approval of the August 20, 2025 Zoning and Planning Commission Minutes.
 2. Report of previous ZAPCO cases acted on by the BOA/City Council.
4. Public Hearing 1511 Wildcat Hollow: Discuss and make recommendation to City Council on a variance for the removal of two trees with trunk diameters of 14 inches or greater (Section 22.03.304 of the West Lake Hills Code)
 1. Tree #133 – 15.5” Hackberry

2. Tree #192 – 15.5” Spanish Oak

Applicant: Matt Sener, Michael Hsu Office of Architecture

5. **Public Hearing 207 Yaupon Valley Dr.:** Consider action to make a recommendation to the Board of Adjustment on variances:
 1. To allow for grading on a slope of 35% or greater (Drainage and Erosion Control Design Manual Section 7.4.1); and
 2. To allow for closed fill greater than 6 feet on slopes with a grade between 0% and 35% (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Davin Fillpot, Architect LLC

6. **Public Hearing 1206 Yaupon Valley Road:** Discuss and make a recommendation to the Board of Adjustment on variances:
 1. For encroachments of up to 20 feet into the 25-foot side setbacks for a primary building (Section 22.03.275 and 22.03.281);
 2. For encroachment of up to 25 feet into the 50-foot front setback for a primary building (Section 22.03.275 and 22.03.281);
 3. For encroachment of up to 25 feet into the 25-foot side setback for a pool and pool enclosure (Section 22.03.276 and Section 22.03.281);
 4. For encroachments of up to 35 feet into the 50-foot front setback for a pool, pool enclosure, and garage (Section 22.03.276 and Section 22.03.281);
 5. To allow redevelopment of a site with impervious cover of 30% where 25% is the maximum allowed by code (Section 22.03.281).

Applicant: John Hussey, Site Specifics

7. **Public Hearing 1206 Yaupon Valley Road:** Discuss and make a recommendation to City Council on a variance to allow for a front-yard fence with 0% visibility, where 80% is the minimum allowed by code (Section 22.03.173).

Applicant: John Hussey, Site Specifics

8. Adjournment. Chairman Robert Meisel.

By Jennifer C. Bills, Director of Building & Development Services

Certificate

I certify that the above Notice of the September, 17 2025 Zoning & Planning Commission

NOTICE OF ZONING & PLANNING COMMISSION (ZAPCO)
REGULAR MEETING
SEPTEMBER 17, 2025

PAGE 2

Meeting was posted on the bulletin board at the Municipal Building, 4010 Bee Cave Road, West Lake Hills, Texas on Thursday, September 11, 2025 at 5:00 pm. and will remain posted continuously until said meeting is convened.

By Joel Sherrouse, Development Coordinator

The City of West Lake Hills is committed to compliance with the Americans with Disabilities Act. Reasonable accommodations and equal access to communications will be provided upon request.

All items on the agenda are for discussion and/or action. ZAPCO reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development).

City of West Lake Hills

MINUTES OF A ZONING & PLANNING COMMISSION (ZAPCO)

REGULAR MEETING

Wednesday, August 20, 2025 at 6:30 PM

1. **Call to Order: Chair Robert Meisel**

- a. Meeting begins at 6:30pm
- b. Roll Call
 1. Chair Robert Meisel: Present
 2. Vice-Chair Jim Pledger: Present
 3. Commissioner Julia Webber: Present
 4. Commissioner Karen Bartoletti: Present
 5. Commissioner Patrick Stewart: Present
 6. Commissioner Laurie Maccini: Present

2. **Citizen Communications:**

- a. None

3. **Consent Agenda:** The following items are considered to be self-explanatory by the Commission and will be enacted with one motion. There will be no separate discussion of these items unless a Commission Member or citizen so requests.

1. Approval of the July 16, 2025 Zoning and Planning Commission minutes
2. Approval of the August 5, 2025 Special ZAPCO meeting minutes
3. Report of previous ZAPCO cases acted upon by the BOA/Council

- a. **Action:** Commissioner Pledger moves for approval of the Consent Agenda
 - i. Commissioner Webber Seconds
 - ii. Motion carries unanimously (5 – 0)

4. **Public Hearing: 1206 Yaupon Valley Road:** Discuss and make a recommendation for the rezoning of Lot 9 of Stonehedge Estates Block X from R-2, Two-Family Residential District to R1, One-Family Residential District (Section 38.05.092 of the West Lake Hills Code).

Applicant: John Hussey, Site Specifics

1. **Staff Report:**

- i. Director Bills describes the existing non-conforming property currently zoned R-2, and the request to change to R-1 for the redevelopment of the building as a single-family structure

2. **Public Comments** (Citizen Comment Forms attached as Exhibit A)
 - i. John Hussey – Applicant
 1. Offers to answer any questions
 - ii. Grant Stanis – neighbor
 1. Expresses support for zoning change
3. **Discussion:**
 - i. None
4. **Action:**
 - i. Commissioner Maccini moves that the Zoning Change request be forwarded to City Council with a recommendation of approval
 1. Commissioner Pledger Seconds
 2. Motion carries unanimously (5-0)

The recommendation will be forwarded to the City Council for consideration at the regular meeting on August 10, 2025

5. **Public Hearing: 1801 Basin Ledge:** Discuss and make recommendations on a proposed variance to allow for the removal of one tree 14 inches and greater (Tree 70, 14-inch cedar) (Section 22.03.304 of the West Lake Hills Code).

Applicant: James Gatlin, JAG Permits

- a. **Staff Report:**
 - i. Director Bills describes the request to remove a 14-inch cedar tree for the construction of a new home on the property
 - b. **Public Comments:**
 - i. James Gatlin – Applicant
 - a. Explains that the request to remove the cedar tree is being withdrawn, as they believe it can be saved.
 - c. **Discussion:** None required with withdrawal
 - d. **Action:** None required with withdrawal
6. **Public Hearing: 1801 Basin Ledge:** Discuss and make recommendations on proposed variances
 1. To allow for a septic tank to encroach 15 feet into the 25-foot side setback (Section 22.03.276 and 22.03.281 of the West Lake Hills Code of Ordinances), and
 2. For excavation and grading, greater than 18” in the building setback (Section 22.03.170 – Site Disturbance (Excavation, Grading, or Filling).

Applicant: James Gatlin, JAG Permits

a. Staff Report:

- i. Director Bills describes the variance requests for encroachment on the side setback with septic tank and for grading greater than 18" in the setback.
- ii. Director Bills explains that upon review of the draft plan, the City Engineer believes further variances related to cut and fill or driveway slope may be required for the proposed project

b. Public Comments:

- i. James Gatlin (appearing by telephone) – Applicant
 - a. Explains that moving the septic to another location may impact trees
- ii. Andres Galindo – Architect
 - a. Describes the proposed plans to the commission and explains how the slope makes site conditions challenging.

c. Discussion:

- i. Chair Meisel: The issue is a house that's 4 times the size of the existing home
- ii. Commissioner Webber:
 1. This is a challenging site, but the proposed design is oversized for site
 2. Webber: it's difficult to make a recommendation knowing that more variances for the site are likely to be required
- iii. Chair Meisel: There's nothing unusual about a steep lot in West Lake Hills. Wanting a larger house is a self-created hardship
- iv. Commissioner Bartoletti: Based on interpretive criteria, the Commission can't conclude that the variance would not violate the intent of the chapter or impact neighboring properties

d. Action:

- i. Commissioner Bartoletti recommends that the variances be forwarded to the Board of Adjustment with a recommendation of denial based on the commission's failure to conclude that the variance does not violate the intent of the chapter or that the variance would not have an adverse impact on neighboring properties, based on the interpretive criteria and that the hardships are design-driven.
 1. Commissioner Pledger seconds
 2. Motion carries unanimously (5-0)

The recommendation will be forwarded to the Board of Adjustment for consideration at the regular meeting on August 10, 2025

7. Public Hearing: 477 Cortona Drive: Discuss and make a recommendation on a variance to encroach 20 feet into the 25-foot side setback with a backup generator (Section 22.03.275 and 22.03.281 of the West Lake Hills Code).

Applicant: David Bravo, Bravo Interior Design

1. Staff Report:

- i. Director Bills describes the proposed variance to locate a generator in the side setback in a former Austin Energy utility easement.
 1. The applicant did get the easement released by the City of Austin

2. Public Comments:

- i. Applicant: David Bravo
 1. Describes the nature of the site and why the applicant is requesting to place the generator in this location

3. Discussion:

- i. Commissioner Maccini: Burden of generator impact and noise should be borne by homeowners instead of neighbors. On a 1-acre lot there should be another location
- ii. Chair Meisel: There are existing pads for AC on multiple sides of the house – why can't the generator be located with the existing equipment
 1. David Bravo: Expresses that it may be possible to move the generator to an alternate location

4. Action:

1. At applicant's request, Commissioner Webber moves that the item be postponed to the September 17 ZAPCO meeting so that the applicant has time to consider relocation of the generator. It is also explained to the applicant that if the generator can be moved to a conforming location, they may not need to return for an additional hearing.
 - a. Commissioner Bartoletti seconds
 - b. Motion passes unanimously

Item will be postponed to the September 17, 2025 Zoning and Planning Commission meeting

8. Public Hearing: 912 Calithea: Discuss and make recommendations on proposed variances:

1. 1. To allow for a second driveway on a residential lot where one is the maximum (Section 22.03.175(E)(2): Driveway Standards)
2. To install a new septic tank encroaching on the 25-foot side building setback (Section 22.03.276: Setbacks for accessory structures)
3. To install a new septic tank encroaching on the 25-foot side building setback (Section 22.03.281: Dimensional Regulations)

Applicant: Ross Smith, South Town Dream Homes

a. Staff Report:

- i. Director Bills describes the variance request to allow for the installation of a second driveway and to build a new septic tank in the side setback.
- ii. Chair Meisel: is sewer available?
 - a. Director Bills: not in this part of town

b. Public Comments: (Citizen Comment Forms attached as Exhibit B)

- i. Ross Smith – Applicant
 - a. Describes the issues with the existing septic system and difficulty surrounding the driveway and parking on site
- ii. Grant Stanis - Neighbor
 - a. This is not an owner-occupied house, but a short-term rental property
 - b. The home site was purchased with understanding of driveway rules in the City of West Lake Hills
- iii. Patrick Johnson - Neighbor
 - a. Backing out is difficult in all of West Lake Hills. This is not a unique hardship for the homeowners
 - b. The short-term rental that had been operated on site is a detriment to neighboring properties
- iv. 3 other citizens registered as being opposed to the variance requests, but did not wish to speak at the hearing:
 - a. Jerry Vandel
 - b. Courtney Johnson
 - c. Frank Phillip

c. Discussion

- i. Commissioner Stewart: Has a turnaround without a second drive been considered?

- a. Ross Smith: Explains that many options have been explored, and that they believe this to be the least invasive.
 - ii. Commissioner Pledger: Indicates he is inclined to recommend denial on driveway request.
 - iii. Commissioner Webber: Indicates she is also inclined to deny septic variance to re-orient the septic from its existing location, increasing non-conformance
- d. **Action:**
 - i. Commissioner Maccini moves that all variances be forwarded with a recommendation of denial based on the requests violating the intent of the chapter, lack of hardship, and the adverse effect on neighboring properties.
 - a. Pledger seconds
 - b. Motion carries unanimously 5-0

The recommendation will be forwarded to the Board of Adjustment for consideration at the regular meeting on August 10, 2025

9. **Public Hearing: 217 Reveille Rd.**: Discuss and make recommendations on proposed variances:
1. To allow for a driveway to encroach approximately 2 feet into the 10-foot driveway setback (Section 22.03.175(A)(2): Minimum side parking setback)
 2. To allow for a driveway with a width of 7 feet where 12 feet is the minimum (Section 22.03.175(F): Minimum driveway width)
 3. To keep an existing non-conforming second driveway where only one is allowed by code (Section 22.03.175(E)(2): Driveway standards)
 4. To keep existing non-conforming parking spaces not located behind the dwelling unit (Section 22.03.175(H)(1): Parking locations in the R-2 district)
 5. To keep existing non-conforming parking spaces underneath a portion of a dwelling unit (Section 22.03.175(H)(4): Parking prohibited under any portion of dwelling unit)

Applicant: Nathan Quirring, Clayton Korte

a. Staff Report:

- i. Director Bills explains the variance request to build a driveway consisting of pavement strips measuring 7' from edge to edge that will cause vehicles using the driveway to encroach on the setback.
 - ii. With the addition of the additional driveway and alteration to the existing drive, the existing non-conforming driveway, parking structure, and parking locations would be required to come into conformance or receive variances to remain.
- b. Public Comments:**
 - i. Nathan Quirring: Applicant
 - a. Discussed applicant's wish to provide parking in the back
 - ii. Andrew Polk – Neighbor
 - a. Is the property owner under any mandate to change existing non-conforming features?
 - b. Is this driven by wish to put a driveway in the back?
 - c. Would this variance allow the applicant to build a larger structure other than what is proposed?
- c. Discussion:**
 - i. Commissioner Maccini: Since they're not being forced to have a garage, there isn't a reason to grant a variance to build one
 - ii. Commissioner Webber: Homeowners should choose between the u-drive and the garage
 - iii. Chair Meisel: Property is functioning as intended.
 - iv. Commissioner Webber: Does the city have stipulations against tandem parking?
 - a. Director Bills: It does not
 - v. Commissioner Webber: Feels like application is short on some critical information regarding impervious cover, critical root zones, and more
- d. Action:**
 - i. Commissioner Webber moves to recommend denial based on the variances violating the intent of the chapter, the impact on trees, violating parking regulations, and that the variances may have an adverse impact on neighboring properties.
 - a. Motion dies for lack of a second
 - ii. Commissioner Pledger moves to forward variances 1 and 2 with a recommendation of approval and variances 3, 4, and 5 with a recommendation of denial.
 - a. Commissioner Bartoletti seconds

- 1) Commissioner Webber recommends an amendment to the motion to recommend approval of variances 4 and 5 and removal of the second curb cut (denial of variance 3).
 - 2) Commissioner Pledger seconds
- b. The amended motion: Recommend approval of variance requests 1, 2, 4, and 5 with the removal of the curb cut (denial of variance 3) based on an analysis determining that variances 1, 2, 4, and 5 do not violate the intent of the chapter, will not the impact on trees, will not violate of parking regulations, and that the variances as recommended will not have an adverse impact on neighboring properties.
- 1) Commissioner Bartoletti seconds
 - 2) Motion carries 4:1 - Maccini opposed

The recommendation will be forwarded to the Board of Adjustment for consideration at the regular meeting on August 10, 2025

10. Adjournment – Chair Robert Meisel

Chair Meisel adjourns the meeting at 9:00 pm

APPROVED:

Robert Meisel, Chair

ATTEST:

Joel Sherrouse, Development Coordinator

These minutes were approved on _____, 2025.

PUBLIC COMMENTS – Speaker Sign-In Form

PLEASE PRINT CLEARLY

NAME Grant Stanis DATE _____

ADDRESS 1305 Red Bud Trl CITY West Lake Hills ZIP 78746

E-MAIL ADDRESS _____

PHONE # 972-489-9757

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # 1206 YouPo Public Hearing ___ yes ___ no

I will speak: in support in opposition or I have a question/comment

OR

___ I do not wish to speak but please record my: support opposition

DR

PUBLIC COMMENTS – Speaker Sign-In Form

Stanis PLEASE PRINT CLEARLY

NAME Grant Stanis DATE 8/20/25

ADDRESS 1305 Red Blvd CITY West Lakeland ZIP _____

E-MAIL ADDRESS _____

PHONE # 972-489-4757

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # 8 Public Hearing yes no

I will speak: in support in opposition or I have a question/comment

OR

I do not wish to speak but please record my: support opposition

PUBLIC COMMENTS – Speaker Sign-In Form

PLEASE PRINT CLEARLY

NAME Parker Johnson DATE 8/20/25

ADDRESS 917 Cactus CITY West Lakeland ZIP 78744

E-MAIL ADDRESS _____

PHONE # 512-784-4819

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # 8 Public Hearing yes no

I will speak: in support in opposition or I have a question/comment

OR

I do not wish to speak but please record my: support opposition

PUBLIC COMMENTS – Speaker Sign-In Form

PLEASE PRINT CLEARLY

NAME Courtney Johnson DATE 8/20/25
 ADDRESS 917 Calhoun Rd CITY Westlake Hills ZIP 78746
 E-MAIL ADDRESS [REDACTED]
 PHONE # 512-507-2750

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # 8 Public Hearing yes no

I will speak: in support in opposition or I have a question/comment

OR

I do not wish to speak but please record my: support opposition

PUBLIC COMMENTS – Speaker Sign-In Form

PLEASE PRINT CLEARLY

NAME VERA VANDER DATE 8/20/25
 ADDRESS 916 CALHOUN RD CITY AUSTIN ZIP 78746
 E-MAIL ADDRESS [REDACTED]
 PHONE # 512-423-5418

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # _____ Public Hearing yes no

I will speak: in support in opposition or I have a question/comment

OR

I do not wish to speak but please record my: support opposition

PUBLIC COMMENTS – Speaker Sign-In Form

PLEASE PRINT CLEARLY

NAME FRANK Phillip DATE _____

ADDRESS 919 Collier CITY WESTLAKE ZIP 78746

E-MAIL ADDRESS 

PHONE # (512) 328-5420

I will speak on an item NOT on the agenda

Subject: _____

For Agenda item # 8

Public Hearing yes no

_____ I will speak: in support in opposition or I have a question/comment

OR

_____ I do not wish to speak but please record my: support opposition



City of West Lake Hills
Zoning & Planning Commission

AGENDA REPORT

Meeting Date:	September 17, 2025	Item Number:	3b
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	N/A	Source of Funds:	N/A

Subject

Report of Previous ZAPCO cases acted on by the BOA/City Council.

Discussion

Since the August 20, 2025 ZAPCO meeting, the following cases forwarded by ZAPCO were considered at City Council/BOA.

Board of Adjustment:

1. 1801 Basin Ledge – 2 variances:
 - a. Grading greater than 18” in the side setback
 - i. **Denied** by BOA at the September 10 meeting
 - b. Placement of a septic tank in the side setback
 - i. **Denied** by BOA at the September 10 meeting
2. 912 Calithea – 2 variances:
 - a. Placement of a septic tank in the side setback
 - i. **Approved** by BOA at the September 10 meeting
 - b. Construction of a second driveway
 - i. **Denied** by BOA at the September 10 meeting
3. 217 Reveille – 5 variances:
 - a. Postponed to October 8 BOA meeting

City Council:

4. 1206 Yaupon Valley: Rezoning from R-2: Two-family to R-1: 1-family
 - i. **Approved** by City Council at the September 10 meeting



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	September 17, 2025	Item Number:	4
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

1511 Wildcat Hollow: Discuss and make a recommendation to the City Council on a variance for the removal of two trees with trunk diameters of 14 inches or greater (Section 22.03.304 of the West Lake Hills Code)

1. Tree #133 – 15.5” Hackberry
2. Tree #192 – 15.5” Spanish Oak

Applicant: Matt Sener, Michael Hsu Office of Architecture

Recommendation

Discuss and make a recommendation to the City Council including an analysis of whether:

1. The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan.
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners’ enjoyment thereof.

The Zoning and Planning Commission can recommend imposition of, reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The applicant has provided their findings in Exhibit A.

This item will be forwarded to the October 8, 2025 City Council meeting for consideration.

Discussion

Property Information, Zoning & Site Characteristics:
 Owner: Wild Cat Hollow Family Trust
 Legal Description: Lot 3 Amended Plat Lots 4 & 5 WILDCAT NO 1 & Lots 3&4 Resub of Lot 3 Block 3 of the Shelton Subdivision
 Lot Size: 0.7180 acres
 Zoning: R-1 One Family

The properties surrounding the subject property are zoned R-1, One Family Residential.

Background & Analysis:
 The applicant is proposing to demolish and replace the existing house, garage, and pool on the existing lot (Attachment 1). The existing 3,675 square foot house was built in 1964. The existing lot is 0.718 acres in size

and is an irregular shape (Attachment 2). The site previously received three variances, (1) for the removal of a 17.7-inch cedar, (2) to allow for impervious cover of 30% where 25% is the maximum and (3) to allow for up to a 30-foot encroachment of the building and grading into the 50 foot front setback on May 8, 2024 (<https://westlakehillstx.portal.civicclerk.com/event/365/files/agenda/1191>). The full building permit and OSSF applications are currently under review.

Analysis:

Removal of Trees 14 inches or greater

Code Requirements

- **Section 22.03.304. Tree and vegetation removal and replacement.**

(a) Removal policy.

- (1) Existing vegetation shall be left undisturbed to the maximum extent possible. In most circumstances, if a tree must be removed, it shall be replaced with a native, non-invasive species so that the native, natural landscape of the city is preserved for future generations.
- (2) Trees less than ten (10) inches in diameter measured at a point fifty-four (54) inches above the ground may be removed with a permit in accordance with section 22.03.303(b).
- (3) Trees greater than or equal to ten (10) inches and less than fourteen (14) inches in diameter measured at a point fifty-four (54) inches above the ground may be removed with a permit in accordance with section 22.03.303(b)(4). If a tree greater than or equal to ten (10) inches and less than fourteen (14) inches in diameter does not meet the requirements of section 22.03.303(b)(4) then the removal shall be requested through a variance as described by subsection (a)(4) of this section.
- (4) **The removal of trees greater than or equal to fourteen (14) inches in diameter measured at a point fifty-four (54) inches above the ground, or a tree greater or equal to ten (10) inches and less than fourteen (14) inches in diameter that does not meet the requirements of section 22.03.303(b)(4), is prohibited except as allowed under section 22.03.303(b)(7) and therefore such removal requires a variance from the city council as outlined in section 22.03.308.**

Request

- Remove Tree #133 – 15.5” Hackberry and Tree #192 – 15.5” Spanish Oak

- There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
- There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.
- The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.
- **ZAPCO.** The recommendation of zoning and planning commission shall include an analysis of whether:
 - The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
 - The variance may have an adverse effect on neighborhood properties, or interfere with the respective owners’ enjoyment thereof; and
 - When considering variance requests for nonresidential projects in the Commercial Overlay District, whether the variance, when considered as part of the proposed project (as a whole), furthers achievement of the land planning principles set forth in the city’s master plan, attachment B, as codified in article 28.02 of this code.
- **Conditions.** The city council can impose, and the zoning and planning commission can recommend imposition of, reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects in the commercial overlay district are necessary to achieve one or more of the land planning principles set forth in the city’s master plan, attachment B, as codified in article 28.02 of this code.

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City’s Code.

Compliance with Adopted International Building Code

The property and future construction will have to comply with all applicable City codes.

Subdivision

There is no change to the subdivision proposed with this application.

Comprehensive Planning Analysis

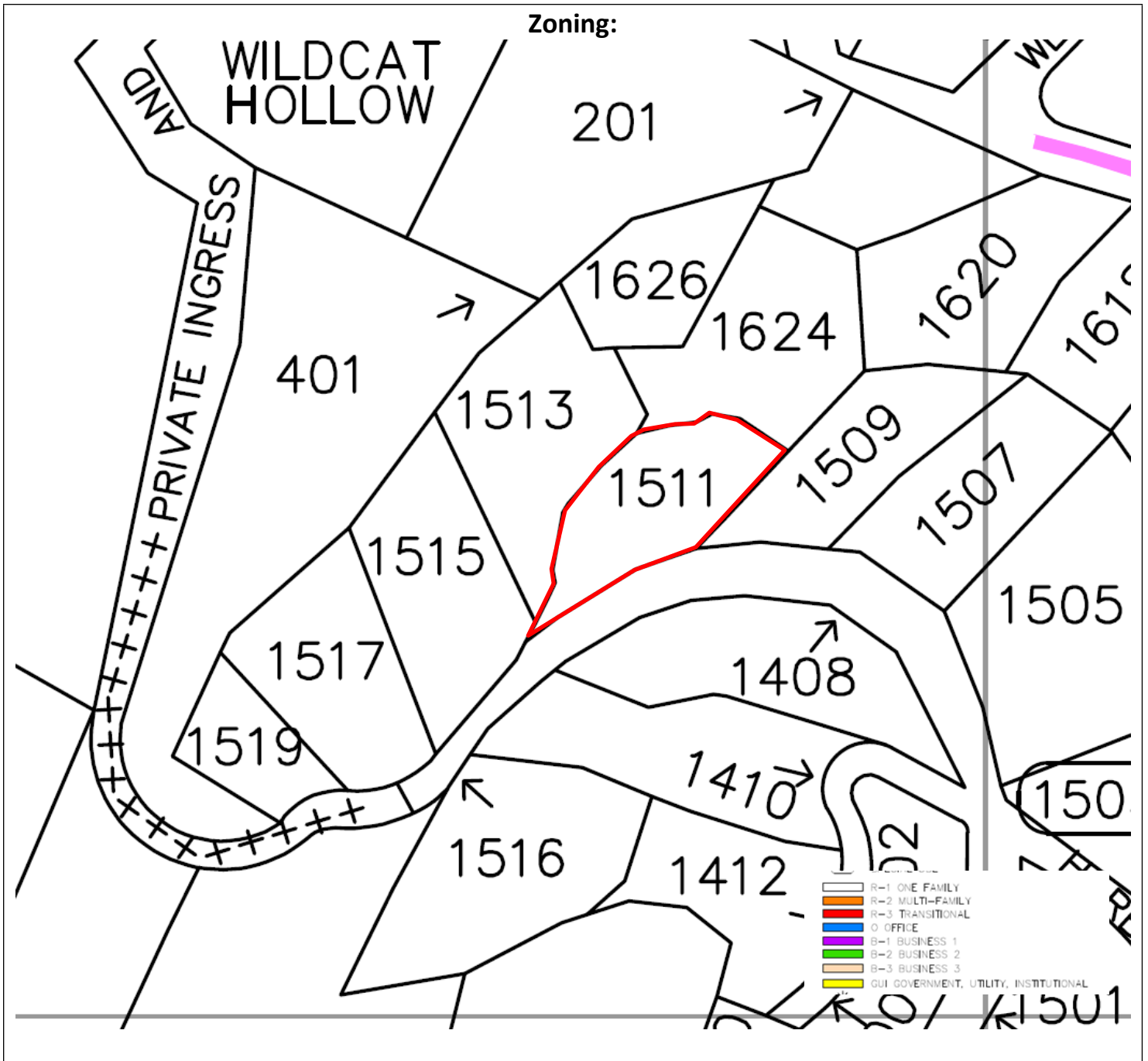
The existing and future land use is in conformance with the City of West Lake Hills Master Plan.

Links to Relevant Code:

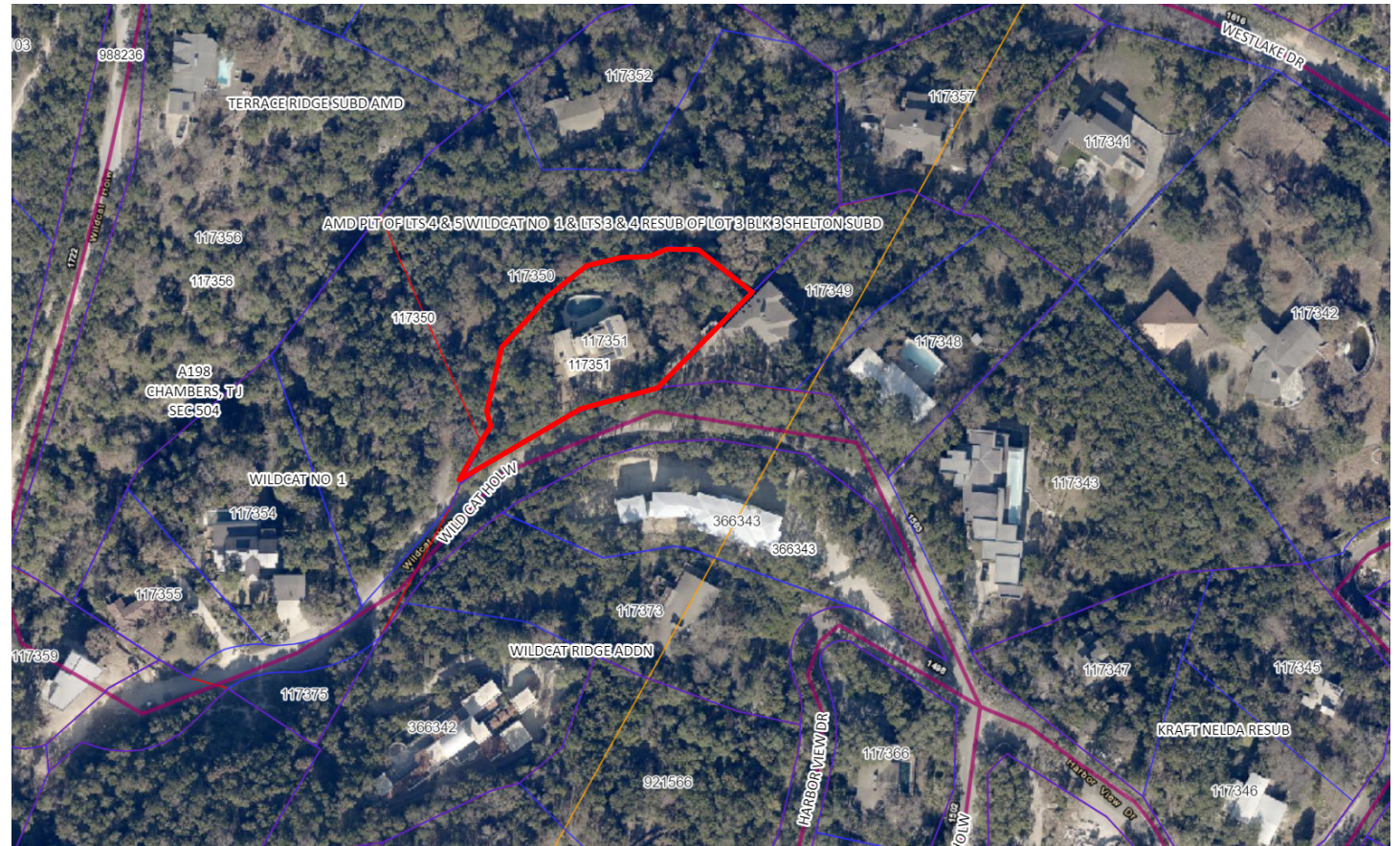
[Section 22.03.034 Tree and Vegetation Removal and Replacement](#)

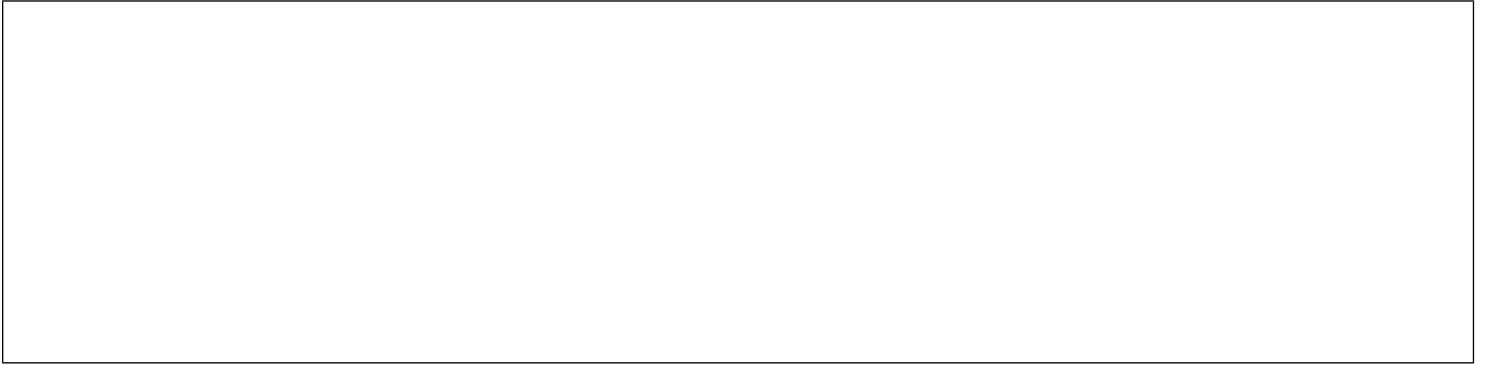
[Section 38.05.031 Variances](#)

[Section 22.03.514 Criteria and process required for granting variance](#)



Aerial:





August 11, 2025

Jennifer C. Bills, AICP, LEED AP
City of West Lake Hills
Director of Building and Development Services
911 Westlake Drive
West Lake Hills, TX 78746

Re: 1511 Wild Cat Hollow Variance Request

Director Bills,

On behalf of our client, it is our pleasure to submit a package for variance requests of the property located at 1511 Wild Cat Hollow.

Michael Hsu Office of Architecture has conducted two (2) pre-planning meetings with Alex Sanchez to ensure our clients' vision of their future home is in alignment with the values and the spirit of the City of West Lake Hills Zoning Ordinances. During these two (2) pre-planning meetings, we determined two trees over 14-inches are eligible for removal and require a variance for each individual tree.

1. Submitting a formal tree removal request for tree #133- 15.5" Hackberry:
 - We have previously discussed the removal with Alex Sanchez and understand that both a variance and mitigation will be required.
 - Tree #133 Hackberry is significantly leaning towards the proposed new construction, presenting a safety hazard during both the construction phase and once the home is occupied. Hackberry's are also a non-native species and should be considered for immediate removal.
2. Submitting a formal tree removal request for tree #192- 15.5" Spanish Oak:
 - We have previously discussed the removal with Alex Sanchez and understand that both a variance and mitigation will be required.
 - Tree #192 is located very near the limits of construction and is unlikely to survive the construction process per Alex Sanchez.

For additional context, the existing site was not in compliance for the following reasons listed below. A variance, #2024-1108, was approved to address these hardships.

1. Total site area is less than 1 acre (0.717 acres)
2. Overall lot depth is less than 150ft (145ft)
3. Intent to demolish the existing 1964 home, carport and pool deck triggers current COWLH Zoning Ordinance setbacks and initiates a new 50ft front setback line.
4. New COWLH 50ft front setback line results in loss of buildable site area of 27% > 25% maximum.
5. The new COWLH 50ft front setback line produces unreasonable encroachment upon new buildable area by 30ft at its greatest point, accounting for 50% of the overall buildable dimension of 60ft.

Michael Hsu
Office Of Architecture

826 Houston Street, Suite 100
Austin, Texas 78756

(512) 706-4303
hsuoffice.com

Given the odd geometry of the site boundary, the proposed home is shimmed between the largest tree on the site #131- 19.6" Live Oak on the left, and the future septic field and neighbor on the right. It was our intent to save these trees as part of the initial building permit application. However, after meeting with Alex Sanchez, we deemed tree# 133 & 192 are eligible for removal.

We plan to mitigate tree# 133 & 192 per COWLH Zoning Ordinance 22.03.304(4) with added landscape at the front yard to shield the home from the street and provide a green buffer to the adjacent neighbor.

This existing site is heavily vegetated with numerous trees and the surrounding area will not be disturbed if these two variances are approved. This future site will be enhanced by introducing native trees which are expected to promote and strengthen new vegetation growth in the area.

The proposed home design is nestled within the topography of the site. Our comprehensive overall design for this site is to greet nature with a gentle touch as much as possible. The overall aesthetic will enhance the neighborhood with planned trees at the street making the future home less visible.

Thank you for the opportunity to review said variance requests and please do not hesitate to reach out if there are any further questions.

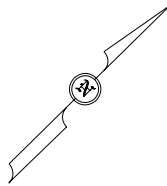


Matt Sener, *Associate*

Michael Hsu
Office Of Architecture

826 Houston Street, Suite 100
Austin, Texas 78756
512-706-4303 ext. 169

SCALE: 1"=30'



LINE TABLE

(L1)	S26°10'09"W 11.36'	(L5)	N84°35'26"E 31.50'
(L2)	N26°14'53"E 20.86'	(L6)	N62°58'35"E 20.75'
(L3)	N10°15'01"W 14.43'	(L7)	S78°40'45"E 31.45'
(L4)	N33°53'08"E 11.57'		

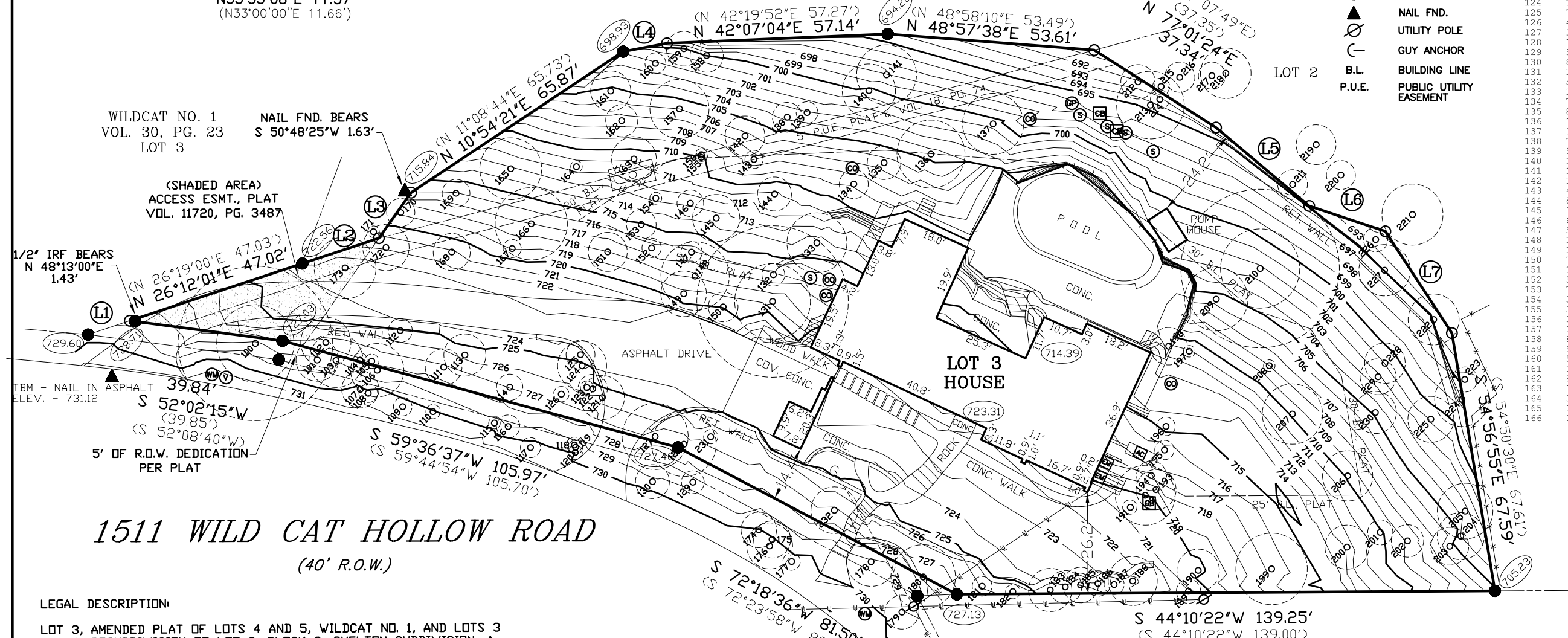
LOT 4

LEGEND

---	WOOD FENCE
-X-	WIRE FENCE
-E-	UTILITY LINE
-W-	WROUGHT IRON FENCE
AC	A/C UNIT
EM	ELEC. METER
CB	CONTROL BOX
V	VENT
S	SEPTIC LID
CO	CLEANOUT
WM	WATER METER
●	IRON ROD FND.
○	CALCULATED POINT
▲	NAIL FND.
○	UTILITY POLE
U	GUY ANCHOR
B.L.	BUILDING LINE
P.U.E.	PUBLIC UTILITY EASEMENT

TREE TABLE

100	20" TRP CEDAR	167	4.7" PERSIMMON
101	11" LIVE OAK	168	9.6" CEDAR
102	13" CEDAR	169	7.2" SPANISH OAK
103	14" LIVE OAK	170	7.3" LIVE OAK
104	3.7" LIVE OAK	171	3" DBL PERSIMMON
105	3.7" LIVE OAK	172	12" HACKBERRY
106	13.8" LIVE OAK	173	16" CEDAR
107	9.6" DBL CEDAR	174	9.2" LIVE OAK
108	4.8" LIVE OAK	175	9.6" LIVE OAK
109	4.8" LIVE OAK	176	11.9" LIVE OAK
110	3.7" LIVE OAK	177	4.5" DBL PERSIMMON
111	9.5" CEDAR	178	12.7" 6T CRAWF MYRTLE
112	6.2" CEDAR	179	8.8" DBL YAUPON
113	10.9" CEDAR	180	16.7" CEDAR
114	6.8" CEDAR	181	5.1" QUAD YAUPON
115	3" PERSIMMON	182	3.7" TRP PHOTINIA
116	6" 5T PERSIMMON	183	11.2" 6T PHOTINIA
117	5.2" DBL PERSIMMON	184	8.5" 6T PHOTINIA
118	4.1" DBL PERSIMMON	185	9.2" 5T PHOTINIA
119	3.7" DBL PERSIMMON	186	6.6" QUAD PHOTINIA
120	3.7" PERSIMMON	187	5.2" DBL
121	11.4" LIVE OAK	188	12.7" 5T
122	7.6" QUAD MT LAUREL	189	6.3" DBL PEAR
123	3.4" TRP MT LAUREL	190	11.1" UNKNOWN
124	12.7" CEDAR	191	3.7" DBL BLUEWOOD
125	7.5" CEDAR	192	15.5" DBL SPANISH OAK
126	4" LIVE OAK	193	10.4" SPANISH OAK
127	17.1" DBL LIVE OAK	194	7.7" SPANISH OAK
128	16.7" DBL LIVE OAK	195	5" YAUPON
129	5.9" LIVE OAK	196	4.8" YAUPON
130	8.8" CEDAR	197	3" LIGUSTRUM
131	19.6" LIVE OAK	198	9.7" SPANISH OAK
132	5.9" DBL LIVE OAK	199	18.5" TRP SPANISH OAK
133	15.5" HACKBERRY	200	11.4" SPANISH OAK
134	7.5" DBL HACKBERRY	201	6.5" CEDAR
135	8.7" CEDAR	202	8.4" CEDAR
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151	10.1" SPANISH OAK	218	13.1" CEDAR
152	5" QUAD YAUPON	219	10.3" CEDAR
153	7.7" LIVE OAK	220	7.5" CEDAR
154	3.1" DBL YAUPON	221	15.8" CEDAR
155	3" YAUPON	222	13.2" CEDAR
156	3.3" DBL YAUPON	223	6.5" CEDAR
157	15.3" CEDAR	224	14.1" CEDAR
158	8.6" CEDAR	225	11.9" CEDAR
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165	16" CEDAR	232	12.1" CEDAR
166	18.7" DBL CEDAR		



1511 WILD CAT HOLLOW ROAD
(40' R.O.W.)

LEGAL DESCRIPTION:

LOT 3, AMENDED PLAT OF LOTS 4 AND 5, WILDCAT NO. 1, AND LOTS 3 AND 4, RESUBDIVISION OF LOT 3, BLOCK 3, SHELTON SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN VOL. 91, PG. 7, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

REFERENCE: MICHAEL HSU

S 44°10'22"W 139.25'
(S 44°10'22"W 139.00')
BEARING BASIS

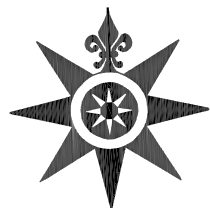
RESUBDIVISION OF LOT 6,
BLOCK 3, SHELTON SUBD.
VOL. 19, PG. 91
BLOCK "3"
LOT 6



Roger L. Way

By:	Date:
FIELD WORK	WW
DRAFTING	SCN

SURVEY DATE: 12-13-23
Job No. 10B02023
SCALE: 1"=30'



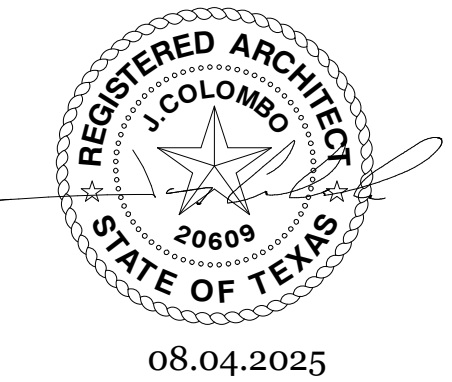
ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200
AUSTIN TX. 78704
TELE.: (512) 440-0071 - FAX: (512) 440-0199
FIRM REGISTRATION # 10118900



**Michael Hsu
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Document Seal



08.04.2025

Project Title

**Wild Cat Hollow
Residence**
1511 Wild Cat Hollow
West Lake Hills, TX
78746

Date	Issue / Revision
08.04.2025	Permit Comments-Rev A

Drawing Title

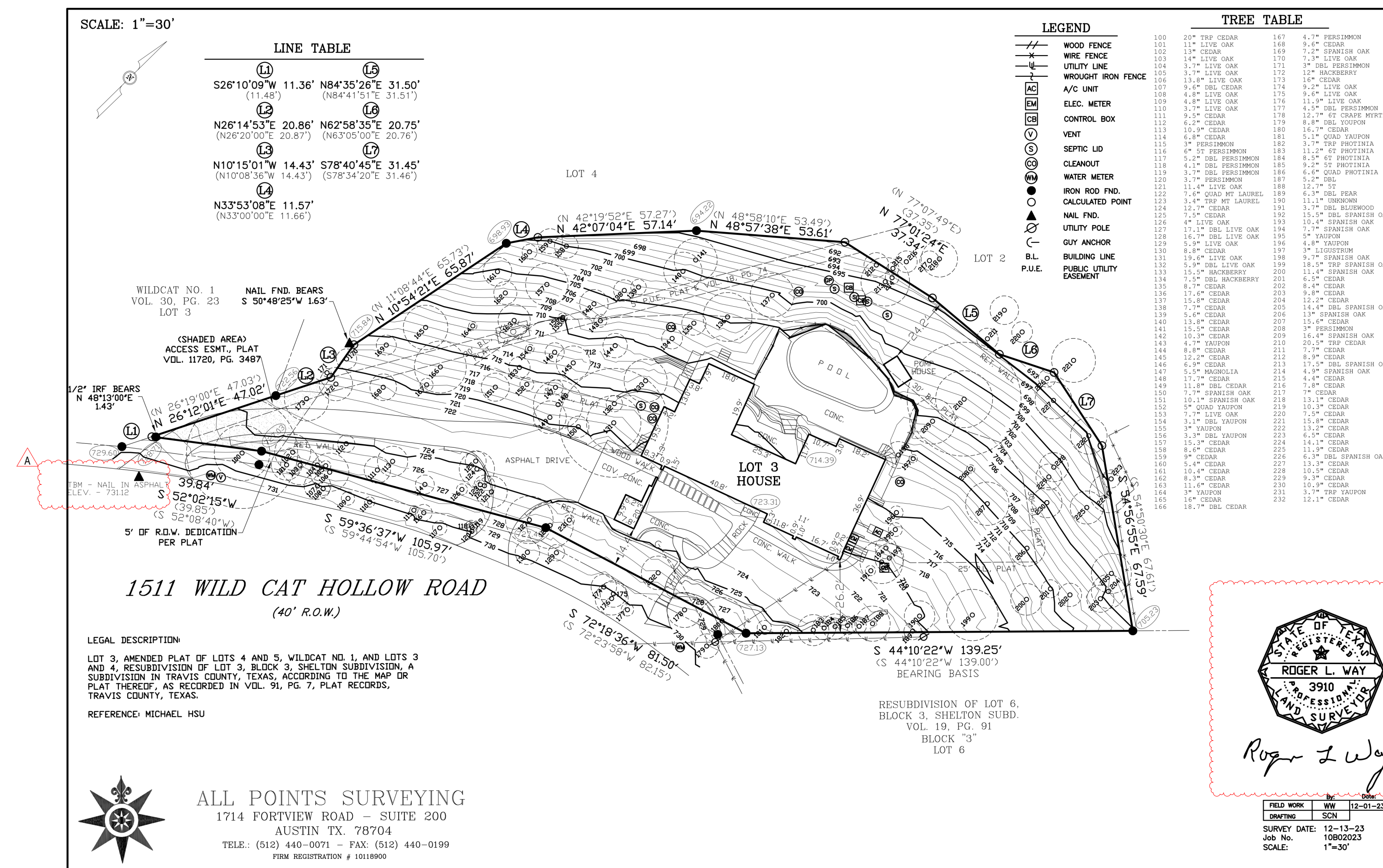
**Existing Topo + Tree
Survey & Existing
Impervious Cover**

Sheet

30 x 42 - Full Scale 1/4" = 1'-0"
12 x 18 - Half Scale 1/8" = 1'-0"

A.000.1

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EXISTING ZONING ORDINANCES:

LOT AREA:	31,223 SF
ACTUAL BUILDING AREA:	9,318 SF (29% OF LOT)
ALLOWABLE BUILDING AREA:	9,367 SF (30% OF LOT)
ALLOWABLE IC:	7,806 SF (25% OF LOT)

EXISTING CONDITIONS:

IMPERVIOUS COVER:

HOUSE FOOTPRINT:	2,545 SF
CARPORT:	552 SF
PUMP HOUSE:	55 SF

DRIVEWAY: 2,184 SF

CONC PATIO: 1,003 SF

STONE WALKWAYS & PATIO: 1,089 SF

LANDSCAPE WALLS: 466 SF

GRAVEL (COUNTS IN COWLH): 555 SF

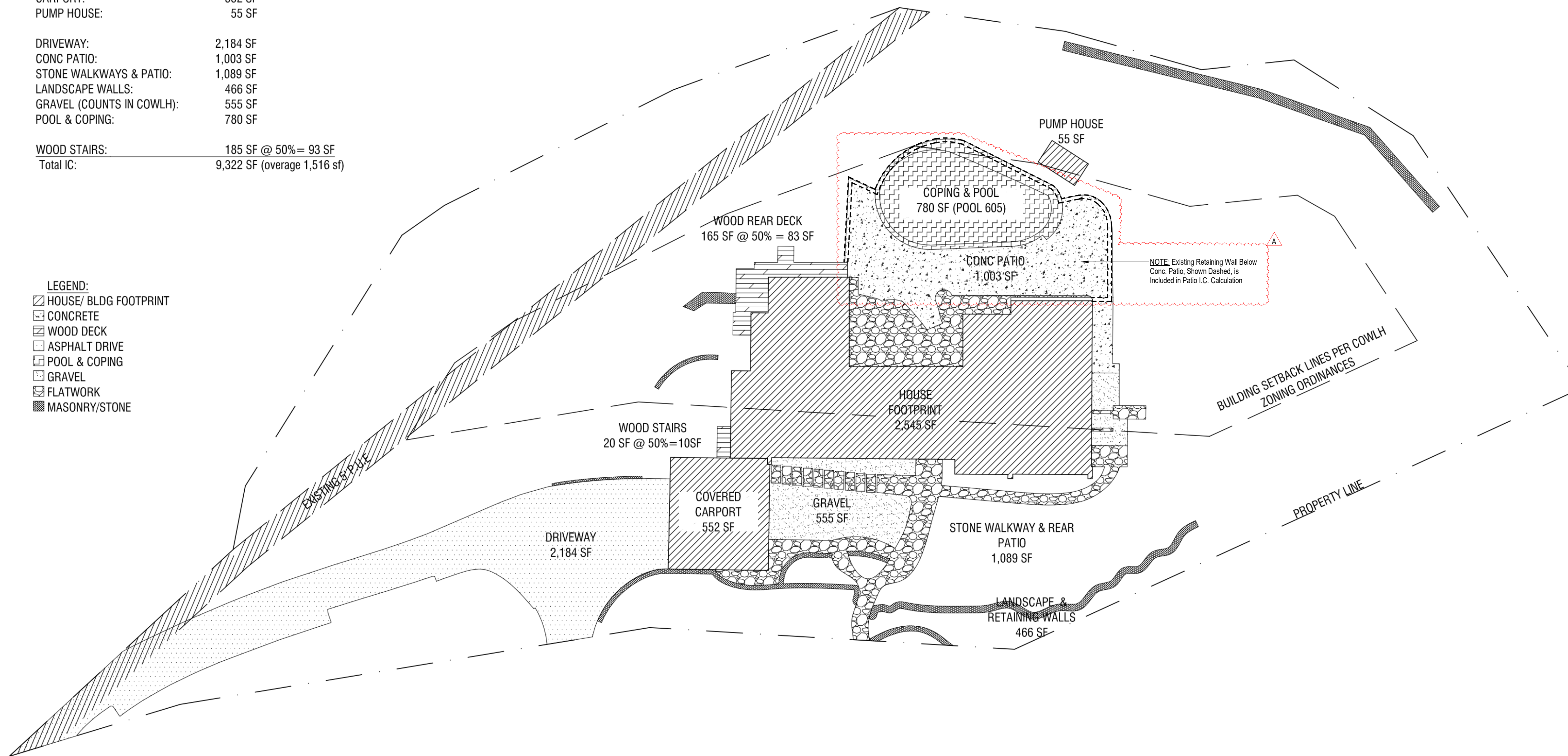
POOL & COPING: 780 SF

WOOD STAIRS: 185 SF @ 50% = 93 SF

Total IC: 9,322 SF (average 1,516 sf)

LEGEND:

- HOUSE/BLDG FOOTPRINT
- CONCRETE
- WOOD DECK
- ASPHALT DRIVE
- POOL & COPING
- GRAVEL
- FLATWORK
- MASONRY/STONE



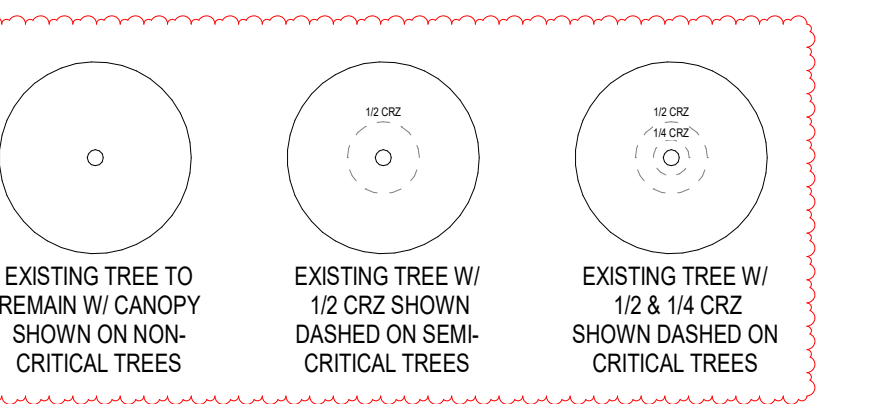
1 Existing Impervious Cover
Not to Scale

TREE TABLE

100 20' TRP CEDAR	155 3' YALPON
101 14" LIVE OAK	156 3" DBL YALPON
102 15" CEDAR	157 15" CEDAR
103 14" LIVE OAK	158 18" DBL CEDAR
104 3.7" LIVE OAK	159 8" PERSIMMON
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116 8" PERSIMMON	180 11.1" UNKNOWN
117 5.2" DBL PERSIMMON	181 3.7" DBL BLUEWOOD
118 4.7" DBL PERSIMMON	182 15.5" DBL SPANISH OAK
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148 11.8" DBL CEDAR	
149 7.7" SPANISH OAK	
151 10.1" SPANISH OAK	
152 8" QUAD YALPON	
153 7.7" LIVE OAK	
154 3.1" DBL YALPON	

TOTAL DISTURBED AREA
 EXISTING HOUSE FOOTPRINT: 2,545 SF
 EXISTING DETACHED GARAGE: 552 SF
 EXISTING DRIVEWAY (PARTIAL): 1,340 SF

EXISTING OUTDOOR PATIO & POOL: 1,784 SF
EXISTING PAVERS, GRAVEL & STAIRS: 2,308 SF
TOTAL DISTURBED AREA: 8,529 SF



TREE PROTECTION PLAN

- Tree protection and fencing is required per City of Austin standards for all existing trees 7 inches in diameter (68 inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of 5 feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the CRZ.
- Per COWI's Zoning Ordinance 22.03.334(4) To compensate for the removal of live trees that are not diseased, dying or dead (as defined in accordance with section 22.03.303(b)(7)) and that are removed in accordance with this section, the property owner must install replacement trees according to the following requirements:
 - (A) All trees with trunk diameters equal to or greater than 6 inches and 14 inches must be replaced on a 75% basis. In such cases, the replacement trees planted must have trunk diameters of at least 2 inches.
 - (B) (i) All trees with trunk diameters greater than or equal to 14 inches require a variance to subsection (A) above and must be replaced on a 150% basis. (ii) Trunk diameter less than 6 inches. No replacement required. (iii) From 6 inches to less than 14 inches. 75% replacement required. Must use replacement trees with trunk diameters of at least 2 inches. (iv) Greater than 14 inches requires variance. 150% replacement required. Must use replacement single-trunk trees with trunk diameters of at least two (2) inches.
- No underground utility trenches permitted in 1/2 the area of a tree's CRZ or within 12' of trunk, whichever is the larger diameter.
- No access, parking or material storage within limits of tree protection fence.
- All roots cuts to be clean (no frayed edges). Air spade, fertilize and apply mulch at CRZ of all trees prior to construction. Provide irrigation to trees during construction.
- No pier within 5' of tree trunks.
- After construction, air spade all trees where construction activities have compacted soil within CRZ. Coordinate areas for material storage and delivery with architect and prepare such areas so that they can be effectively used for deliveries and do not conflict with tree protection requirements.
- Provide and maintain an erosion control system with appropriate devices per statutory requirements.
 - (A) At least fifty percent of the total area (square footage) of the Critical Root Zone must be preserved at natural grade, with natural ground cover.
 - (B) The entirety of the Half CRZ must be protected, with the exception that cut or fill of four inches or less is allowed within the 1/2 CRZ.
 - (C) No cut or fill is allowed within the 1/4 CRZ. (See 3.5.0 Austin Environmental Criteria Manual)

Demo Plan General Notes

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning, unless noted otherwise.
- Contractor to field verify all dimensions prior to demolition to verify extent of demo to accommodate new work. If a discrepancy or unforeseen condition is identified, please notify Architect immediately.
- Do not scale the drawings. If a specific dimension is not given, contact Architect for clarification.
- Contractor is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
- Items noted to be salvaged are to be returned to the owner unless otherwise noted.
- Tree protection fencing is required for all existing trees 18 inches in diameter (60 inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of five feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the critical root zone.
- Refer to General Requirements for additional information associated with, but not limited to, submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

Demo Plan Legend

- Existing House to be Demolished
- Existing Gravel to be Removed
- Existing Footwork to be Removed
- Existing Landscape Wall to be Removed
- Existing Wood Deck to be Removed
- Existing Driveway to be Removed
- Existing Tree to be Removed

Demo Plan Keynotes

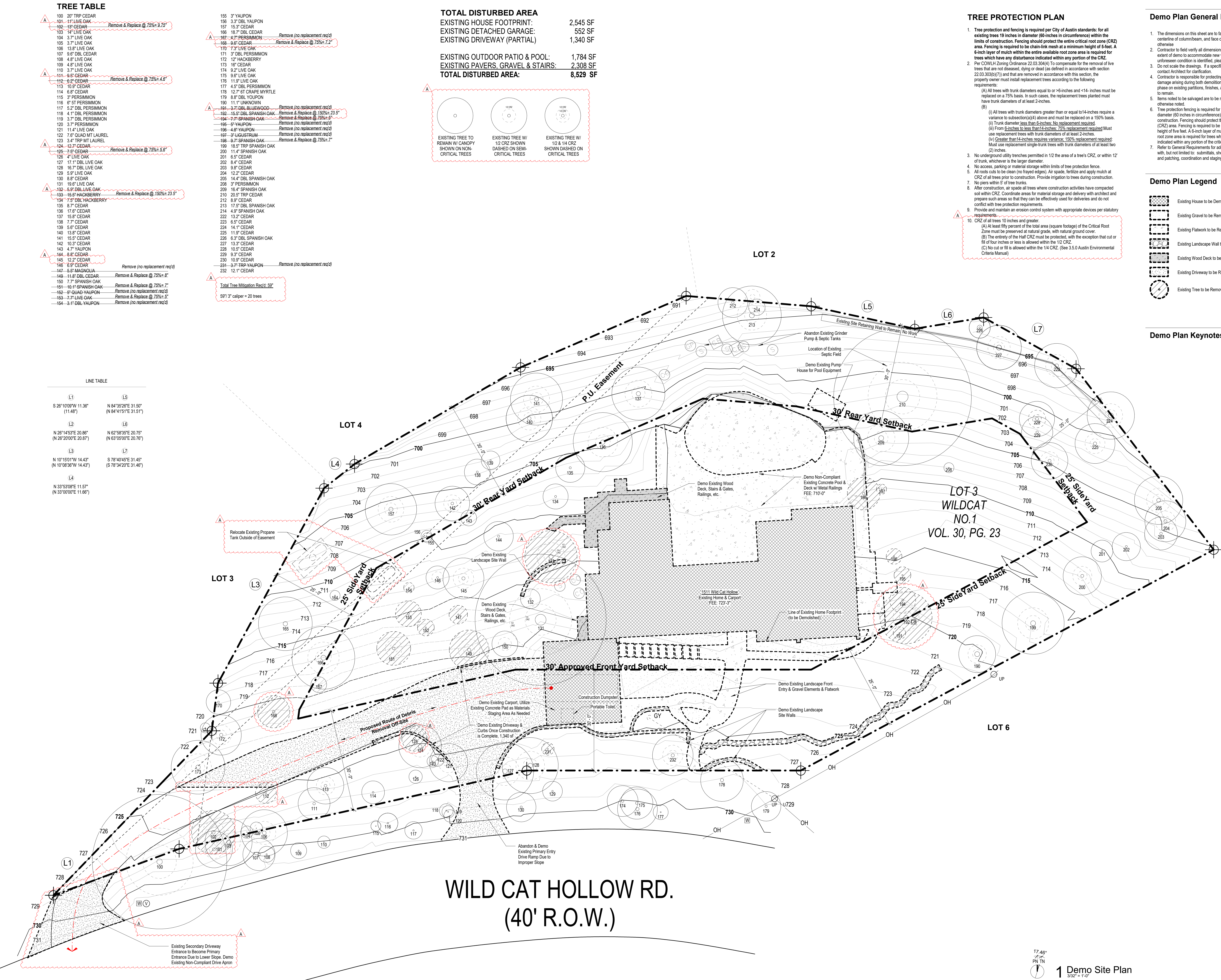
Michael Hsu Office Of Architecture
 826 Houston Street, Suite 100
 Austin, Texas 78756
 +1 (512) 706-4303
 hsoffice.com

Document Seal

Project Title
Wild Cat Hollow Residence
 1511 Wild Cat Hollow
 West Lake Hills, TX
 78746

LINE TABLE

L1	L5
S 26°10'09"W 11.30' (11.48')	N 84°36'26"E 31.50' (N 84°41'51"E 31.51')
L2	L6
N 26°14'53"E 20.86' (N 26°20'00"E 20.87')	N 62°58'35"E 20.75' (N 63°05'00"E 20.76')
L3	L7
N 10°15'01"W 14.43' (N 10°08'36"W 14.43')	S 78°40'45"E 31.45' (S 78°54'20"E 31.46')
L4	
N 33°53'08"E 11.57' (N 33°00'00"E 11.66')	



WILD CAT HOLLOW RD.
(40' R.O.W.)

17.46°
 UP
 1 Demo Site Plan
 3/32" = 1'-0"

Drawing Title
Demolition Site Plan

Sheet
D.000.1

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TREE TABLE

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177	3" DBL YALPON	232	14" DBL SPANISH OAK

LINE TABLE

L1	S 26°10'09"W 11.36' (11.48')	L5	N 84°32'26"E 31.50' (N 84°41'51"E 31.51')
L2	N 26°14'53"E 20.86' (N 26°20'00"E 20.87')	L6	N 62°58'35"E 20.75' (N 63°03'00"E 20.76')
L3	N 10°15'01"W 14.43' (N 10°08'36"W 14.43')	L7	S 78°40'45"E 31.45' (S 78°34'20"E 31.46')
L4	N 33°33'06"E 11.57' (N 33°00'00"E 11.66')		

PROPOSED IMPERVIOUS COVER

HOUSE FOOTPRINT:	3,126 SF
DETACHED GARAGE:	575 SF
NEW DRIVEWAY & RETAINING WALLS:	1,066 SF
NEW OUTDOOR PATIO:	243 SF
BRICK PAVERS & WALKWAYS:	366 SF
AC PADS:	18 SF
GRAVEL w/o COMPACTED BASE:	775 SF*
GRAVEL w/COMPACTED BASE:	1,285 SF*
NEW LANDSCAPE WALLS:	60 SF
NEW POOL (Separate Permit):	375 SF
EXISTING SITE RETAINING WALLS:	186 SF
EXISTING DRIVEWAY (Reduction):	701 SF
TOTAL PROPOSED IC:	8,776 SF = 28.1%***
ALLOWABLE IC 30%**	9,367 SF
PROPOSED IC %: 28.1%/	

*Per COWLH Code 1.01.003 (1) & (3)(B)(i)
 ** Per Variance Approval # 2024-1198
 *** Per COWLH Drainage & Erosion Manual, Table 2-1 Residential Development Categories

CODE ANALYSIS

Property ID:	117351
Parcel ID:	011713011
Building Type:	R-1 (One-Family Residential)
Legal Description:	LOT 3 AMENDED PLAT L7S 4 & 5 WILDCAT NO 1 LTS 384 RESUB OF LT 3 BK 3 SHELTON SUBD
Fully Developed Floodplain:	No
FEMA Floodplain:	No
Austin Watershed Regulation Areas:	No
Watershed Boundaries:	See Creek
Creek Buffer:	No
Edwards Aquifer Recharge Zone:	No
Edwards Aquifer Recharge Verification Zone:	No
Erosion Hazard Zone Review Buffer:	No
Zoning Jurisdiction:	City of West Lake Hills Zoning Ordinances
County:	Texas
Min. Lot Size:	1 acre
Min. Lot Depth:	150 ft
Min. Lot Width:	150 ft
Min. Setbacks:	30 ft** (see approved variance File No: 2024-1198)
Front Yard:	25 ft
Side Yard:	25 ft
Rear Yard:	30 ft
Max. Building Height:	30 ft
Max. Impervious Cover:	30% Above Natural Grade <25% Slope 32 ft Above Natural Grade >25% Slope 30% of Lot Area = 9,367 sf Allowable* (see approved variance File No: 2024-1198)
Existing Lot Size:	31,223 sf (0.717 acres)
Existing Lot Depth:	145 ft
Existing Front Yard Setback:	Varies (see dates COWLH Zoning Ordinances)
Existing Impervious Cover:	9,312 sf + 30% of Lot Area > 25% COWLH 20's
Existing Lot Non-Conformance:	COWLH Zoning Ordinance 22.03.281 COWLH Zoning Ordinance 22.03.272 & 281, 38.02.007 (b.3) Triggers current COWLH Zoning Ordinance Setbacks
Variance Approval:	2024-1198 May 8th, 2024
Variance File No:	2024-1198
Date of Hearing:	May 8th, 2024
Variance Request:	1. Section 22.03.281(b) to allow an increase area of impervious cover to 30% where 25% is the maximum and. 2. Section 22.03.281(b) to allow for up to 30 ft encroachment of the building and grading into the 50 ft setback 3. Existing Home, to be Demolished
Flowline:	Hydrant #H122 Flow 1.50-1.999, per COWLH Flow Test Results for Water District 10

SITE PLAN GENERAL NOTES

- All spot elevations to be verified in field prior to construction. Notify Architect of any discrepancies. Site dimensions are to exterior of finished face.
- Benchmark to be verified with architect prior to construction.
- Do not scale the drawings. If a specific dimension is not given, contact Architect for clarification.
- Contractor is responsible for protecting and repairing additional damage arising during both demolition phase and new construction phase on existing partitions, finishes, and building elements that are to remain.
- Refer to General Requirements for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.

TREE PROTECTION PLAN

- Tree protection and fencing is required per City of Austin standards for all existing trees 19 inches in diameter (46-inches in circumference) within the limits of construction. Fencing should protect the entire critical root zone (CRZ) area. Fencing is required to be chain-link mesh at a minimum height of 4-feet. A 6-inch layer of mulch within the entire available root zone area is required for trees which have any disturbance indicated within any portion of the CRZ.
- Per COWLH Zoning Ordinance 22.03.304(i) To compensate for the removal of live trees that are not diseased, dying or dead (as defined in accordance with section 22.03.303(b)(7)) and that are removed in accordance with this section, the property owner must install replacement trees according to the following requirements:
 - (A) All trees with trunk diameters equal to or >8-inches and <14-inches must be replaced on a 75% basis. In such cases, the replacement trees planted must have trunk diameters of at least 2-inches.
 - (B) All trees with trunk diameters greater than or equal to 14-inches require a variance to subsection (A) above and must be replaced on a 150% basis.
 - (C) Trunk diameter less than 8-inches. No replacement required.
 - (D) From 8-inches to less than 14-inches. 75% replacement required. Must use replacement trees with trunk diameters of at least 2-inches.
 - (E) Greater than 14-inches requires variance. 150% replacement required. Must use replacement single-trunk trees with trunk diameters of at least two (2) inches.
- No underground utility trenches permitted in 1/2 the area of a tree's CRZ, or within 1/2 of trunk, whichever is the larger diameter.
- No access, parking or material storage within limits of tree protection fence.
- All roots cuts to be clean (no frayed edges). Air spade, fertilizer and apply mulch at CRZ of all trees prior to construction. Provide irrigation to trees during construction.
- No piles within 2' of tree trunks.
- After construction, air spade all trees where construction activities have compacted soil within CRZ. Coordinate areas for material storage and delivery with architect and prepare such areas so that they can be effectively used for deliveries and do not conflict with tree protection requirements.
- Provide and maintain an erosion control system with appropriate devices per statutory requirements.
- CRZ of all trees 10 inches and greater:
 - (A) At least fifty percent of the total area (square footage) of the Critical Root Zone must be preserved at natural grade, with natural ground cover.
 - (B) The entirety of the Half CRZ must be protected, with the exception that cut or fill of four inches or less is allowed within the 1/2 CRZ.
 - (C) No cut or fill is allowed within the 1/4 CRZ. (See 3.5.0 Austin Environmental Criteria Manual)



**WILD CAT HOLLOW RD.
(40' R.O.W.)**

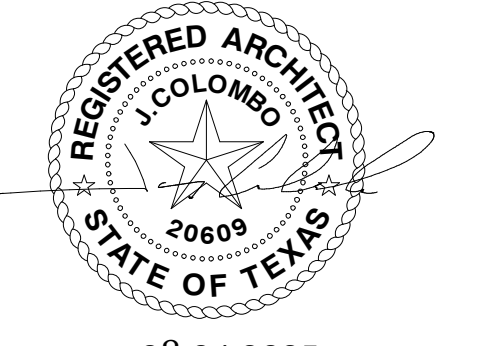
LEGEND

Property Line/ Setback Line	Overhead Utility Wire
Existing Tree (to remain)	Utility Pole
Existing Boundary Pin	G E W Gas, Elec. Water Meter(s)
Existing Easements	S Septic Lid
Demolished Tree	C Clean Out
Tree Protection	V Vent
Demolished Building Footprint	CB Control Box
Existing Grade Major Interval	B Benchmark
Existing Grade Minor Interval	
Proposed Grade Line	
Proposed Building Footprint	Existing Flatwork
Proposed Flatwork	Existing Driveway
Proposed Driveway	Existing Gravel
Proposed Gravel	Existing Masonry
Proposed Pool	Existing Wood Deck
Proposed Septic Field	
Proposed Landscape Wall	

17.46°
 1" = 30'-0"
Proposed Site Plan

**Michael Hsu
Office of Architecture**

826 Houston Street, Suite 100
 Austin, Texas 78756
 +1 (512) 706-4303
 hsooffice.com



Project Title

**Wild Cat Hollow
Residence**

1511 Wild Cat Hollow
West Lake Hills, TX
78746

Date	Issue/ Revision
08.04.2025	Permit Comments-Rev A

Drawing Title

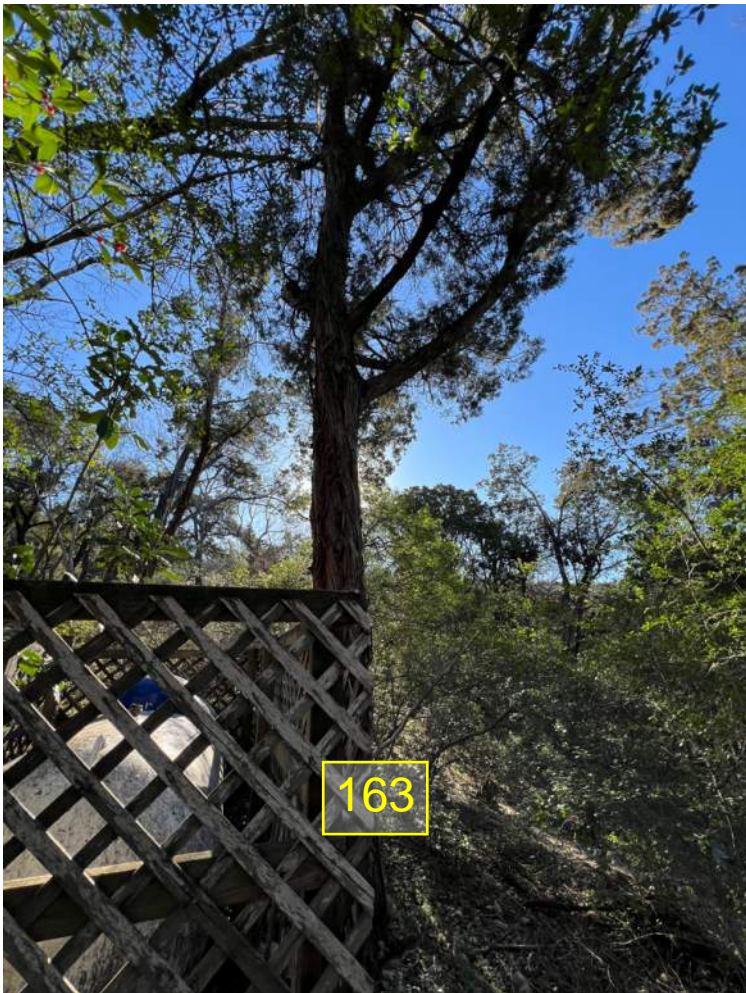
Proposed Site Plan

Sheet

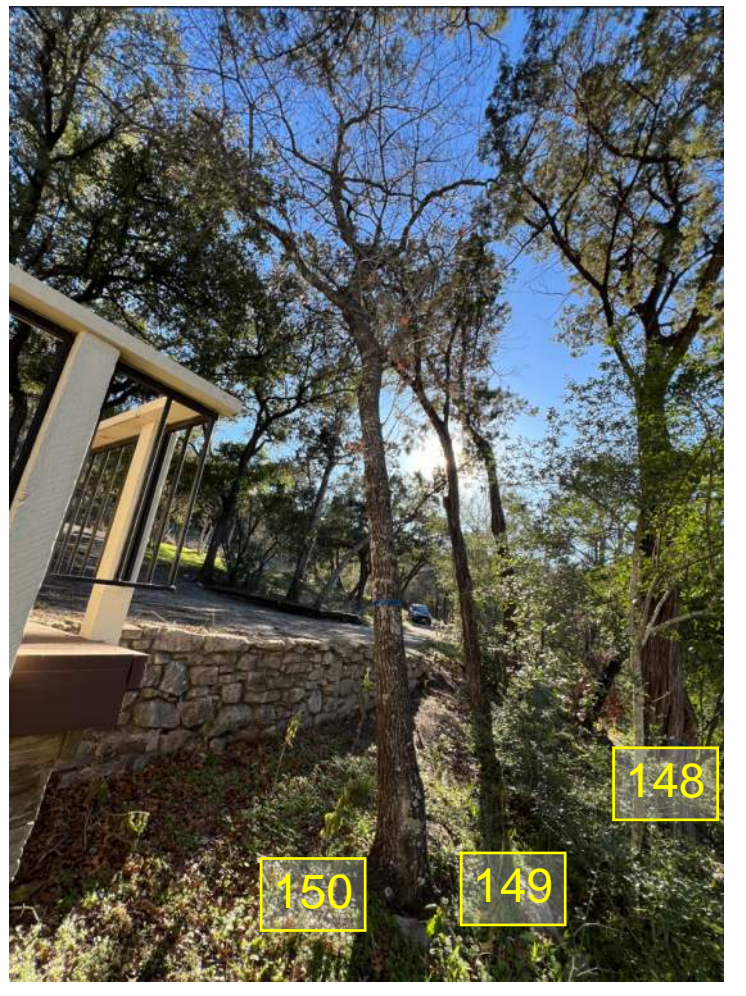
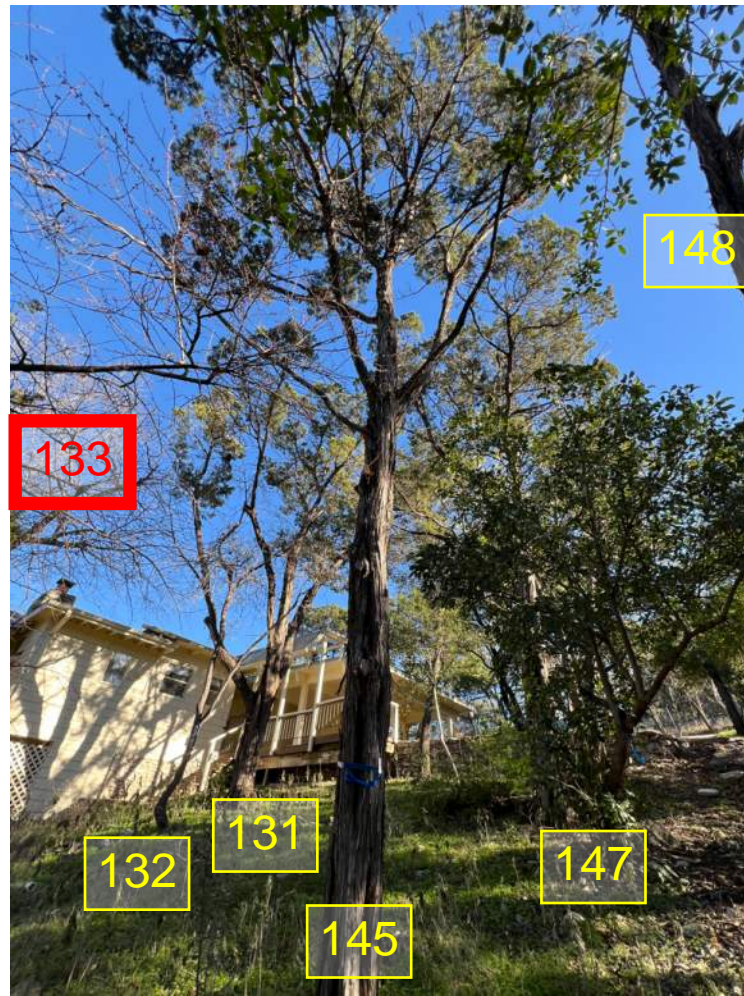
30 x 42" Full Scale 1/4" = 1'-0"
 12 x 18" Half Scale 1/8" = 1'-0"

A.001.1

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133





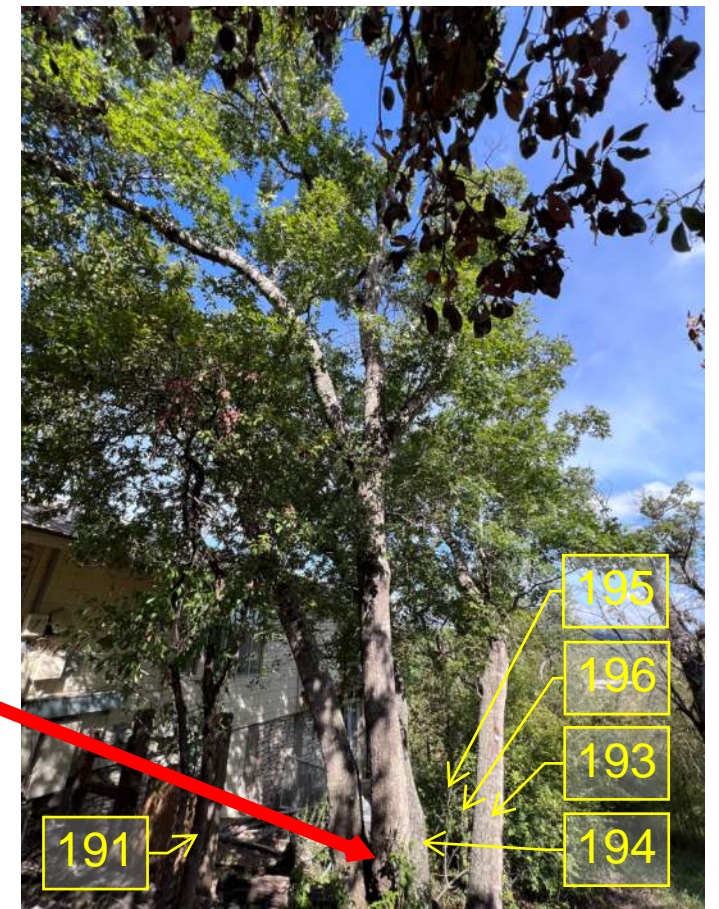


Exhibit A

1511 Wildcat Hollow – Tree Removal

Applicant's Findings of Fact

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.

Tree #133, a 15.5" Hackberry, poses a significant safety hazard due to its heavy lean towards the proposed new construction. This lean creates a risk during the construction phase and also after the home is occupied. Hackberry's are also a non-native species and should be considered for immediate removal.

Secondly, tree #192, a 15.5" Spanish Oak, is located very near the limits of construction and is unlikely to survive the construction process. Alex Sanchez has also indicated that a variance and mitigation will be needed for the removal of these two trees.

2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.

This site is heavily vegetated with numerous trees. We plan to include additional landscape features and intend to mitigate the removal of these two trees. The surrounding area will not be disturbed.

3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

The existing site was not in compliance for the following reasons listed below. A variance, #2024-1198, was approved to address these hardships. Given the odd geometry of the site boundary, the proposed home is shimmed between the largest tree on the site #131- 19.6" Live Oak on the left, and the future septic field and neighbor on the right. It was our intent to save these trees as part of the permit application, however after meeting with Alex Sanchez, we deemed these trees eligible for removal. We plan to mitigate these two trees with added landscape at the front yard to shield the home from the street and adjacent neighbor.

1. Total site area is less than 1 acre (0.717 acres)
2. Overall lot depth is less than 150ft (145ft)
3. Intent to demolish the existing 1964 home, carport and pool deck triggers current COWLH Zoning Ordinance setbacks and initiates a new 50ft front setback line.
4. New COWLH 50ft front setback line results in loss of buildable site area of 27% > 25% maximum.

5. The new COWLH 50ft front setback line produces unreasonable encroachment upon new buildable area by 30ft at its greatest point, accounting for 50% of the overall buildable dimension of 60ft.

4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

Tree #133, 15.5" Hackberry, poses a significant safety hazard and could fall imminently. Removing this tree will be safer for all.

By mitigating, we will add new native landscape to the front yard and bolster the surrounding greenery. In doing so, it will also protect the home from the street and provide a green buffer to the adjacent neighbor.

5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.

This site will be enhanced by introducing native trees which are expected to promote and strengthen new vegetation growth in the area.

6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.

The proposed home design is nested within the topography of the site. Our comprehensive overall design for this site is to greet nature with a gentle touch as much as possible. The overall aesthetic will enhance the neighborhood with planned trees at the street and the home will be less visible.



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	September 17, 2025	Item Number:	5
	Building & Development Services		
Department:			
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

207 Yaupon Valley Dr.: Consider action to make a recommendation to the Board of Adjustment on variances:

- To allow for grading on a slope of 35% or greater (Drainage and Erosion Control Design Manual Section 7.4.1); and
- To allow for closed fill greater than 6 feet on slopes with a grade between 0% and 35% (Drainage and Erosion Control Design Manual Section 7.4.1)

Applicant: Davin Fillpot, Agent

Recommendation

Discuss and provide a recommendation including the analysis of the following criteria:

- The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
- The variance may have an adverse effect on neighborhood properties or interfere with the respective owners’ enjoyment thereof.

The Zoning and Planning Commission, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria listed in the variance criteria in the report.

The Zoning and Planning Commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The applicant has provided their findings in Exhibit A.

This item will be forwarded to the October 8, 2025 Board of Adjustment meeting for consideration.

Discussion

Property Information, Zoning & Site Characteristics:

Owner: Gangadharam Gregory Osuri

Legal Description: Osuri Subdivision, Lot 1

Lot Size: 1.743 acres

Zoning: R-1, One-Family Residential

The properties surrounding the subject property are zoned R-1 One-Family Residential District.

Background & Analysis:

The applicant is proposing demolish the existing 2,056 sf house built in 1951 and build a new 7,581 sf two-story house. The site will have 9,297 sf of improvements with 12.2% impervious cover. The new residential construction application is currently under review.

Analysis:

Cut and fill limits

Code Requirements

- Drainage and Erosion Control Design Manual, Section 7.4.1 Cut/Fill Limits.

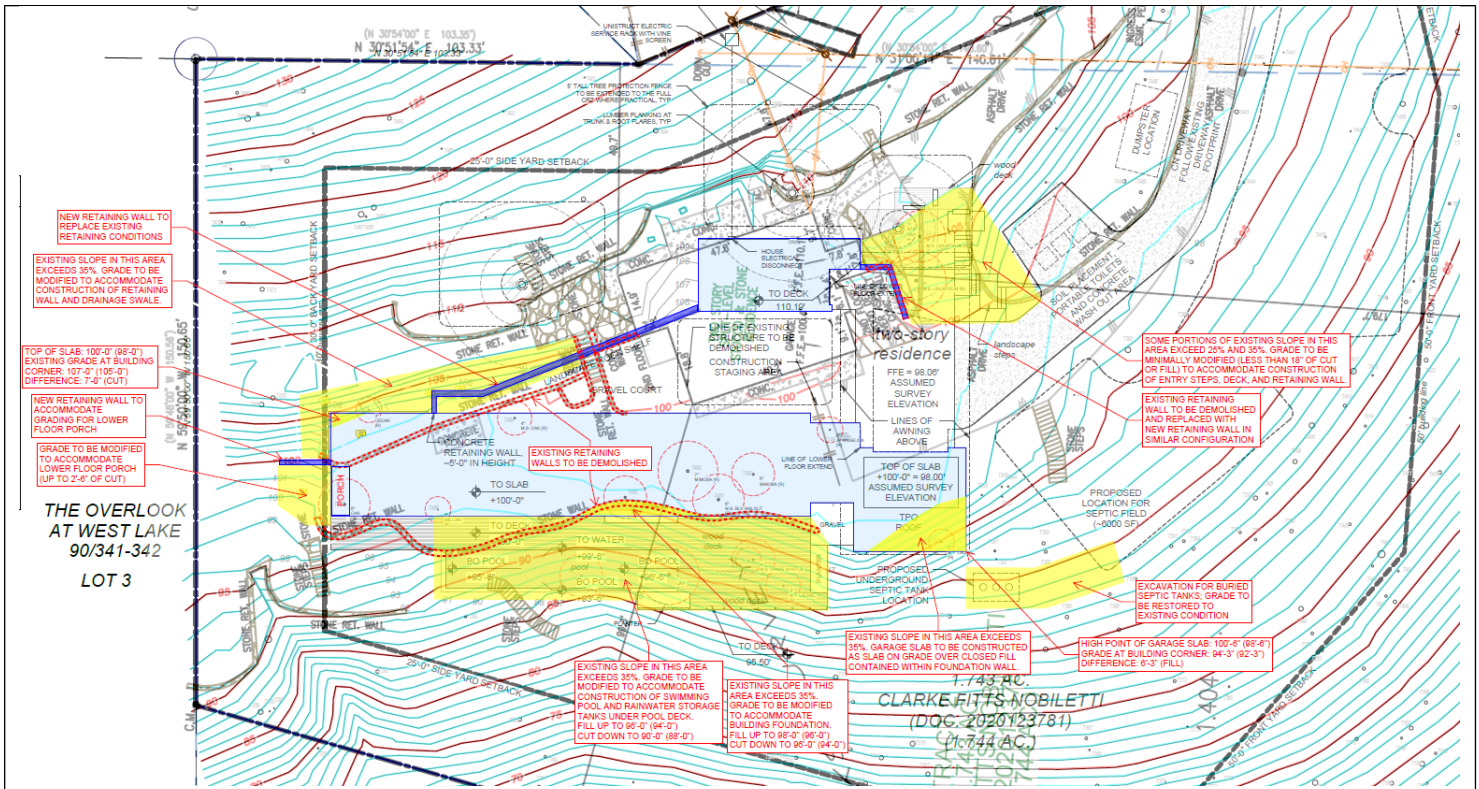
In order to reduce stormwater runoff, resulting in erosion, sedimentation and conveyance of nonpoint source pollutants, the layout of the street network, lots and building sites shall, to the greatest extent possible, be sited and aligned along natural contour lines, and shall minimize the amount of cut and fill on slopes in order to minimize the amount of land area disturbed during construction. The maximum cut and fill limits are shown in Table 7-1.

Table 7-1: Maximum Cut and Fill Limits

Slope	Open Cuts and Fills	Closed Cuts	Closed Fill
0 - 15%	3 feet	20 feet	6 feet
15 - 25%	1 foot	15 feet	6 feet
25% - 35%	0 feet	10 feet	6 feet
> 35%	0 feet	0 feet	0 feet

Request:

- Allow for grading on a slope of 35% or greater
The areas in yellow indicate areas where the slope exceeds 35% slope.



The applicant is proposing grading within this area for site features such as:

- Retaining walls (west of building) – fill of up to 10 feet
 - Swimming pool/drainage (east) – a cut of 2 feet, and a fill of 2 feet
 - Southwest corner of the building – 7 foot cut
 - Northeast corner of the building – 6.25-foot fill
- Allow for closed fill greater than 6 feet on slopes with a grade between 0% and 35%
At the southwest corner of the building, the applicant is proposing a fill of 6.25 feet.

The applicant’s engineer has provided a statement with his engineering opinion on the impacts of the cut/fill requirements (Attachment 7).

City Engineer Opinion

The City Engineer has recommended denial until the design engineer verifies that there are no adverse impacts of the properties downstream (Attachment 8).

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City’s Code.

Compliance with Adopted Building Codes

The property and future construction will have to comply with all applicable City codes.

Subdivision

There is no change to the subdivision proposed with this application.

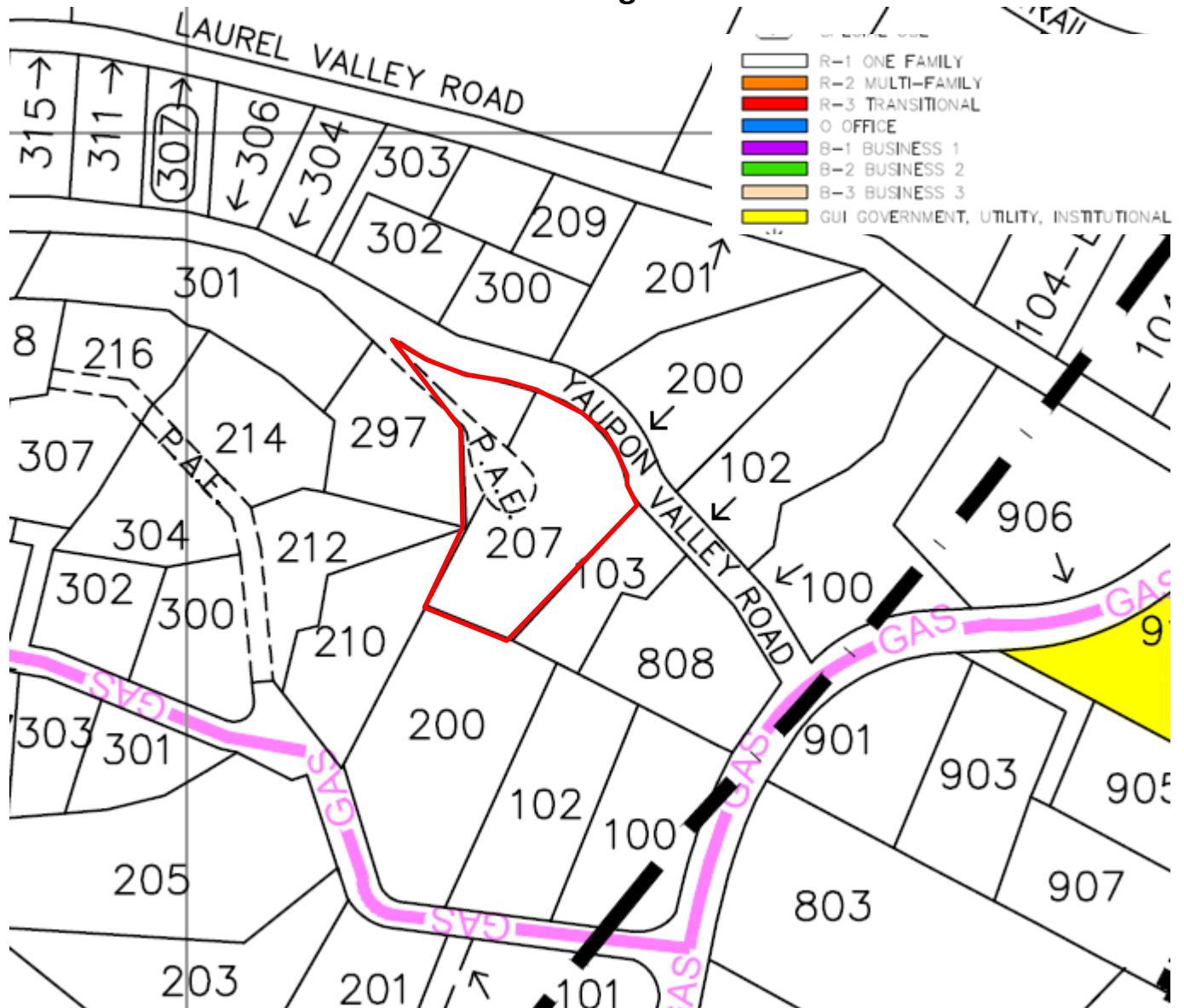
Comprehensive Planning Analysis

The request is in conformance with the City of West Lake Hills Master Plan.

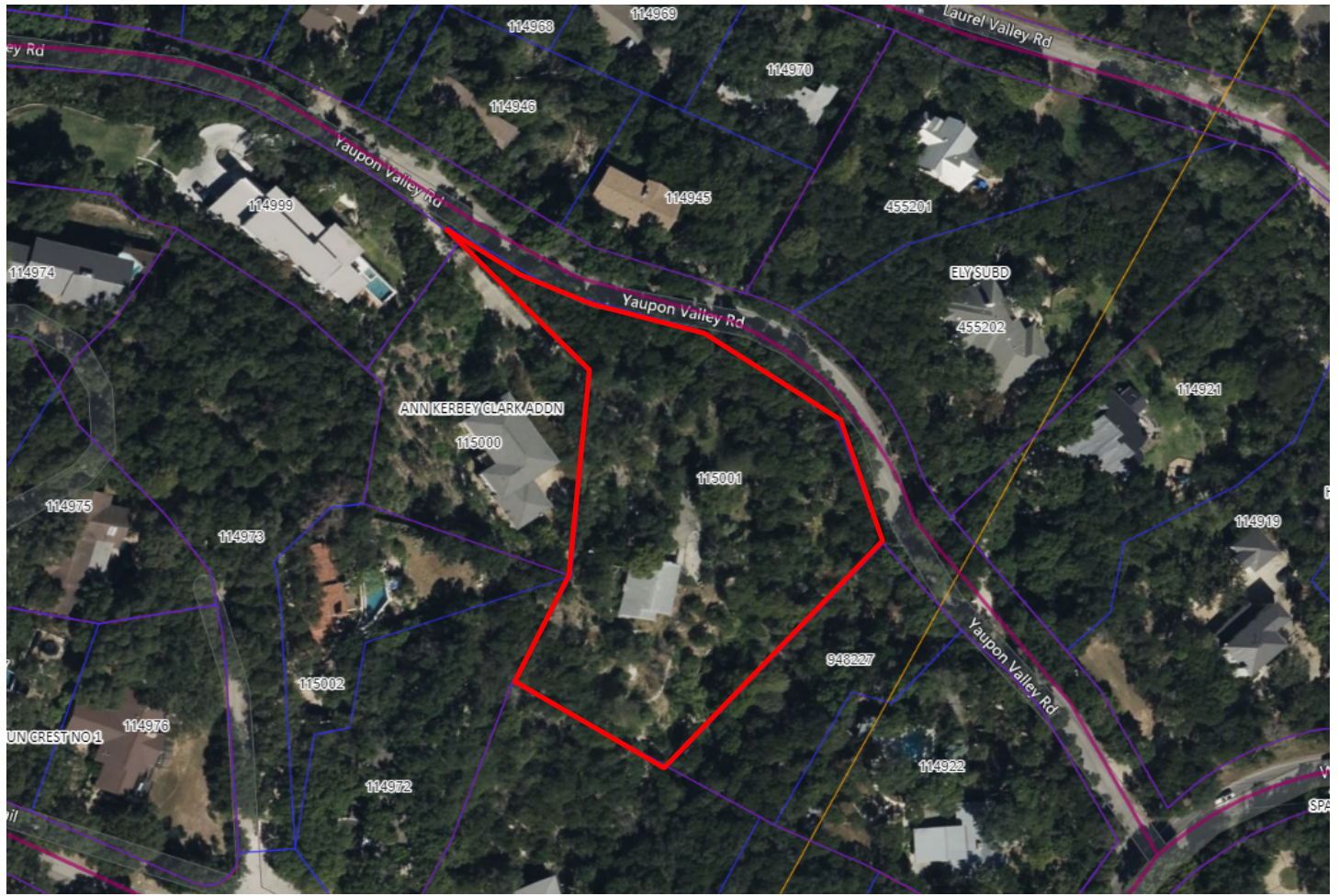
Links to Relevant Code:

- [Drainage and Erosion Control Manual](#)
- [Section 38.05.031 Variances](#)
- [Section 22.03.514 Criteria and process required for granting variance](#)

Zoning:



Aerial:



August 18th, 2025
Letter to ZAPCO Chair

RE: 207 Yaupon Valley Road Variance Request

Greetings Chairman Meisel,

My name is Davin Fillpot and I am assisting the owner of 207 Yaupon Valley Road and their architect seek and apply for 2 Variances to the West Lake Hills Code of Ordinances.

This property was previously developed in 1951. The existing home that still sits on the property, and is scheduled for demolition around the same time of receipt of the building permit

The existing home is situated somewhat near the upper center portion of the site.

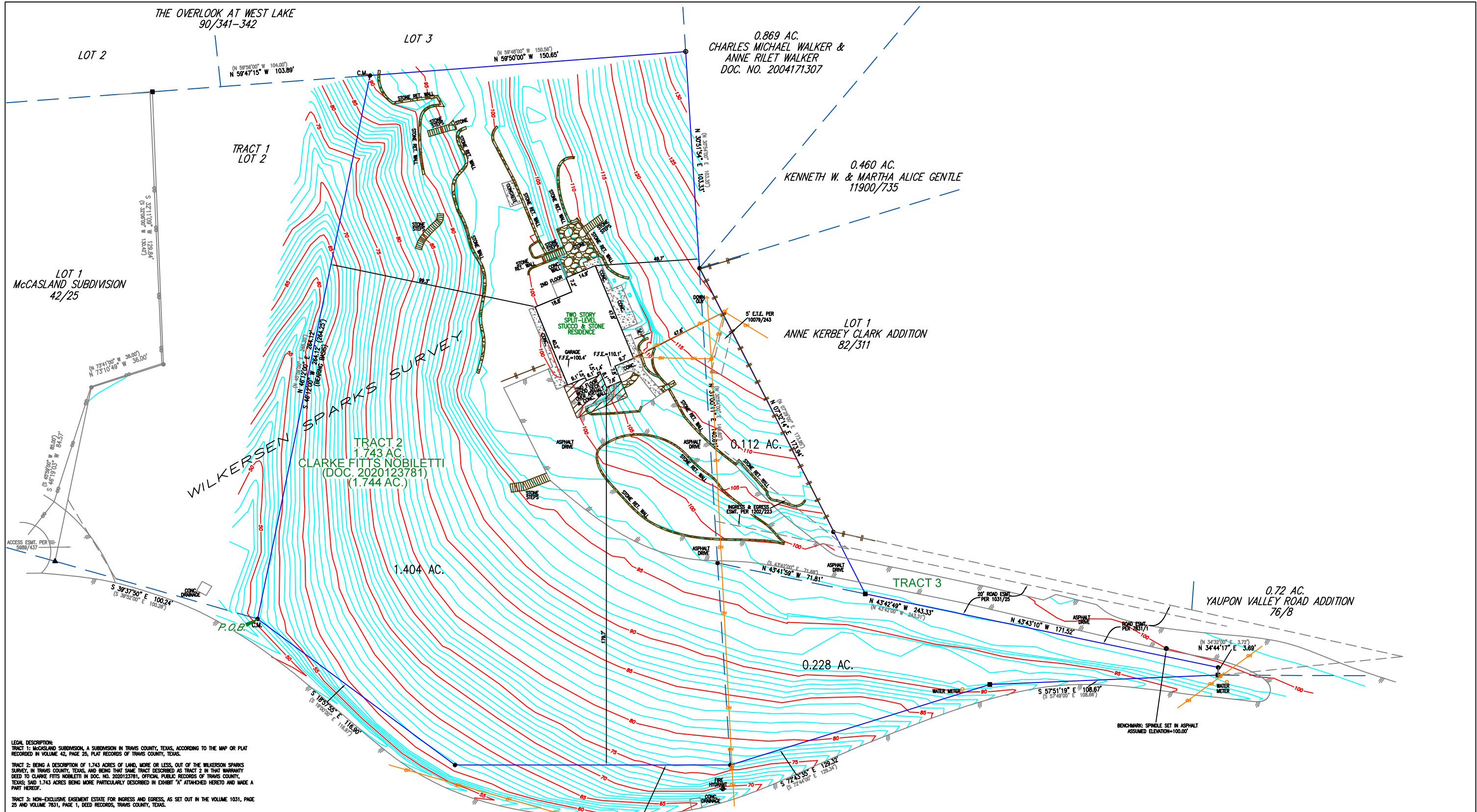
The new home is seeking to re-utilize the existing driveway and move the new septic drain field to the area to the east of the rebuilt driveway in an open area that will not trigger the removal of any trees for either of these 2 elements of the project.

The new home will be located on top of the footprint of the existing 1951 home, and extend over into the area of the existing septic drain field. Siting the building in this location will only trigger removal of 16 small trees on the property to accommodate the entire project, and minimize site disturbance. All of this can be achieved by avoiding all of the variances that are typically requested in West Lake Hills. The only variances that are being triggered are contained in the WLH Drainage Manual - Section 7.4.1 CUT/FILL LIMITS - Table.

There are isolated portions of the foundation that are proposed to exist on top of slopes 35% or greater, and a portion of the back of the house where the swimming pool is proposed that will trigger cuts into slopes of 35% or greater. In addition, several small portions of the building foundation were identified by the City of West Lake Hills to have more than 6' of fill that is used to support the building foundation, but fully encased within the foundation wall and slab.

As you review the variance application and accompanying exhibits that explain these requests in greater detail, please do not hesitate reaching out if you have any questions or need any additional clarification.

Kind Regards,
Davin Fillpot, Architect / West Lake Hills Code Consultant

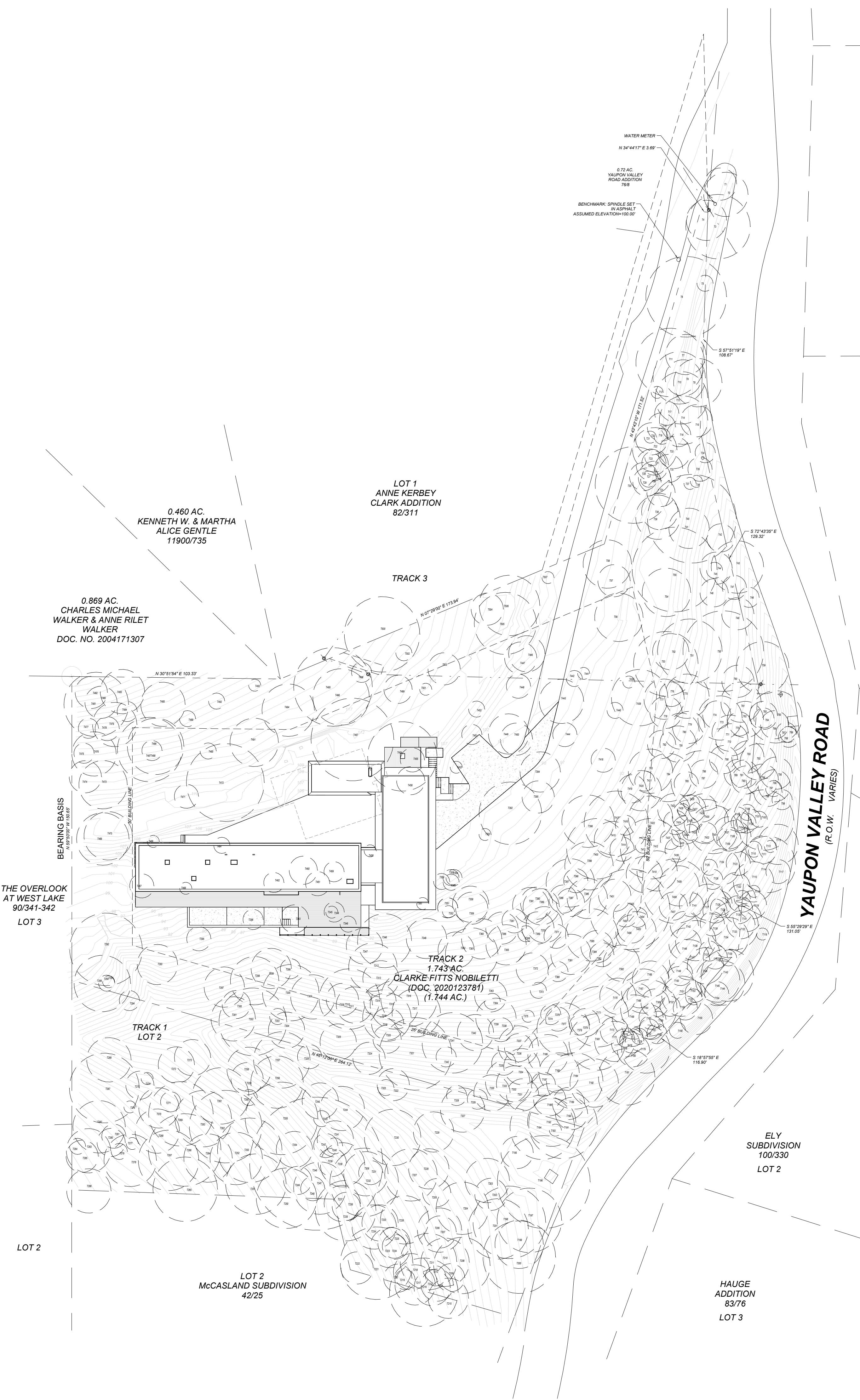


LEGAL DESCRIPTION:
TRACT 1: McCASLAND SUBDIVISION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 42, PAGE 25, PLAT RECORDS OF TRAVIS COUNTY, TEXAS.
TRACT 2: BEING A DESCRIPTION OF 1.743 ACRES OF LAND, MORE OR LESS, OUT OF THE WILKERSEN SPARKS SURVEY, IN TRAVIS COUNTY, TEXAS, AND BEING THAT SAME TRACT DESCRIBED AS TRACT 2 IN THAT WARRANTY DEED TO CLARKE FITTS NOBILETTI IN DOC. NO. 2020123781, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; SAID 1.743 ACRES BEING MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.
TRACT 3: NON-EXCLUSIVE EASEMENT ESTATE FOR INGRESS AND EGRESS, AS SET OUT IN THE VOLUME 1031, PAGE 25 AND VOLUME 7631, PAGE 1, DEED RECORDS, TRAVIS COUNTY, TEXAS.

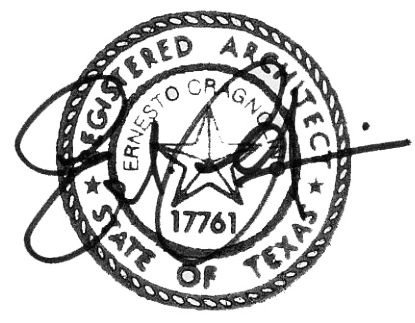
		<p>Notes:</p> <ol style="list-style-type: none"> 1) Subject to restrictions and easement rights recorded in 947/539, 1082/286, 1031/25, 1425/87, Deed Records and in Vol. 42, Pg. 25, Plat Records. 2) Subject to blanket type electric and telephone easement per 554/502. 3) Electric easements per 614/280, 676/298, 661/568 contain insufficient data to locate. 4) Subject to ingress and egress easement per 947/539.
<p>TO THE OWNER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED AND TO CHICAGO TITLE INSURANCE COMPANY</p> <p>I, AND MY COMPANY, DO HEREBY CERTIFY THAT THE SURVEY WAS MADE AND THE DATA WAS OBTAINED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF TEXAS. I AM NOT PROVIDING THIS INFORMATION AS AN INSURANCE POLICY OR AS A WARRANTY OF ANY KIND. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY INSURANCE COVERAGE. I AM NOT PROVIDING THIS INFORMATION AS AN INSURANCE POLICY OR AS A WARRANTY OF ANY KIND. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY INSURANCE COVERAGE.</p>		
<p>STREET ADDRESS: 207 YAUAPON VALLEY ROAD CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS</p> <p>REFERENCE NAME: CLARKE FITTS NOBILETTI G.F. #: CTA-24-CTA2002728</p>		
<p>B & G SURVEYING, LLC P.O. BOX 100000, AUSTIN, TX 78710 WWW.BANDGSURVEYING.COM 1404 West North Loop Blvd. Austin, Texas 78756 - Office 512-458-6888</p>	<p>JOB #: B0706520_TA DATE: 08/06/20 SCALE: 1" = 20'</p>	<p>FIELD WORK BY: NEHE 08/03/20 CHECKED BY: JOSE 08/06/20 DRAWN BY: JOSE 08/06/20 CHECKED BY: ML 08/06/20</p>

LEGEND

	1/2" REBAR FOUND
	1/2" CAPPED REBAR SET
	1/2" IRON PIPE FOUND
	800 HAL FOUND
	800 HAL SET
	CAPPED REBAR FOUND
	" SET IN CONCRETE
	" FOUND IN CONCRETE
	SPWOLE SET
	PUNCH HOLE FOUND
	PUNCH HOLE FOUND
	CHAIN LINK FENCE
	WOOD FENCE
	BUILDING LINE
	P.U.E. PUBLIC UTILITY EASEMENT
	D.E. DRAINAGE EASEMENT
	() PER PLAT
	() PER PLAT
	P.L.B. PLACE OF BEGINNING
	P.L.B. PLACE OF BEGINNING
	OVERHEAD UTILITY LINE
	POWER POLE
	AIR CONDITIONER



osuri residence
 207 YAUPON VALLEY RD,
 WEST LAKE HILLS,
 TEXAS 78746



alterstudio
 architecture LLP

1801 lavaca st #106
 austin, texas 78701
 512 499 8007

DD PRICING SET	01.06.2025
PERMIT SET	03.10.2025
CONTRACT SET	05.16.2025

Scale: 1" = 30'-0"

HALF OF NOTED SCALE WHEN PRINTED ON 12X18. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT IN CASE OF DISCREPANCIES. THIS SHEET IS ONLY ONE COMPONENT OF THE TOTAL DOCUMENT PACKAGE WHICH CONSISTS OF ALL DRAWINGS AND SPECIFICATIONS.

overall site plan
A0.02

lot legal description

LOT 1, BLOCK A OSURI SUBDIVISION

PARCEL ID: 0115150434
 LOT SIZE: 1.743 ACRES, 75,969 SF
 ZONING: R-1
 RESIDENTIAL DEVELOPMENT CATEGORIES:
 RESIDENTIAL TYPE I DEVELOPMENT
 DRAINAGE CRITERIA:
 TYPE I DRAINAGE REPORT

THIS SITE PLAN PRODUCED USING INFORMATION FROM:

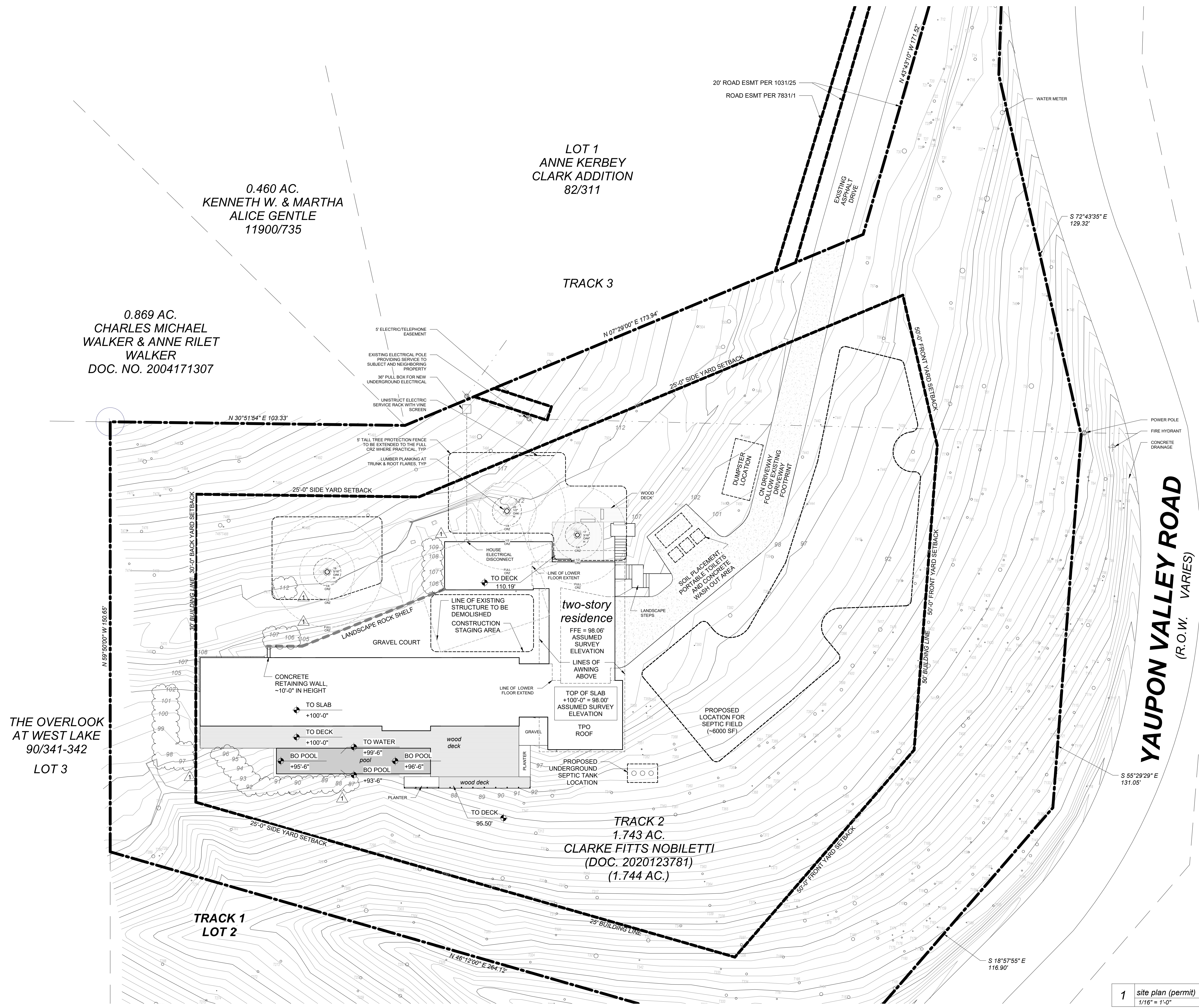
1. SITE SURVEY DATED AUGUST 6TH, 2020, PRODUCED BY B&G SURVEYING, LLC, 1404 WEST NORTH LOOP BLVD. AUSTIN, TX 78756 (512-458-6969) FIRM REGISTRATION NO. 100363-00 JOB #: B0706520_TA
2. SITE SURVEY TREE UPDATED SIGNED AND SEALED APRIL 3RD, 2024, PRODUCED BY B&G SURVEYING, LLC, 1404 WEST NORTH LOOP BLVD. AUSTIN, TX 78756 (512-458-6969) FIRM REGISTRATION NO. 100363-00 JOB #: B0306124_TA
3. ORIGINAL TOPO LINES WERE RENUMBERED WHERE 98' WAS UPDATED TO 100' TO ALIGN WITH NEW FINISHED FLOOR DATUM

fire sprinkler information

1. A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D WILL BE INSTALLED ON THE PROPERTY.
2. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MRFPS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY WEST LAKE FIRE DEPARTMENT PRIOR TO COVERING THE WALLS AND CEILINGS.
3. SPRINKLER HEADS INDICATED ON DRAWINGS ARE FOR GENERAL LAYOUT CONSIDERATIONS; FIRE SUPPRESSION SUBCONTRACTOR TO LOCATE HEADS IN ACCORDANCE WITH CODE REQUIREMENTS AND SOUND ENGINEERING PRINCIPLES.
4. SUBMIT DRAWINGS TO ARCHITECT FOR APPROVAL AND ALLOW A MIN. OF ONE WEEK FOR ARCHITECT REVIEW. ARCHITECT MAY REQUEST A MEETING TO DISCUSS ALTERNATE CONFIGURATIONS.
5. ALL HEADS ARE TO BE CONCEALED TYPE - HEAD CAP COLOR TO MATCH ADJOINING SURFACE AS CLOSELY AS POSSIBLE.

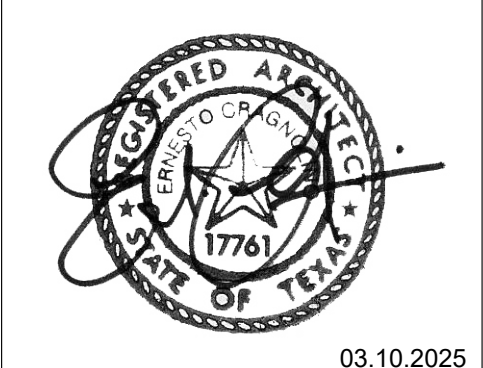
general notes

1. REFER TO ENGINEERED DRAINAGE PLANS FOR EROSION CONTROL.
2. IT IS PER ARCHITECT'S UNDERSTANDING, TREE T457, T463 AND T465 WERE LEGALLY REMOVED. TREE REMOVAL PERMIT 2023-11306.
3. REFER TO DRAWING A0.09 FOR TREE REMOVAL AND MITIGATION.



osuri residence

207 YAUPON VALLEY RD,
 WEST LAKE HILLS,
 TEXAS 78746



alterstudio
 architecture LLP

1801 lavaca st #106
 austin, texas 78701
 512 499 8007

DD PRICING SET	01.06.2025
PERMIT SET	03.10.2025
CONTRACT SET	05.16.2025
REV PERMIT SET	06.30.2025

Scale: As indicated

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site plan

A0.03

1 site plan (permit)
 1/16" = 1'-0"

lot legal description

LOT 1, BLOCK A OSURI SUBDIVISION

PARCEL ID: 0115150434
 LOT SIZE: 1.743 ACRES, 75,969 SF
 ZONING: R-1
 RESIDENTIAL DEVELOPMENT CATEGORIES:
 RESIDENTIAL TYPE I DEVELOPMENT
 DRAINAGE CRITERIA:
 TYPE I DRAINAGE REPORT

THIS SITE PLAN PRODUCED USING INFORMATION FROM:

1. SITE SURVEY DATED AUGUST 6TH, 2020, PRODUCED BY B&G SURVEYING, LLC, 1404 WEST NORTH LOOP BLVD. AUSTIN, TX 78756 (512-458-6969) FIRM REGISTRATION NO. 100363-00 JOB #: B0706520_TA
2. SITE SURVEY TREE UPDATED SIGNED AND SEALED APRIL 3RD, 2024, PRODUCED BY B&G SURVEYING, LLC, 1404 WEST NORTH LOOP BLVD. AUSTIN, TX 78756 (512-458-6969) FIRM REGISTRATION NO. 100363-00 JOB #: B0306124_TA
3. ORIGINAL TOPO LINES WERE RENUMBERED WHERE 98' WAS UPDATED TO 100' TO ALIGN WITH NEW FINISHED FLOOR DATUM

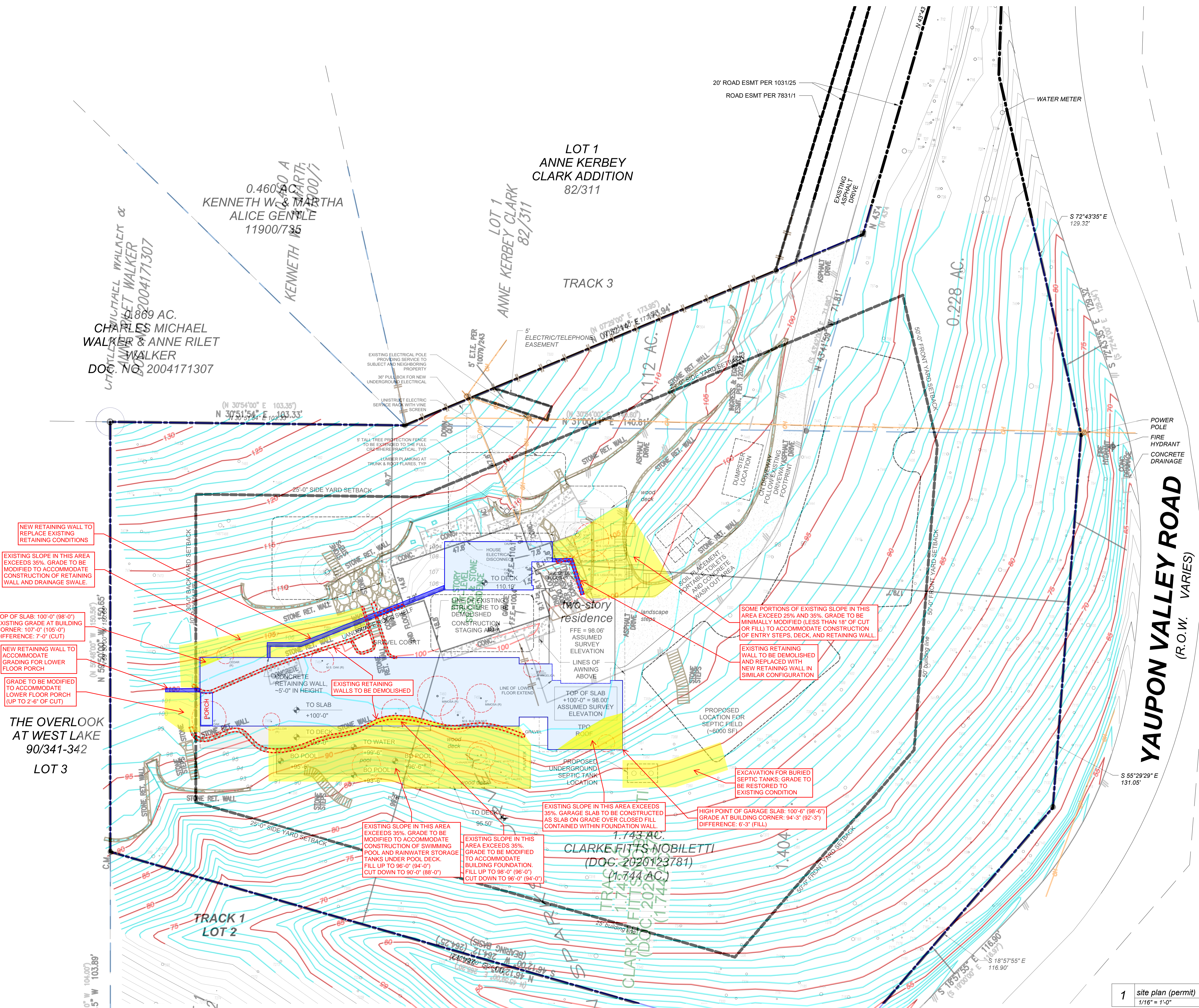
tree removal list

TAG	DIA	DESCRIPTION	STATUS
T296	5"	OAK (R)	REMOVE
T343	7"	OAK (R)	REMOVE
T344	5"	M.S. CRAPE MYRTLE (R)	REMOVE
T345	3"	CHINABERRY (R)	REMOVE
T346	4"	M.T. LAUREL (R)	REMOVE
T350	3"	M.T. LAUREL (R)	REMOVE
T455	6"	M.S. LIGUSTRUM (R)	REMOVE
T456	7"	M.S. LIGUSTRUM (R)	REMOVE
T458	3"	JP ANGELICA (R)	REMOVE
T459	5"	MIMOSA (R)	REMOVE
T460	7"	MIMOSA (R)	REMOVE
T461	6"	M.S. BLK WALNUT (R)	REMOVE
T462	5"	M.S. BLK WALNUT (R)	REMOVE
T464	4"	M.S. OAK (R)	REMOVE
T466	3"	WILLOW (R)	REMOVE
T467	6"	OAK (R)	REMOVE
T468	3"	CEDAR (R)	REMOVE

total tree removal = 82"
total tree replacement = 62"
 (75% of total tree removal)

- fire sprinkler information**
1. A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D WILL BE INSTALLED ON THE PROPERTY.
 2. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (MRFPSS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY WEST LAKE FIRE DEPARTMENT PRIOR TO COVERING THE WALLS AND CEILINGS.
 3. SPRINKLER HEADS INDICATED ON DRAWINGS ARE FOR GENERAL LAYOUT CONSIDERATIONS. FIRE SUPPRESSION SUBCONTRACTOR TO LOCATE HEADS IN ACCORDANCE WITH CODE REQUIREMENTS AND SOUND ENGINEERING PRINCIPLES.
 4. SUBMIT DRAWINGS TO ARCHITECT FOR APPROVAL AND ALLOW A MIN. OF ONE WEEK FOR ARCHITECT REVIEW. ARCHITECT MAY REQUEST PLAN MODIFICATIONS AND MAY REQUEST A MEETING TO DISCUSS ALTERNATE CONFIGURATIONS.
 5. ALL HEADS ARE TO BE CONCEALED TYPE - HEAD CAP COLOR TO MATCH ADJOINING SURFACE AS CLOSELY AS POSSIBLE.

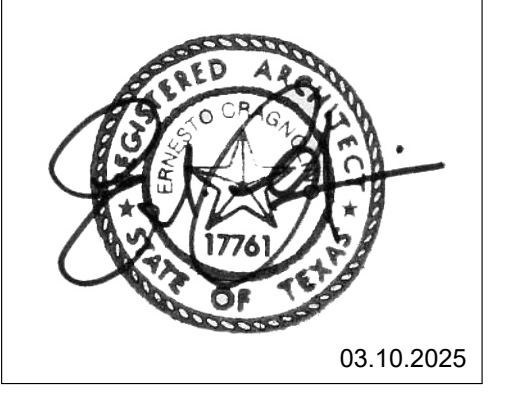
- general notes**
1. REFER TO ENGINEERED DRAINAGE PLANS FOR EROSION CONTROL.
 2. IT IS PER ARCHITECT'S UNDERSTANDING, TREE T457, T463 AND T465 WERE LEGALLY REMOVED. TREE REMOVAL PERMIT 2023-11306.



THE OVERLOOK AT WEST LAKE
 90/341-342
 LOT 3

1 site plan (permit)
 1/16" = 1'-0"

osuri residence
 207 YAUPON VALLEY RD,
 WEST LAKE HILLS,
 TEXAS 78746



alterstudio
 architecture LLP
 1801 lavaca st #106
 austin, texas 78701
 512 499 8007

- DD PRICING SET 01.06.2025
- PERMIT SET 03.10.2025
- CONTRACT SET 05.16.2025

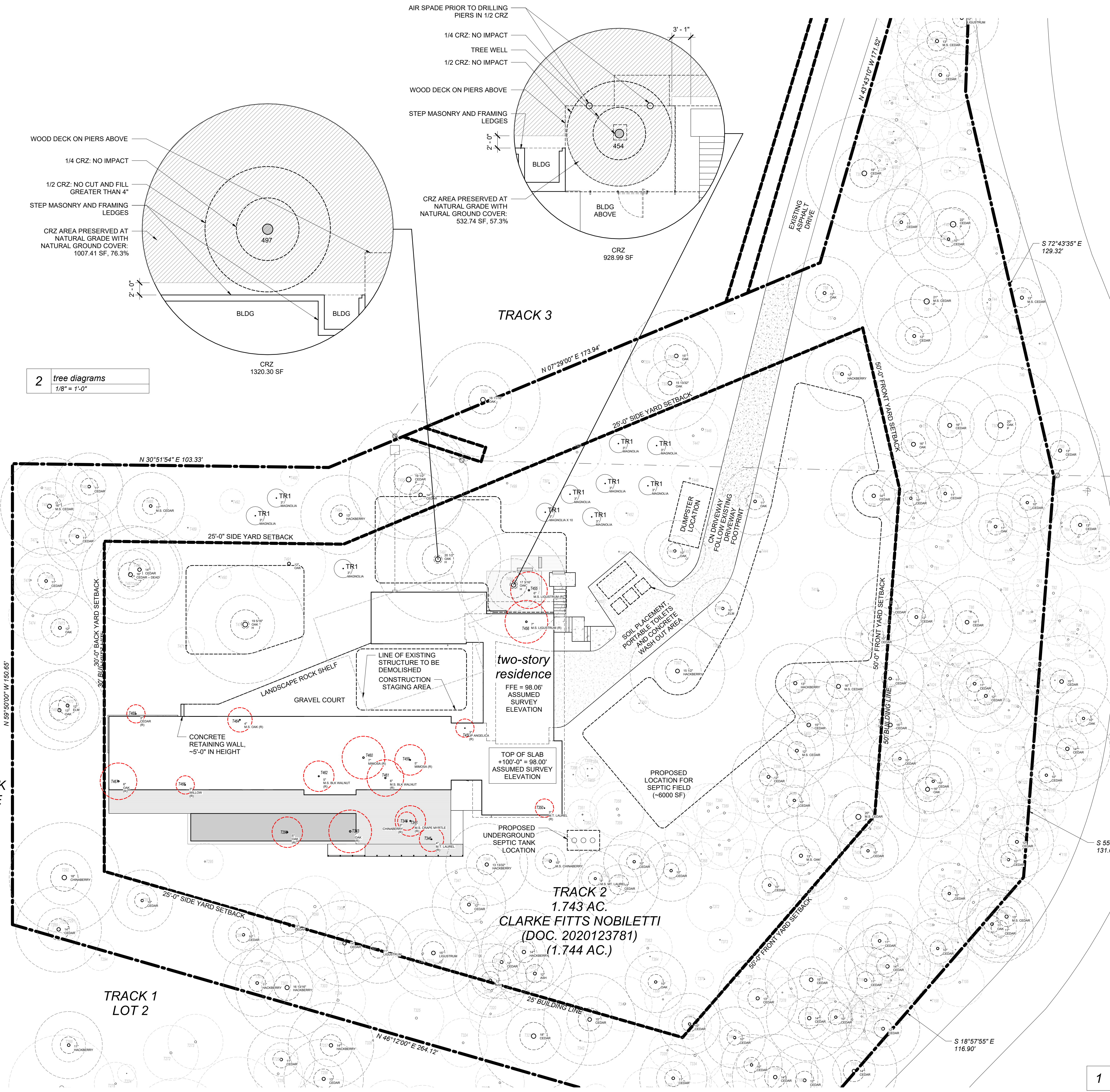
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site plan
A0.03

tree list

TAG	DIA	DESCRIPTION
T7	10"	CEDAR
T8	12"	LIGUSTRUM
T10	13"	CEDAR
T11	17"	CEDAR
T13	13"	M.S. CEDAR
T14	12"	CEDAR
T30	19"	CEDAR
T39	11"	CEDAR
T40	22"	CEDAR
T41	10"	CEDAR
T43	13"	M.S. CEDAR
T50	20"	OAK
T51	16"	CEDAR
T53	16"	OAK
T54	12"	CEDAR
T55	21"	M.S. CEDAR
T56	12"	HACKBERRY
T58	12"	OAK
T59	13"	CEDAR
T61	10"	CEDAR
T65	13"	CEDAR
T73	11"	OAK
T75	11"	CEDAR
T77	10"	CEDAR
T83	11"	CEDAR
T84	12"	CEDAR
T87	15"	CEDAR
T100	15"	CEDAR
T113	10"	OAK
T114	14"	CEDAR
T115	10"	CEDAR
T133	12"	CEDAR
T134	10"	CEDAR
T143	13"	M.S. CEDAR
T144	11"	CEDAR
T145	11"	OAK
T147	10"	CEDAR
T151	10"	CEDAR
T164	14"	CEDAR
T167	11"	CEDAR
T169	11"	CEDAR
T171	15"	CEDAR
T173	10"	CEDAR
T179	12"	CEDAR
T181	14"	CEDAR
T182	12"	CEDAR
T183	14"	CEDAR
T184	14"	CEDAR
T185	10"	CEDAR
T186	10"	CEDAR
T256	13"	CEDAR
T257	14"	HACKBERRY
T258	11"	CEDAR
T288	11"	HACKBERRY
T289	14"	CEDAR
T292	18"	CHINABERRY
T293	10"	CEDAR
T297	10"	CEDAR
T298	12"	CEDAR
T301	11"	HACKBERRY
T302	16 3/4"	HACKBERRY
T305	14"	CEDAR
T307	11"	LIGUSTRUM
T310	15"	LIGUSTRUM
T312	12"	CEDAR
T315	12"	CEDAR
T316	14"	HACKBERRY
T317	12"	ASH
T318	12"	ASH
T321	18"	CEDAR
T327	11"	CHINABERRY
T333	11"	CEDAR
T337	10"	CEDAR
T339	10"	OAK
T341	15"	CEDAR
T348	13 1/2"	HACKBERRY
T349	10"	M.S. CHINABERRY
T360	10"	CEDAR
T361	13"	CEDAR
T365	10"	CEDAR
T377	13"	CEDAR
T381	10"	CEDAR
T385	13"	M.S. OAK
T386	10"	CEDAR
T392	15 1/2"	HACKBERRY
T394	10"	ELM
T396	13"	HACKBERRY
T397	12"	CEDAR
T399	12"	M.S. CEDAR
T400	12"	CEDAR
T403	20"	M.S. CEDAR
T405	10"	CEDAR
T408	16"	OAK
T409	10"	CEDAR
T410	10"	CEDAR
T412	15"	CEDAR
T417	16"	M.S. CEDAR
T420	10"	CEDAR
T422	11"	CEDAR
T430	11"	CEDAR
T431	12"	CEDAR
T438	14"	CEDAR
T443	11"	OAK
T449	10"	OAK
T454	17 1/4"	OAK
T469	13"	OAK
T470	12"	ELM
T472	19 1/4"	OAK
T473	12"	OAK
T476	11"	CEDAR
T479	11"	CEDAR
T481	16"	M.S. CEDAR
T483	11"	CEDAR
T485	11"	M.S. CEDAR
T486	14"	CEDAR
T487	16"	CEDAR -- DEAD
T491	12"	OAK
T494	13"	HACKBERRY
T495	19 1/2"	CEDAR
T496	14"	CEDAR
T497	20 1/2"	OAK
T500	18 3/4"	OAK
T505	15 1/2"	OAK
T506	15"	OAK

2 tree diagrams
1/8" = 1'-0"



THE OVERLOOK
AT WEST LAKE
90/341-342
LOT 3

1 site plan (rev permit)
1/16" = 1'-0"

tree removal list

TAG	DIA	DESCRIPTION	STATUS
T296	5"	OAK (R)	REMOVE
T343	7"	OAK (R)	REMOVE
T344	5"	M.S. CRAPE MYRTLE (R)	REMOVE
T345	3"	CHINABERRY (R)	REMOVE
T346	4"	M.T. LAUREL (R)	REMOVE
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T461	6"	M.S. BLK WALNUT (R)	REMOVE
T462	5"	M.S. BLK WALNUT (R)	REMOVE
T464	4"	M.S. OAK (R)	REMOVE
T466	3"	WILLOW (R)	REMOVE
T467	6"	OAK (R)	REMOVE
T468	3"	CEDAR (R)	REMOVE

total tree removal = 82"
total tree replacement = 29.25"
(75% of total tree removal)
All trees 10" or greater will be preserved.

tree mitigation notes

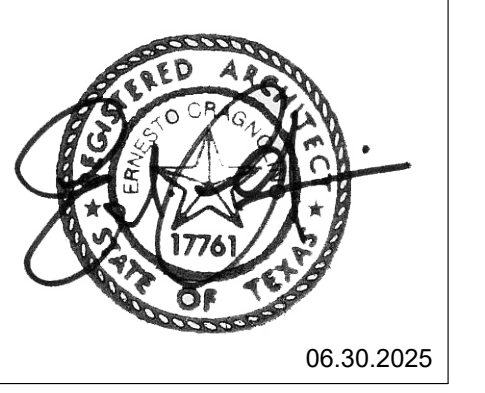
TAG	DIA	DESCRIPTION
TR1	3"	MAGNOLIA X 10

TREE REMOVAL WITH TRUNK DIAMETERS EQUAL TO OR GREATER THAN SIX INCHES AND LESS THAN FOURTEEN INCHES: 39"

TOTAL REPLACEMENT TREE CALIPER INCHES REQUIRED: 29.25"

TOTAL REPLACEMENT TREE CALIPER INCHES PROVIDED: 30"

osuri residence
207 YAUPON VALLEY RD,
WEST LAKE HILLS,
TEXAS 78746



alterstudio
architecture LLP

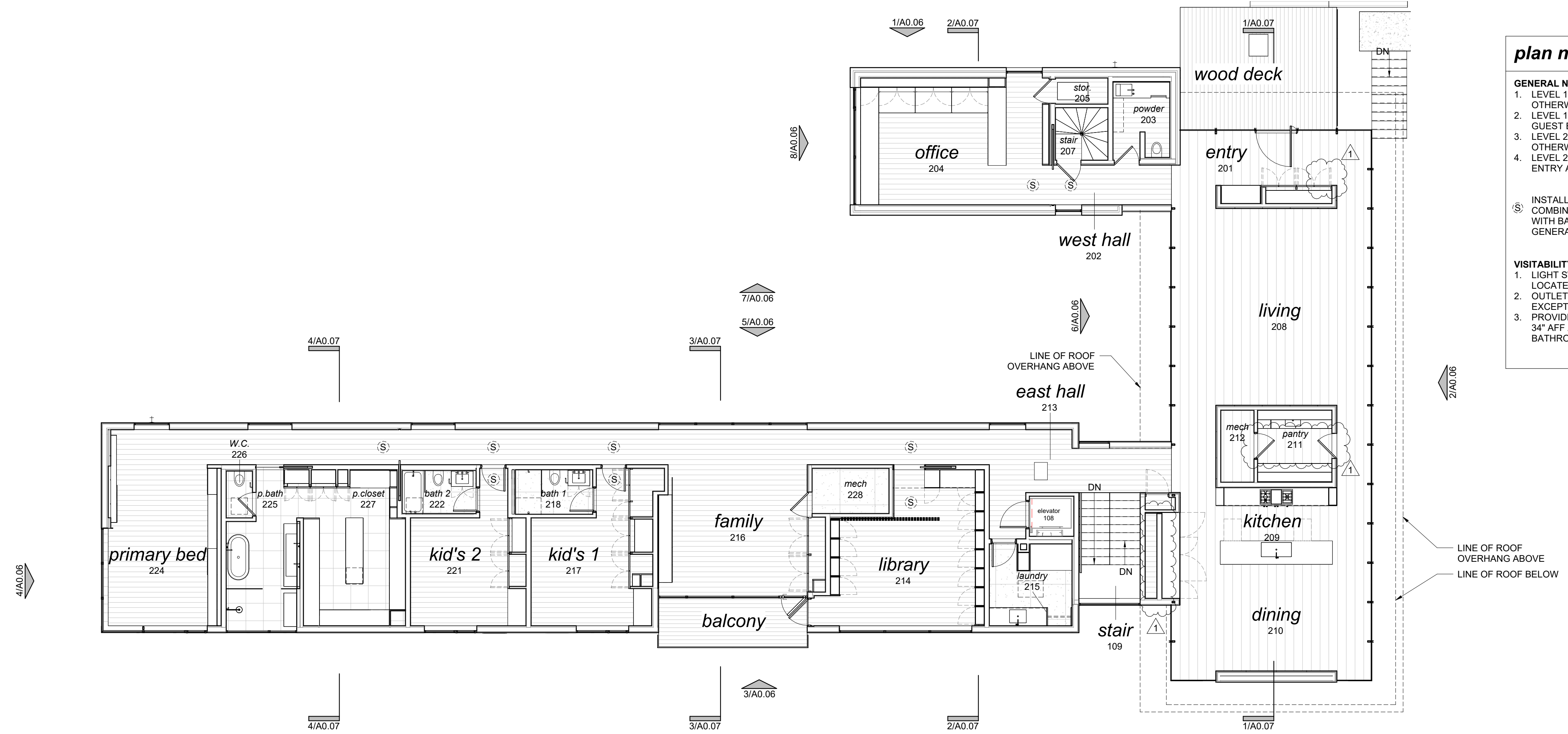
1801 lavaca st #106
austin, texas 78701
512 499 8007

1 REV PERMIT SET 06.30.2025

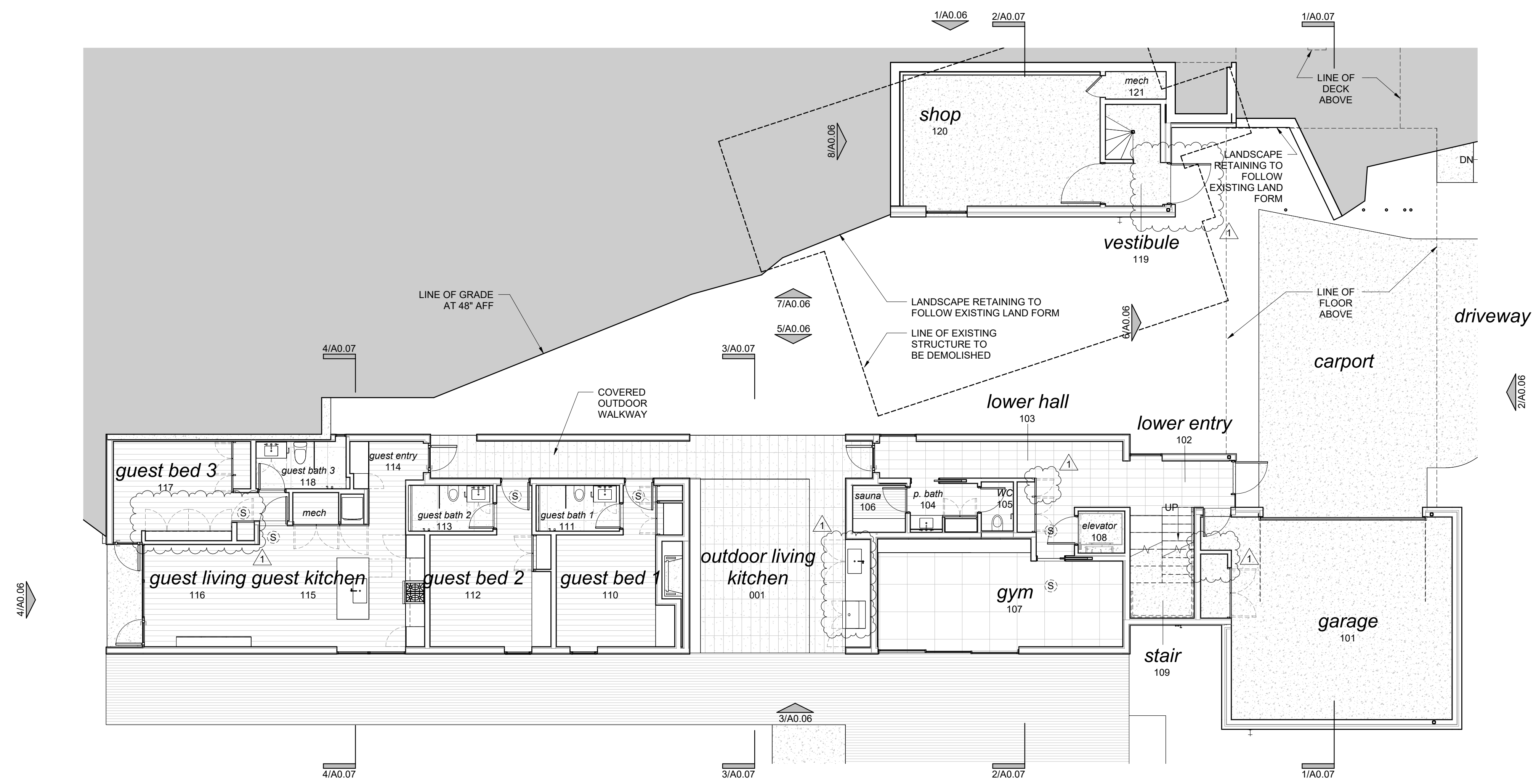
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tree protection plan & tree diagrams

A0.09



2 level 2 floor plan
1/8" = 1'-0"

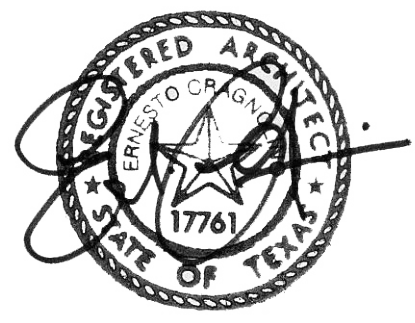


1 level 1 floor plan
1/8" = 1'-0"

- plan notes**
- GENERAL NOTES:**
- LEVEL 1 CEILINGS ARE 9'-11 5/8" UNLESS NOTED OTHERWISE.
 - LEVEL 1 CEILINGS AT: GYM BATH, GUEST BATH 1&2, GUEST BED 1&2 ENTRY ARE 8'-11 5/8".
 - LEVEL 2 CEILINGS ARE 9'-11 5/8" UNLESS NOTED OTHERWISE.
 - LEVEL 2 CEILINGS AT: KIDS' BATH 1&2, KID'S BED 1&2 ENTRY AND OFFICE ARE 8'-11 5/8".
- Ⓢ INSTALL HARDWIRED AND INTERCONNECTED COMBINATION CARBON MONOXIDE + SMOKE DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENT AS GENERALLY INDICATED ON THE DRAWINGS.
- VISIBILITY NOTES:**
- LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS LOCATED MAXIMUM 48" AFF.
 - OUTLETS AND RECEPTACLES LOCATED MINIMUM 15" AFF, EXCEPT FOR FLOOR OUTLETS.
 - PROVIDE HORIZ. 2X6 BLOCKING FLUSH TO FRAMING @ 34" AFF ALONG BACK AND SIDE OF TOILET AT VISITABLE BATHROOM

osuri residence

207 YAUPON VALLEY RD,
WEST LAKE HILLS,
TEXAS 78746



alterstudio
architecture LLP

1801 lavaca st #106
austin, texas 78701
512 499 8007

PERMIT SET	03.10.2025
CONTRACT SET	05.16.2025
REV PERMIT SET	06.30.2025

Scale: As indicated

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permit - floor plans

A0.04

August 19, 2025

City of West Lake Hills

REF: Engineer’s Statement Regarding City of West Lake Hills Drainage Criteria

I, Jay Campbell PE, was retained by the owner of 207 Yaupon Valley to assist with the preparation of drainage plans and report for the building permit. The purpose of this document is to provide my engineering opinion on the cut/fill requirements set by West Lake Hills (WLH) Drainage and Erosion Control Design Manual (DECDM)

Per section 7.4.1 of the DECDM, there are specific cut/fill depths allowable for open cuts and fill, closed cuts and closed fill per slope categories. Specifically, review comments have been triggered with the current building permit review with the 25%-35% and >35% categories of this table. It is of my professional opinion that the depths of cut/fill used for this permit that exceed the allowable limits per Table 7.4.1 will have no adverse effect on drainage or soil erosion control. In addition, generally speaking, foundation depths are independent of the surrounding final grading and should not have an effect on the surface water runoff. Final grading and the application of any drainage features, as needed, to direct and control flow will provide necessary provisions for an adequate drainage plan.

Table 7.4.1 is provided below for reference.

7.4.1 CUT/FILL LIMITS

In order to reduce stormwater runoff, resulting in erosion, sedimentation and conveyance of nonpoint source pollutants, the layout of the street network, lots and building sites shall, to the greatest extent possible, be sited and aligned along natural contour lines, and shall minimize the amount of cut and fill on slopes in order to minimize the amount of land area disturbed during construction. The maximum cut and fill limits are shown in Table 7-1.

Table 7-1: Maximum Cut and Fill Limits

Slope	Open Cuts and Fills	Closed Cuts	Closed Fill
0 - 15%	3 feet	20 feet	6 feet
15 - 25%	1 foot	15 feet	6 feet
25% - 35%	0 feet	10 feet	6 feet
> 35%	0 feet	0 feet	0 feet

This concludes my comments regarding this subject. Please do not hesitate to contact me if any additional information is needed.

Regards,

Jay Campbell
Jay Campbell, PE, CFM, CPESC

(512) 431-7880

Jcampbell@ceengtx.com

207 Yaupon Valley Road
Variance Application Questions

There was not enough room on the Fillable Form to add these response, so I am adding them as an addendum to the Signed Checklist

Variance Questionnaire

1) Describe in detail any special conditions you believe will result in unnecessary hardship to you if the terms of this ordinance are strictly or literally enforced.

Response:

Please Reference Exhibits:

- 207 Yaupon Valley survey without trees (As Built Site Plan)
- OSU A0.03 site plan w slope study 2025-08-19 (Composite Site Plan overlaying existing house and proposed house)

It can be observed on the site plan for the existing 1951 home, that the original house was located halfway into an existing shelf of stone / steeper topography. On either side of the home, stone retaining walls exist that date to the age of the original home. In trying to take advantage of the full footprint of the existing home to minimize site disturbance and excavation, portions of the new home will inevitably need to be located in some of these areas with steeper slope. The licensed Drainage Engineer for this project, Jay Campbell, has provided a letter accompanying this application that informs the Commission and Board of Adjustments that the proposed foundation and footprint for this home (regardless of whatever slope that it exists on) have no impact on his ability to design a drainage plan that conforms with the goals and requirements of the drainage manual.

The topography is the hardship for this particular property. In addition the previously altered topography, 60+ year old retaining walls, and resultant cut and fills, have to a certain extent, exacerbated the hardship of the topography by the initial site modification .

2) Why do you think the natural terrain and existing flora will not be unreasonably disrupted or destroyed if the variance you are requesting is granted?

Response: By permitting these variances, it allows the site to largely function as it has since 1951 while maintaining its wooded character with dense vegetative screening. The granting of these variances will also allow this project to minimize site disturbance to the property.

As it can be observed in the attached exhibit: Tree Protection Plan and Tree Diagrams, the location of the new home minimizes tree removal to only 16 Trees on the property, 13 of which are 6" or less in diameter. It can also be noted that the house carefully avoids the 1/2 Critical Root Zones for all of the 14" and greater trees that surround the home. This was an intentional

design decision to embrace as much of the existing flora and vegetation on site, allowing it to preserve the pre-existing and mature vegetative buffer around the perimeter of the property.

The plan for the design on this new home was based in trying to minimize existing site disturbance which is achieved by conscientious site planning:

- The New Driveway is being located almost entirely on top of the pre-existing driveway location, and not requiring removal of any trees on the property.
- The New House footprint is partially located in the same location as the existing home, limiting site and vegetation disturbance. The entire southwestern portion of the home is located in the general area of the original septic drain field, resulting in the removal of only 16 trees, 13 of which are 6" or less in diameter with the other three only being 7" in diameter.
- The New Septic field was carefully selected to be mindful of slopes under 30%, as well as a place on the site where it could get ample sunlight allowing the drain field to function as efficiently as possible, all while being able to avoid the removal of any existing vegetation and stay out of the 1/2 Critical Root Zones of any neighboring trees

See Exhibit - Tree Protection Plan and Tree Diagrams

3) What other alternatives have you considered? Why won't those other options alleviate the difficulty or hardship that you think exists?

Response:

Please refer to Exhibit OSU A0.03 site plan w slope study.

This exhibit overlays the proposed home and on site improvements on top of the existing.

Re-utilizing the existing driveway footprint, and locating the septic field in the open area to the northeast of the driveway, dictated the buildable area to be located in the general footprint of a portion of the existing house. This location is preferred for several reasons: minimize significant site disturbance and tree removal while integrating the building among the 14" protected trees on the property.

Alternative foundations that could avoid slopes of 35% were explored, but seeing that no additional variances were needed beyond the 2 contained in the drainage manual table for developing on slopes 35% or greater. However, the licensed Drainage Engineer for this project, Jay Campbell, has provided a letter accompanying this application that informs the Commission and Board of Adjustments that the proposed foundation and footprint for this home (regardless of whatever slope that it exists on) have no impact on his ability to design a drainage plan that conforms with the goals and requirements of the drainage manual.

4) Why do you believe the variance you are requesting is the minimum required to alleviate the difficulty or hardship you think exists?

Response: As it can be observed on the site plan, there are all small areas of the site that contain slopes greater than 35%, contained within a couple of parallel subterranean rock ledges that run through out the site. The building primarily sits on the shelf contained between ledges and the building creeps out into the 35% slope areas on the site plan that are indicated with a yellow screen hatch. As it can be seen on the site plan diagram these areas are minimal, but can also be observed that architects worked very hard to try and keep the footprint of the building from encroaching into these areas as best as possible.

5) Why do you believe your variance does not violate the intent of the Zoning Ordinance or the goals of the City's Comprehensive Plan?

Response: By granting of these variances, the proposed home be built with not removing any tree greater than 7", minimize any significant additional site disturbance and preserve the dense and mature vegetative buffer along adjoining property lines and along the ROW frontage. This variance assists in allowing this project to directly conform with the goals of the City's Comprehensive plan

This project is void of all of the typical variances commonly applied for in West Lake Hills:

- Impervious Cover, well under 25% Max
- No 14" Trees Removed, actually on 16 total trees removed, 13 of which are less than 6" in diameter
- No Height Variance Request, building fully complies with height regulations
- No Setback Encroachments
- Not Cut / Fill variance needed for driveway

6) Why do you believe your variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners?

Response: The granting of the requested variances for this project will ensure that the character of this property will be relatively unaltered from the view of adjacent properties.

By granting of these variances, the proposed home can exist within the allowable buildable area, not remove any tree greater than 7", minimize any additional site disturbance and preserve the dense and mature vegetative buffer along adjoining property lines and along the ROW frontage.

August 8, 2025

Robert Meisel, Chair
City of West Lake Hills
Zoning and planning Commission
911 Westlake Drive
West Lake Hills, TX 78746

 **Variance Application**
1206 Yaupon Valley Road

Mr. Meisel,

On behalf of Ms. Callie Jenschke, owner of property located at 1206 Yaupon Valley Road, we are requesting variances from the City of Westlake Hills Code of Ordinances, in association of the proposed renovations and addition to convert an existing duplex to a one-family residence.

Below further describes the proposed plan and requested variances. We have included in our application package, documents highlighting the existing and proposed site plans, setback exhibits, photos of existing conditions and renderings of the proposed renovations.

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:

1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
4. A new pool enclosure will be required per §22.03.167-Pools. Given the location of the existing pool and its proximity to the street, we request a variance to allow the pool enclosure facing Yaupon Valley Road to be made of solid materials for privacy as outlined in § 22.03.173-Fences. As such, the pool enclosure would alternatively serve as a front yard fence as defined in the same section.

In addition, the existing dry stacked retaining wall is showing signs of wear and failure. It is the intent of the owner to replace as part of this development scheme. We propose replacing the existing retaining walls with an engineered steel structure that complies with

§22.03.173(d)(6)(A)(iii-iv)-Front Yard Fence Requirements and City of Westlake Hills Drainage Manual. We recognize the inherent need to coordinate with an approved licensed arborist as well. In an effort to utilize the same foundation, we propose locating the pool enclosure fence (front yard fence) on top of the replaced retaining wall. See page 17-18 for additional

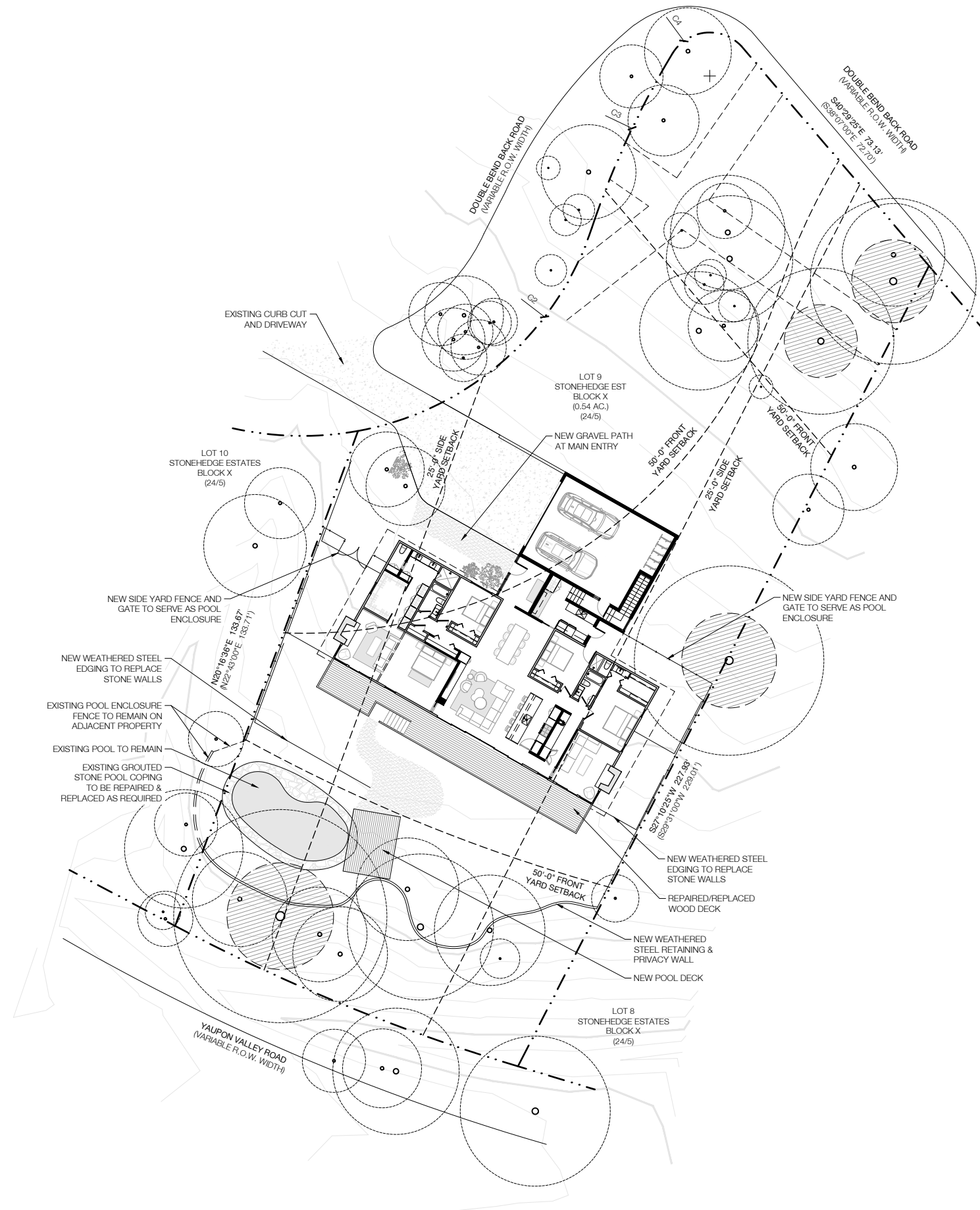
We hope you find this application complete and in order as we respectfully request your consideration of these variance requests.


Please contact me if you should have questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "John Hussey". The signature is stylized with a large initial "J" and "H".

John Hussey
Site Specifics



 Proposed Site Plan
 1/32" = 1'-0"

Proposed Site Improvements

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:


1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a setback variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a setback variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
4. A new pool enclosure will be required per §22.03.167-Pools. Given the location of the existing pool and its proximity to the street, we request a variance to allow the pool enclosure facing Yaupon Valley Road to be made of solid materials for privacy as outlined in §22.03.173-Fences. As such, the pool enclosure would alternatively serve as a front yard fence as defined in the same section.

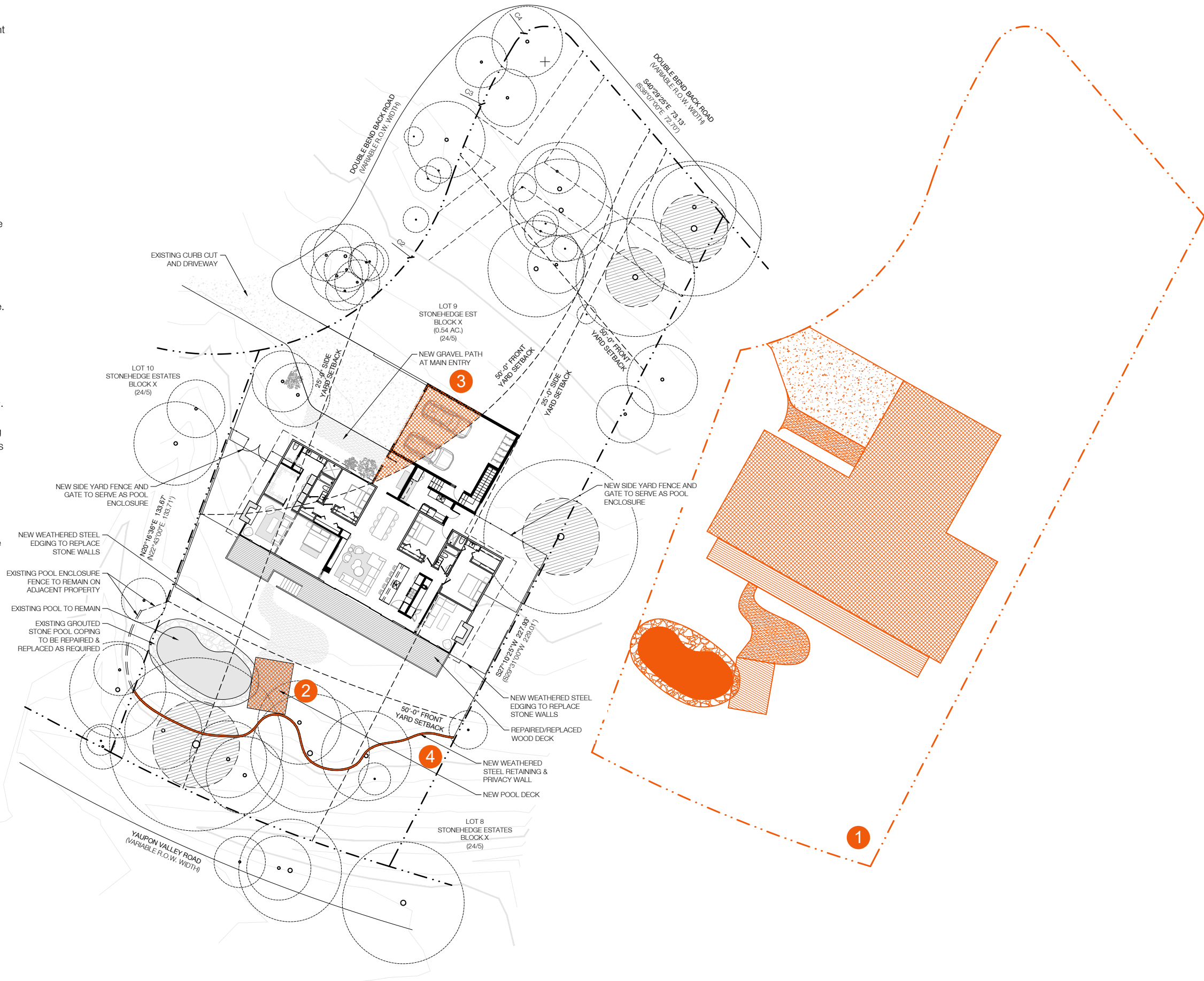
In addition, the existing dry stacked retaining wall is showing signs of wear and failure. It is the intent of the owner to replace as part of this development scheme. We propose replacing the existing retaining walls with an engineered steel structure that complies with §22.03.173(d)(6)(A)(iii-iv)-Front Yard Fence Requirements and City of Westlake Hills Drainage Manual. We recognize the inherent need to coordinate with an approved licensed arborist as well.

In an effort to utilize the same foundation, we propose locating the pool enclosure fence (front yard fence) on top of the replaced retaining wall. See page 18 for additional information.

Proposed Lot Coverage

Driveway:	870sf
Building:	4,243sf
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Pool/Coping:	635sf
Site Retaining Walls:	80sf
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Lot Area:	23,417sf (.54ac)

 Proposed Site Plan
1/32" = 1'-0"

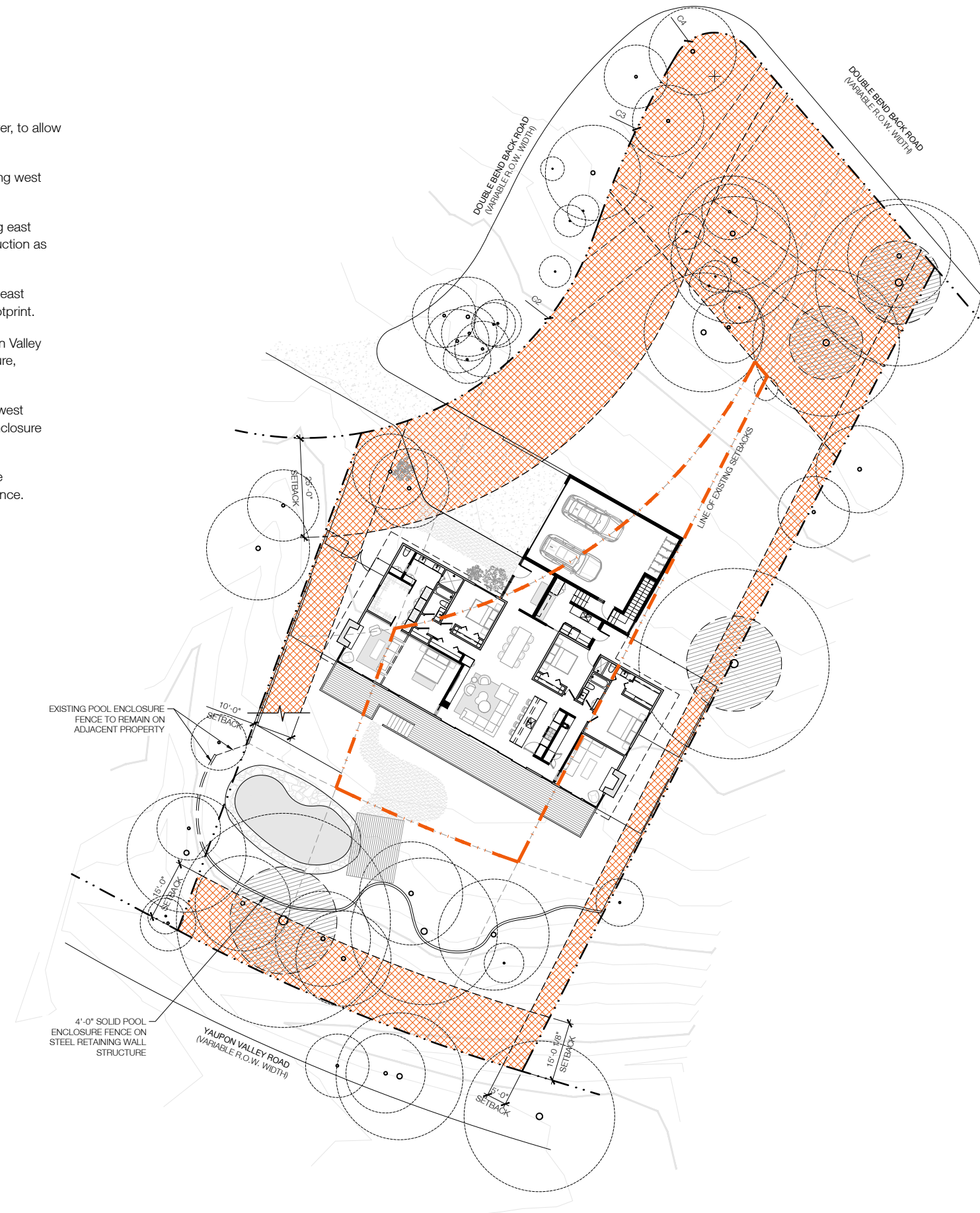


Proposed Variances

1. Variance from §22.03.281 Maximum Impervious Cover, to allow 30% lot coverage.
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3. Variance from 25'-0" side yard setback to 5'-0" along east property line for existing building footprint. (New construction as part of garage addition to maintain 25'-0" setback)
4. Variance from 50'-0" front yard setback to 25'-0" on east property line for renovation & addition within existing footprint.
5. Variance from 50'-0" front yard setback along Yaupon Valley Road for existing pool and new pool deck, pool enclosure, retaining wall, and safety/privacy wall.
6. Variance from 25'-0" side yard setback on east and west property lines to 0'-0" for existing pool and new pool enclosure wall.
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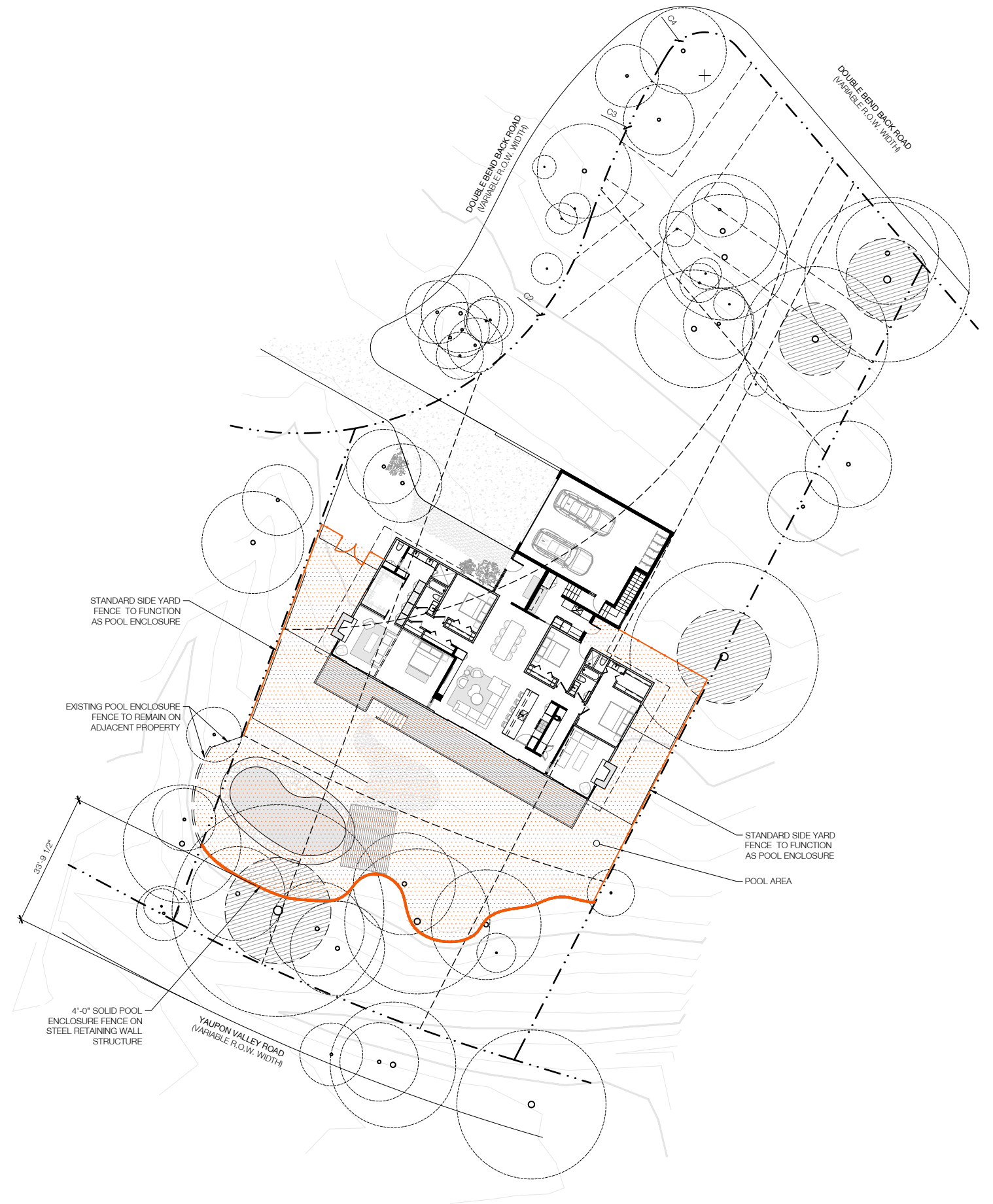
Existing View from Yaupon Valley Road

Proposed View from Yaupon Valley Road (tree removed for clarity)

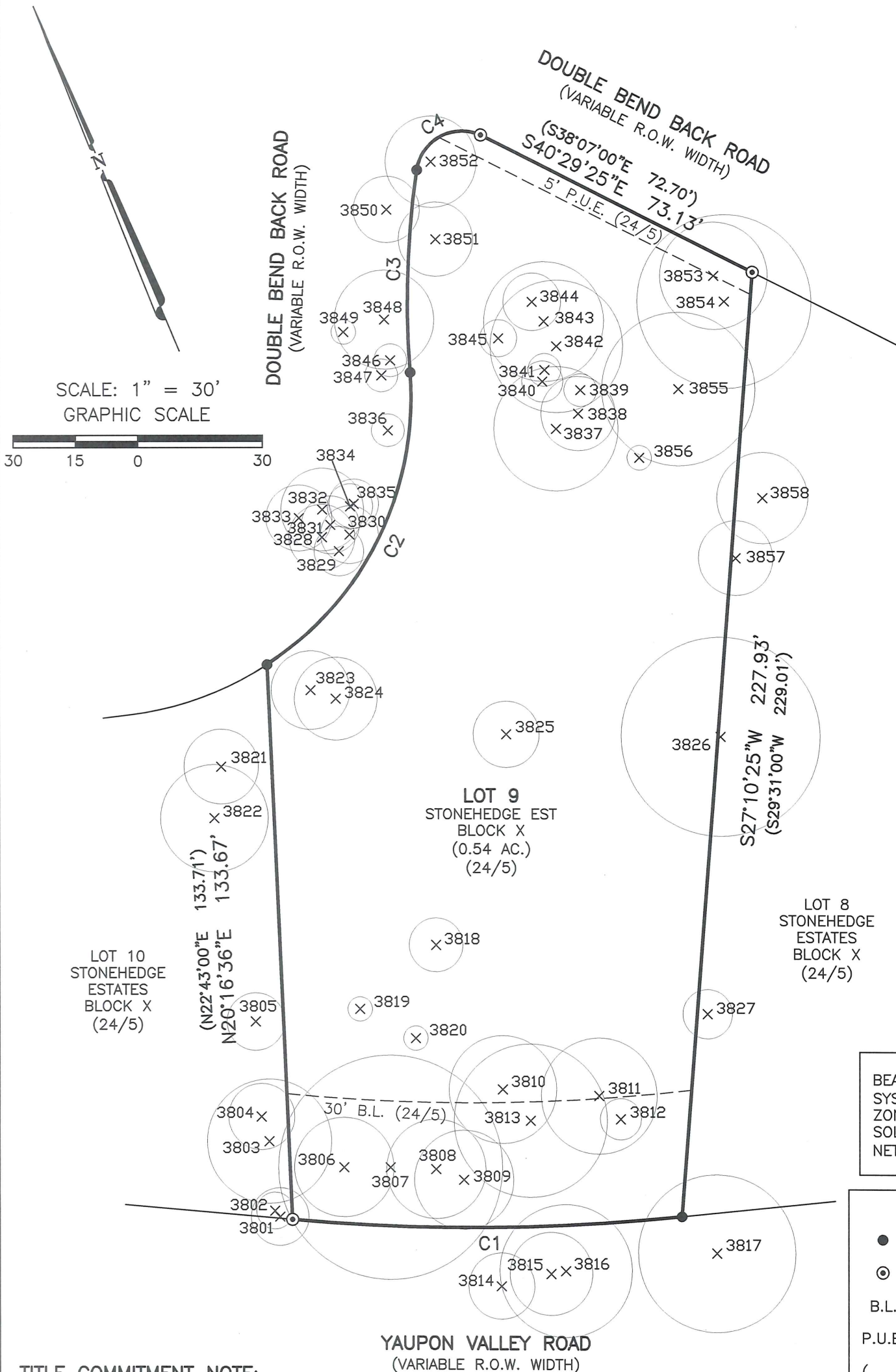


Proposed Site Plan: Front Yard Fence / Pool Enclosure

1/32" = 1'-0"



A TREE SURVEY OF LOT 9, STONEHEDGE ESTATES, BLOCK X, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN VOLUME 24, PAGE 5, PLAT RECORDS, TRAVIS COUNTY, TEXAS.



TREE INDEX		
TAG NO.	TYPE	INDICATES MULTI TRUNK
514	LO	17 14 11
INDIVIDUAL TRUNK DIA. (IN INCHES)		
CRITICAL ROOT ZONES (TREE CIRCLES) ARE SHOWN USING THE COA FORMULA FOR SINGLE AND MULTI TRUNK TREES.		
3801	CEDAR	ELM 7
3802	YAUPON	3 3
3803	HACKBERRY	15
3804	CEDAR	ELM 8
3805	YAUPON	4 3 3
3806	CEDAR	ELM 12
3807	HACKBERRY	27
3808	CEDAR	ELM 12
3809	HACKBERRY	12
3810	YAUPON	8 6 4
3811	HACKBERRY	14
3812	HACKBERRY	5
3813	YAUPON	10 9 8
3814	HACKBERRY	8
3815	HACKBERRY	10
3816	HACKBERRY	16
3817	CEDAR	ELM 19
3818	YAUPON	4 3 2
3819	YAUPON	3
3820	YAUPON	3
3821	HACKBERRY	9
3822	CEDAR	ELM 13
3823	CRAPE MYRTLE	6 4 3
3824	CRAPE MYRTLE	4 4 4 4 4
3825	PINE	BUDDHIST 8
3826	HACKBERRY	24
3827	YAUPON	6
3828	RED OAK	8
3829	LIVE OAK	6
3830	LIVE OAK	5 4
3831	CEDAR	ELM 7
3832	CEDAR	ELM 8 4
3833	HACKBERRY	8
3834	YAUPON	4 3
3835	LIVE OAK	6
3836	HACKBERRY	4
3837	CHINABERRY	12 6
3838	CEDAR	ELM 9
3839	YAUPON	4
3840	CHINABERRY	5
3841	CEDAR	ELM 4
3842	CEDAR	ELM 16
3843	RED OAK	12 5
3844	CEDAR	ELM 7
3845	YAUPON	3 3
3846	YAUPON	3 2
3847	YAUPON	3 2
3848	CEDAR	ELM 12
3849	YAUPON	3
3850	RED OAK	8
3851	RED OAK	9
3852	CEDAR	ELM 11
3853	CEDAR	ELM 13
3854	RED OAK	10 8 7 7
3855	CEDAR	ELM 11 10 5
3856	CHINABERRY	3
3857	HACKBERRY	9
3858	CEDAR	ELM 11

THE SPECIES OF TREES SHOWN WERE DETERMINED TO THE BEST OF OUR ABILITIES BY ON THE GROUND SURVEY CREW, NOT A CERTIFIED ARBORIST. CONSULT A CERTIFIED ARBORIST FOR FINAL DETERMINATION OF SPECIES.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE; US SURVEY FEET; BASED ON GPS SOLUTIONS FROM THE LOCAL REAL TIME NETWORK (RTN).

LEGEND	
●	1/2" REBAR FOUND (OR AS NOTED)
⊙	IRON PIPE FOUND (SIZE NOTED)
B.L.	BUILDING SETBACK LINE
P.U.E.	PUBLIC UTILITY EASEMENT
()	RECORD INFORMATION

TITLE COMMITMENT NOTE:

This Survey was prepared without the benefit of a Commitment for Title, and may be subject to additional easements or restrictions not shown hereon. No additional easement research was done for the purpose of this survey.

SURVEYOR'S CERTIFICATE:

DATE OF SURVEY:

I hereby certify that the tree survey shown hereon was actually made upon the ground under my direction and supervision on the date shown.

Paul J. Flugel 12-11-24

PAUL J. FLUGEL Date
Registered Professional Land Surveyor
State of Texas No. 5096

CURVE TABLE							
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	RECORD BEARING	RECORD CHORD
C1	478.44'	11°15'16"	93.98'	N67°43'35"W	93.83'	(N65°06'00"W)	(93.79')
C2	76.96'	61°16'36"	82.31'	N49°00'27"E	78.44'	(N51°15'00"E)	(78.70')
C3	220.04'	12°42'47"	48.82'	N24°49'32"E	48.72'	(N26°53'00"E)	(48.93')
C4	11.02'	105°27'06"	20.28'	N84°13'15"E	17.54'	(N87°34'00"E)	(17.90')



Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
5725 West Hwy 290, Suite 103
Austin, Texas 78735-7822
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.: 2175-001
DRAWING NO.: 2175-001-TREE
PLOT DATE: 12-11-24
PLOT SCALE: 1"=30'
DRAWN BY: SCN

SHEET 1 OF 1

1206 Yaupon Valley Road: Zoning Exhibits

Westlake Hills, Texas

August 11, 2025

502.314.0670

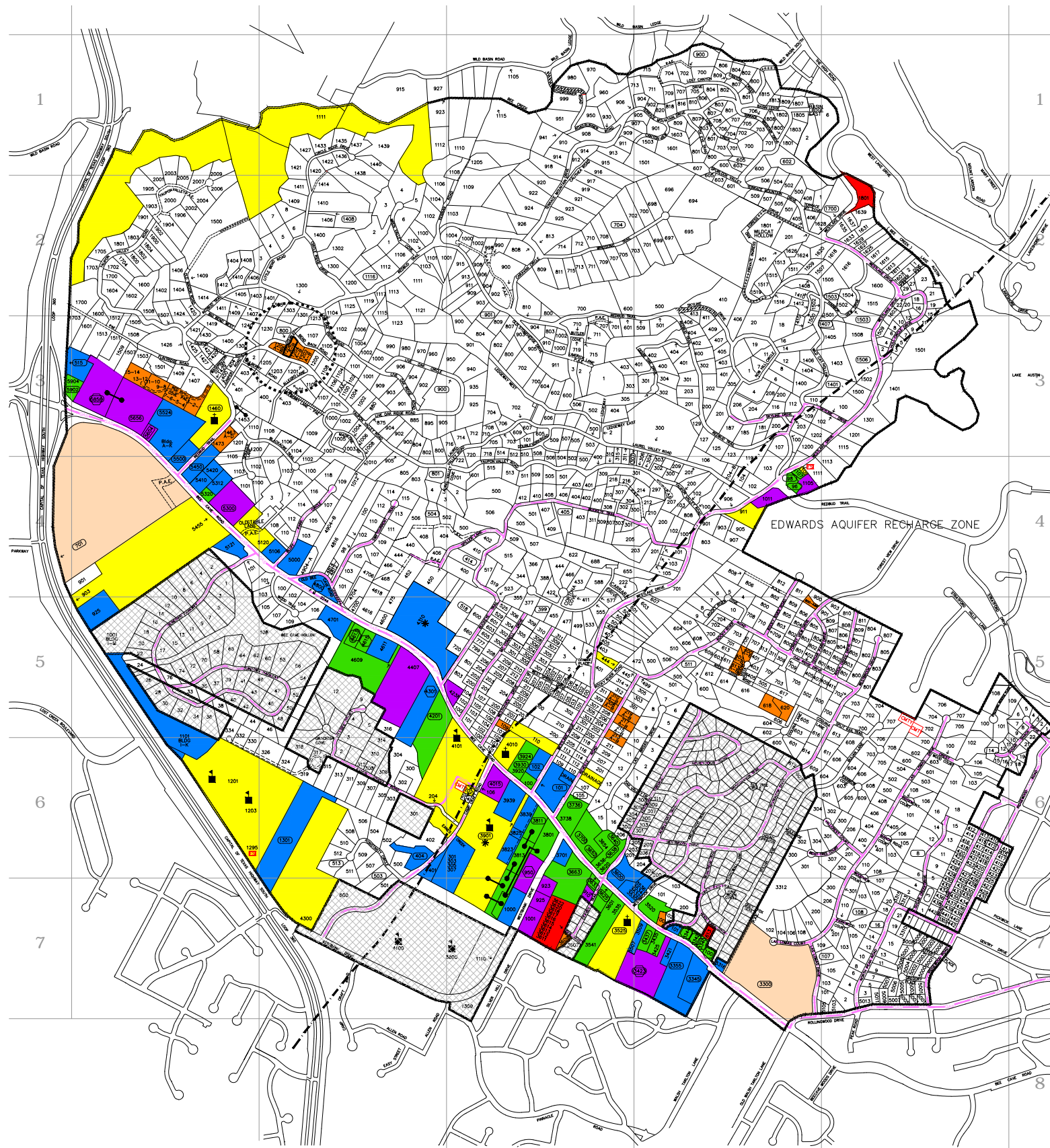
www.theplanning.agency

- R-2 Zoning
- 1206 Yaupon Valley Road (R-2)



Westlake Hills Vicinity Map

- CHURCH
- SCHOOL
- FIRE STATION
- CEMETERY
- CITY LIMITS
- AQUIFER RECHARGE ZONE BOUNDARY
- TEXAS GAS SERVICE
- CONDITIONAL OVERLAYS
- SPECIAL USE
- R-1 ONE FAMILY
- R-2 MULTI-FAMILY
- R-3 TRANSITIONAL
- O OFFICE
- B-1 BUSINESS 1
- B-2 BUSINESS 2
- B-3 BUSINESS 3
- GUI GOVERNMENT, UTILITY, INSTITUTIONAL
- PDD PLANNED DEVELOPMENT DISTRICT
- P.A.E. PRIVATE ACCESS EASEMENT
- NOT A THROUGH ROAD
- EXTRATERRITORIAL JURISDICTION
- UNIFIED DEVELOPMENT AGREEMENT
- UNPAVED ROAD



Westlake Hills Zoning Map



Aerial View

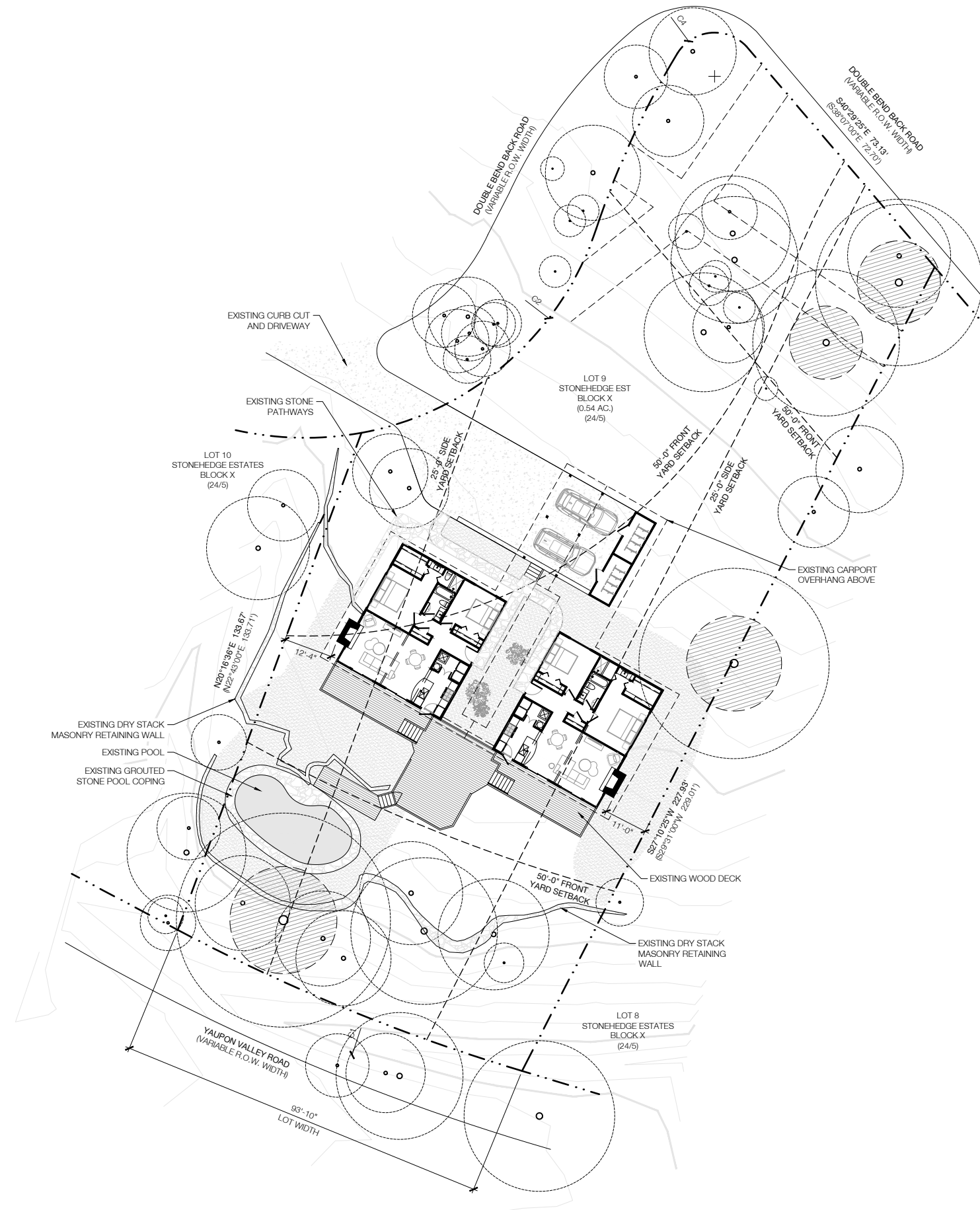
Existing Site Notes

Overlaying setbacks and measurements set forth in § 22.03.281 Schedule of Regulations reveals the following non-conformities on both the site and the structure:

1. Existing building and rear wood patio encroaches the front and side yard setbacks
2. Existing pool encroaches the front and side yard setbacks. In addition, a small portion of the west side of the pool actually exists outside the property line.
3. The minimum side width requirement of 150' is not met. The existing lot width is measured at 93'-10" wide.
4. Lot coverage is currently calculated at 39.7% (Reference exhibit on following page)

Existing Lot Coverage

Driveway:	870sf
Building:	4,098sf
Wood Decks (50%):	960sf (450sf)
Walkways & Paths:	144sf
Site Walls:	370sf
Pool/Coping:	635sf
Site Retaining Walls:	370sf
Total Lot Coverage	9,249sf (39.7%)
Lot Area:	23,417sf (.54ac)



Existing Site Plan
1/32" = 1'-0"

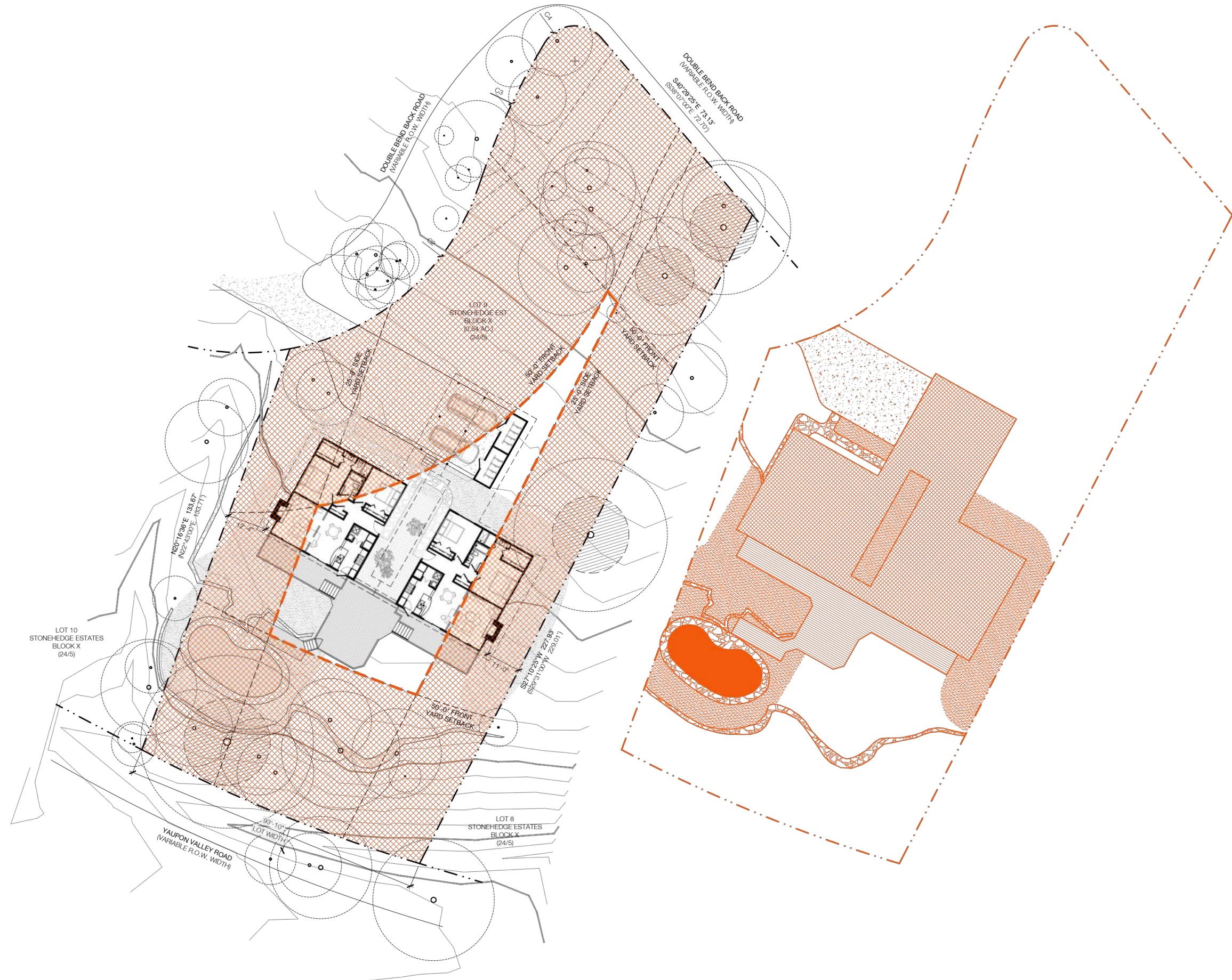
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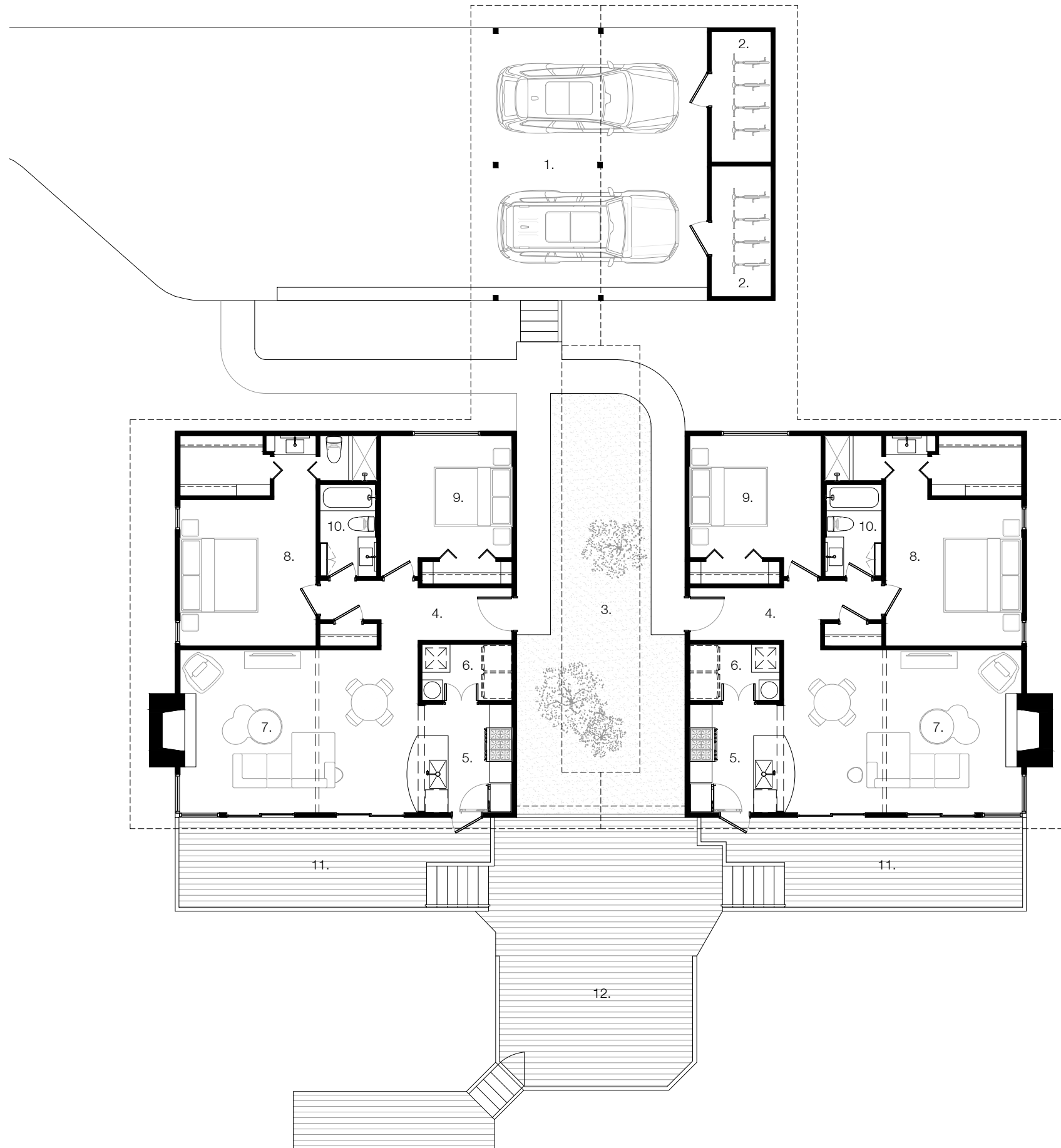
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Existing Site Plan With Setbacks Shaded
1/32" = 1'-0"

Plan Key

- 1. Carport
- 2. Tenant Storage
- 3. Entry Courtyard
- 4. Tenant Entry
- 5. Kitchen
- 6. Laundry
- 7. Living Room
- 8. Primary Suite
- 9. Guest Bedroom
- 10. Guest Bathroom
- 11. Tenant Patio
- 12. Shared Wood Deck



Existing Floor Plan
3/32" = 1'-0"



Existing Building Exterior



Existing Building Exterior



Existing Building Exterior



Existing Building Exterior





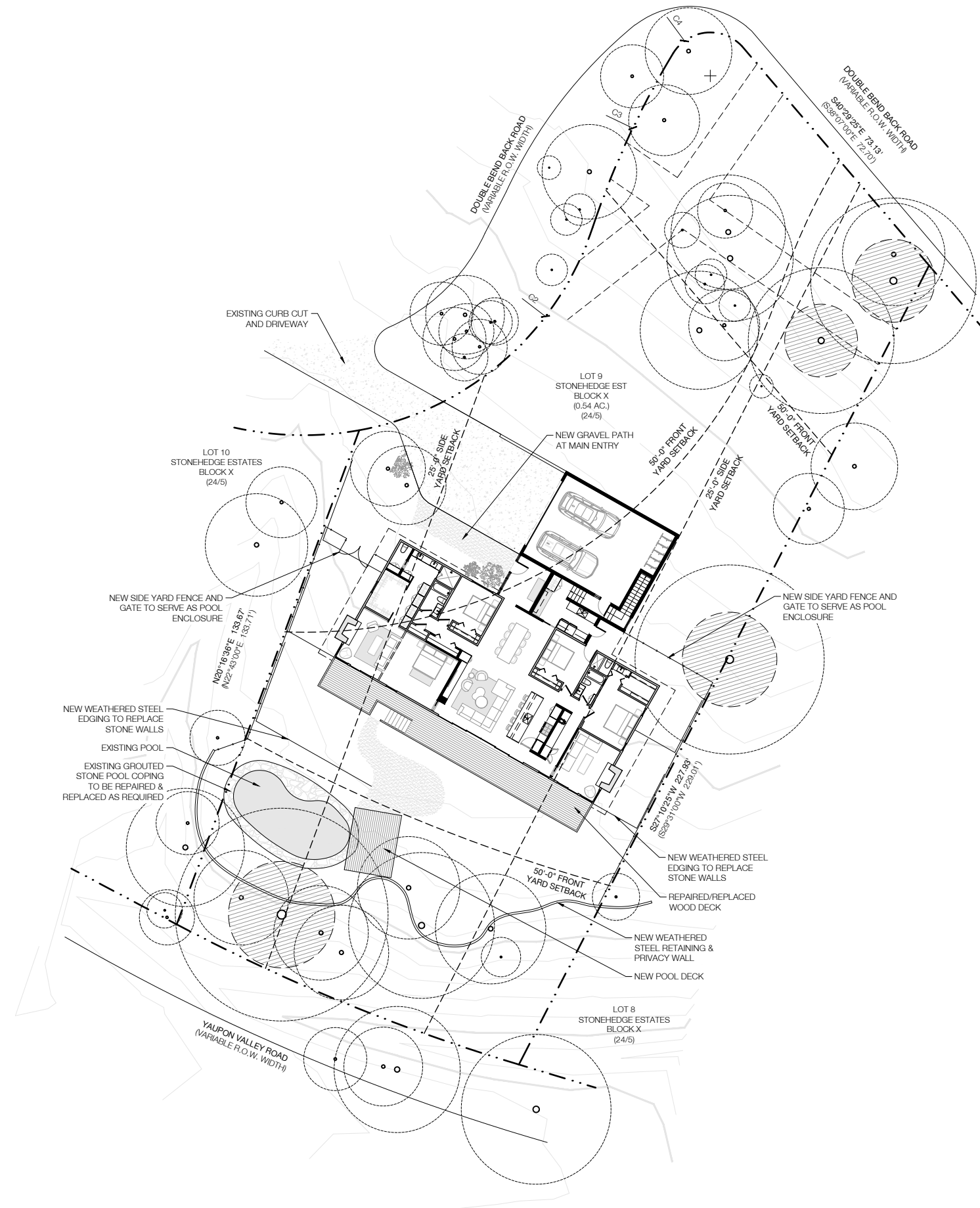
Existing Building Exterior



Existing Building Exterior



Existing Building Exterior



Proposed Site Plan
 1/32" = 1'-0"

Proposed Site Improvements

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:


1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a setback variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a setback variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
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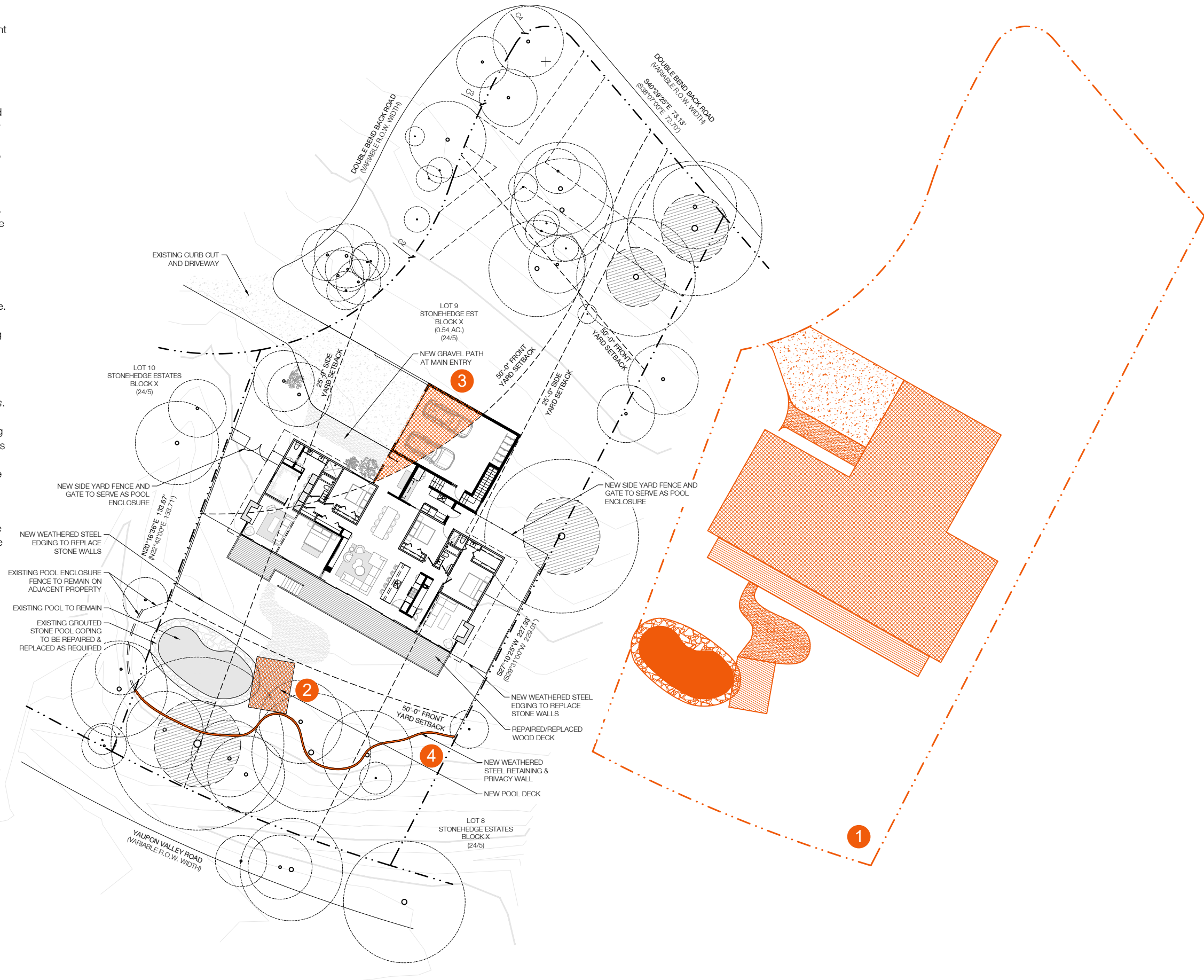
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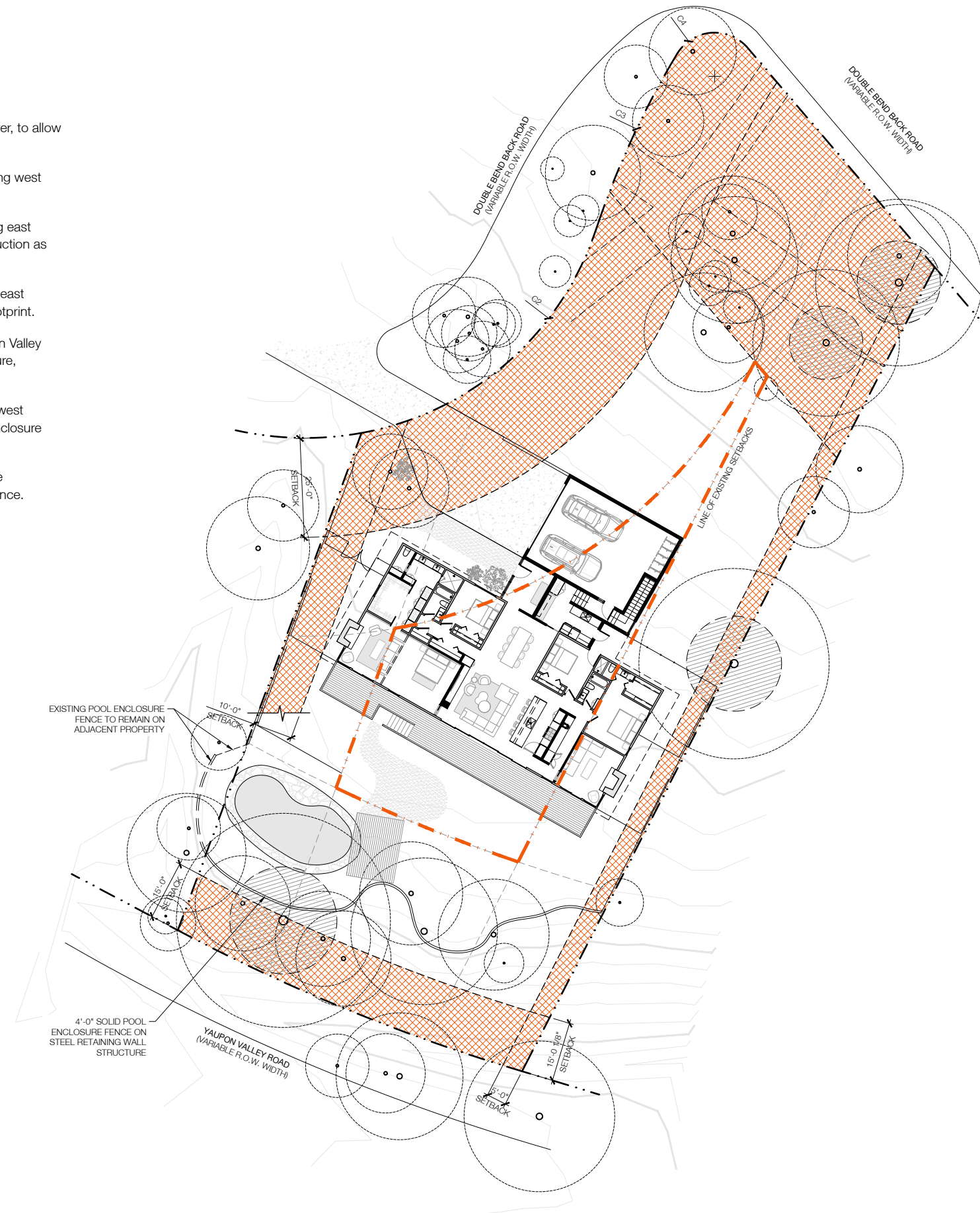



Proposed Variances

1. Variance from §22.03.281 Maximum Impervious Cover, to allow 30% lot coverage.
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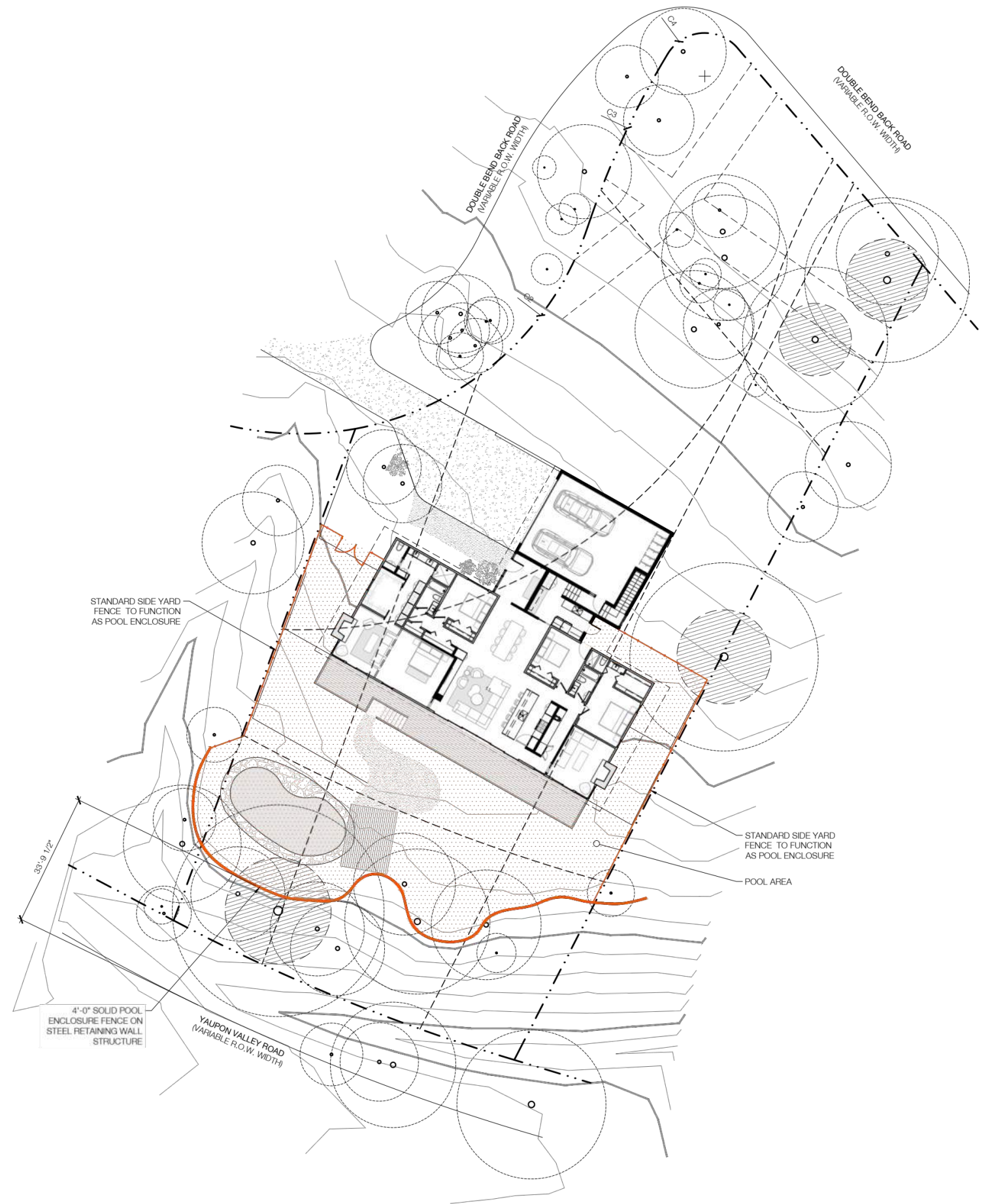
Existing View from Yaupon Valley Road

Proposed View from Yaupon Valley Road (tree removed for clarity)



Proposed Site Plan: Front Yard Fence / Pool Enclosure

1/32" = 1'-0"

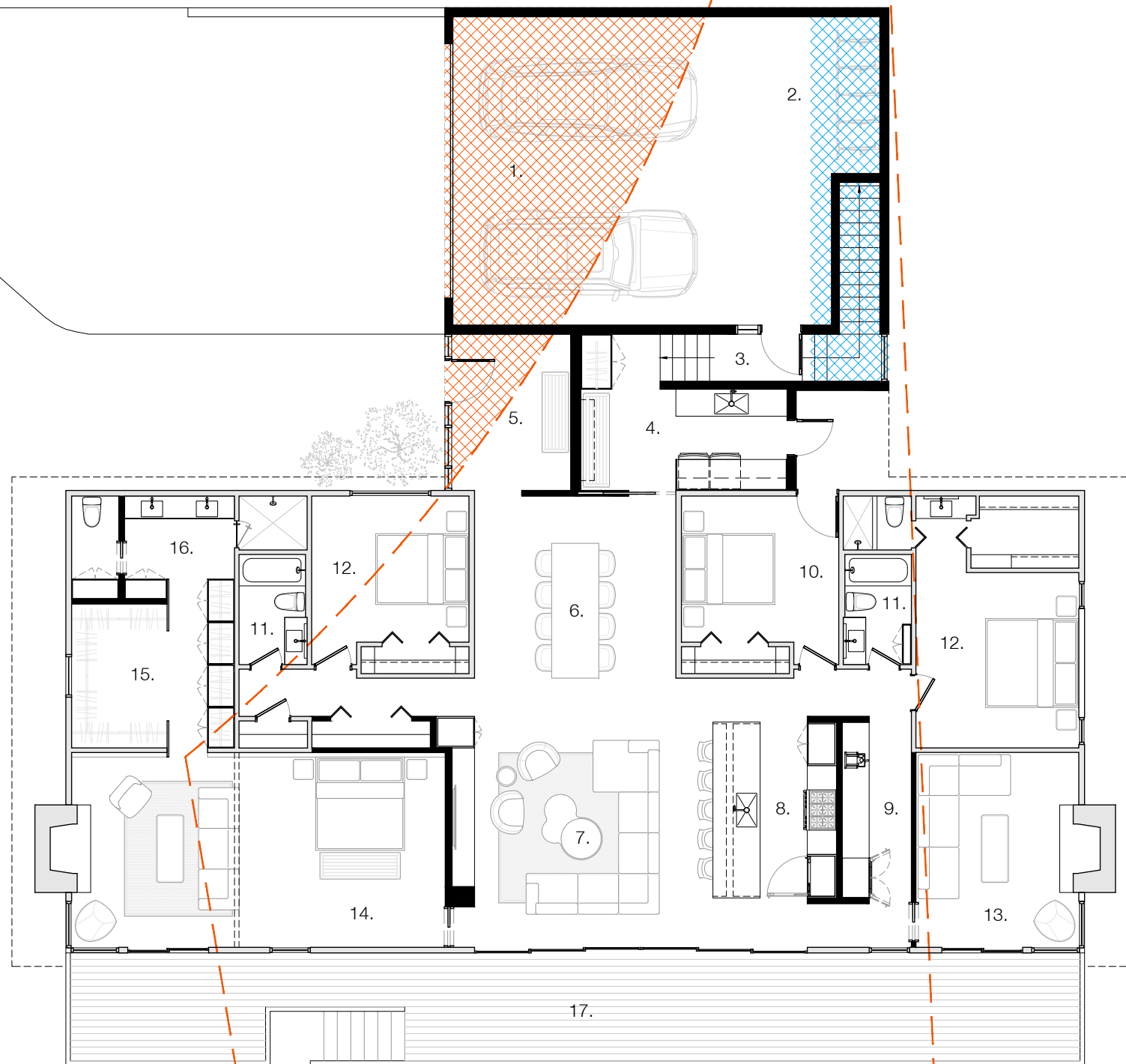


Plan Key

- 1. Carport
- 2. Bike Storage / Workshop
- 3. Garage Entry / Stair
- 4. Laundry
- 5. Guest Entry
- 6. Dining Room
- 7. Living Room
- 8. Kitchen
- 9. Pantry
- 10. Guest Bedroom
- 11. Guest Bathroom
- 12. Guest Suite
- 13. Media Room
- 14. Primary Suite
- 15. Primary Closet
- 16. Primary Bathroom
- 17. Wood Patio

* Red hatch indicates newly enclosed floor area within existing building footprint but encroaches setback.

*Blue hatch indicates new addition floor area outside existing building footprint within 25'-0" side yard setback.



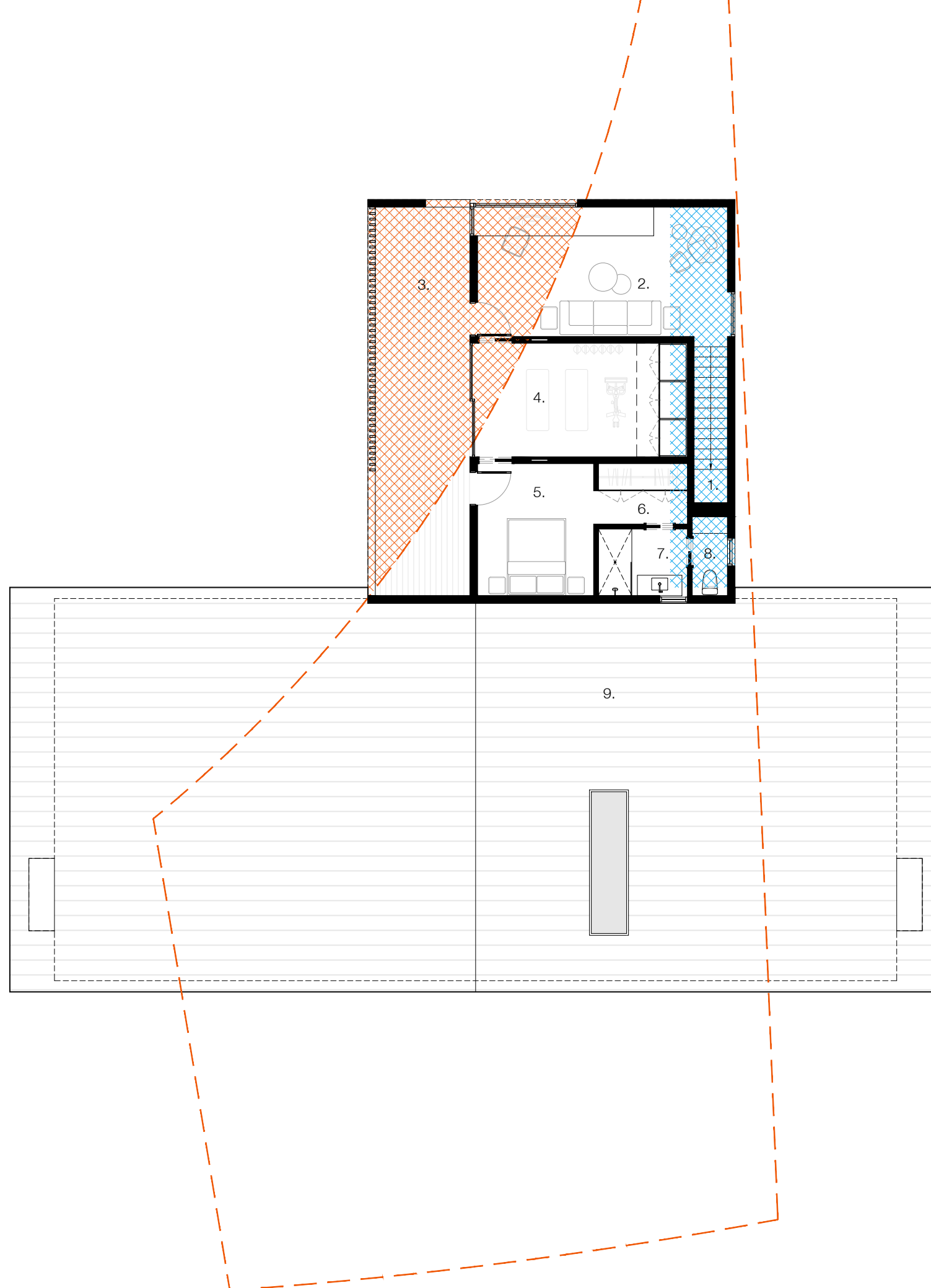
Proposed First Floor Plan
3/32" = 1'-0"

Plan Key

- 1. Stair
- 2. Office
- 3. Outdoor Patio
- 4. Gym
- 5. Guest Bedroom
- 6. Closet
- 7. Bathroom
- 8. Toilet Room
- 9. Existing Roof Below

* Red hatch indicates newly enclosed floor area within existing building footprint but encroaches setback.

*Blue hatch indicates new addition floor area outside existing building footprint within 25'-0" side yard setback.



Proposed Second Floor Plan
3/32" = 1'-0"



Proposed View From Driveway Entry



Proposed View From Double Bend Back Road



Proposed View From Pool



Exhibit A

1206 Yaupon Valley Road – Setbacks, Fence Visibility

Applicant's Findings of Fact

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.

Conditions set forth on this legal lot, platted in 1965 and duplex constructed in 1967, create a hardship that will not allow the proposed renovations to be permitted within the footprint of the existing duplex. The existing improvements would need to be completely demolished and the site redeveloped within the limited buildable area that does not allow for a reasonable use of the property

2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.

The proposed additions and improvements are to be constructed within the footprint of the existing structures, without disrupting natural terrain or existing flora

3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

The alternative to the proposed plan would be to scrape the entire lot of structures and improvement. This would create considerable hardship and difficulty in design and constructing a new residence in the very limited buildable area

4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

The proposed design is doing all we can to remain within the existing improvements footprint with minimal expansion, while reducing overall impervious cover

5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.

With the variance approval, the proposed renovations and additions seek to utilize the existing duplex footprint and site amenities without increasing non-conformities to the greatest extent possible. This plan will reduce the impact of continuing development of soils, plant material and wildlife, as stated in the goals of the Comprehensive Plan

6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.

With approved variances, the proposed plan will not adversely affect neighboring properties as this does not increase non-conformity, while reducing the overall impervious cover and impact on the land. The approval will allow the renovation of the existing duplex to a single-family use, reducing the overall density and expected reduction in the number of vehicle trips within the neighborhood.



City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	September 17, 2025	Item Number:	6
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

1206 Yaupon Valley Road: Discuss and make a recommendation to the Board of Adjustment for variances:

1. For encroachments of up to 20 feet into the 25-foot side setbacks for a primary building (Section 22.03.275 and 22.03.281);
2. For encroachment of up to 25 feet into the 50-foot front setback for a primary building (Section 22.03.275 and 22.03.281);
3. For encroachment of up to 25 feet into the 25-foot side setback for a pool and pool enclosure (Section 22.03.276 and Section 22.03.281);
4. For encroachments of up to 35 feet into the 50-foot front setback for a pool, pool enclosure, and garage (Section 22.03.276 and Section 22.03.281);
5. To allow redevelopment of a site with impervious cover of 30% where 25% is the maximum allowed by code (Section 22.03.281).

Applicant: John Hussey, Site Specifics

Recommendation

Discuss and provide a recommendation including the analysis of the following criteria:

1. The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners’ enjoyment thereof.

The Zoning and Planning Commission, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria listed in the variance criteria in the report.

The Zoning and Planning Commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The applicant has provided their findings in Exhibit A.

This item will be forwarded to the Board of Adjustment meeting on October 8, 2025 for review and a public hearing.

Discussion

Property Information, Zoning & Site Characteristics:

Owner: Callie Jenschke

Legal Description: Lot 9 of Stonehedge Estate Block X

Lot Size: 0.54 acres

Zoning: R-1, One-Family Residential

Wastewater: On-Site Sewage Facility (Septic)

The properties surrounding the subject property are zoned R-1, One-Family Residential and R-2, Two-Family Residential. The lot is currently occupied by a duplex structure and a pool. The lot is addressed to Yaupon Valley but takes access from Double Bend Back Road.

Background:

The applicant is requesting to redevelop the duplex into a single-family house. The existing building is currently two units, approximately 1,020 sf each. The applicant is proposing to combine the two units and add additional square footage to convert the structure into a single-family structure. The existing site and structure are currently non-conforming to the current dimensional standards in Section 22.03.281 Schedule of regulations for R-1 (same dimensional nonconformities as in the previous R-2 district). The site improvements are legal non-conforming and can remain until expanding or changing the structure more than 50% of the value.

Analysis:

Encroachments into the setbacks for the primary building

Code Requirements

- Section 22.03.275. Building setback distances.
 - (a) (1) No principal building shall have any front, side or rear setback distance less than that shown on the schedule of regulations as being required in the district in which the building is located, except that the minimum setback distance from Bee Cave Road shall be 50 feet regardless of which direction the building is facing. The setback distance from the Capital of Texas Highway shall be a minimum of 75 feet.
 - (2) Unroofed steps and ramps shall not be considered as part of the principal building when measuring the setback distance of such building.
 - (3) Roof overhangs and eaves a minimum of 8 feet above natural grade up to two (2) feet into the front, side or rear setback. All other building elements shall not encroach into setbacks.
 - (4) Allowed encroachments: Equipment slabs for pool equipment and/or mechanical equipment, generators and other similar equipment may encroach up to five (5) feet into side and rear setbacks after meeting all the following requirements:
 - (A) Attached to the primary structure foundation;

- (B) Screened to appropriately dampen noise;
 - (C) Slab is limited to 12 feet in length;
 - (D) Equipment cannot be greater than five (5) feet in height measured from natural grade;
 - (E) Screening must extend six (6) inches above the height of the equipment; and
 - (F) Must be shown on the approved building plans.
- (b) Yards are the open areas between building setback lines and lot lines. Structures shall not be permitted in yards except as otherwise provided herein.
- (1) Front yards.Front yards extend the full width of the lot. Their depth is measured from the edge of the right-of-way line of the street to the minimum front setback line.
 - (2) Rear yards.Rear yards extend the full width of the lot. Their depth is measured from the rear lot line to the minimum rear setback line.
 - (3) Side yards.Side yards extend from the front yard to the rear yard. Their depth is measured from the side lot line to the nearest minimum side setback line.
- (c) In the case of lots abutting on more than one street, the full width of the front yard shall be provided from each street.

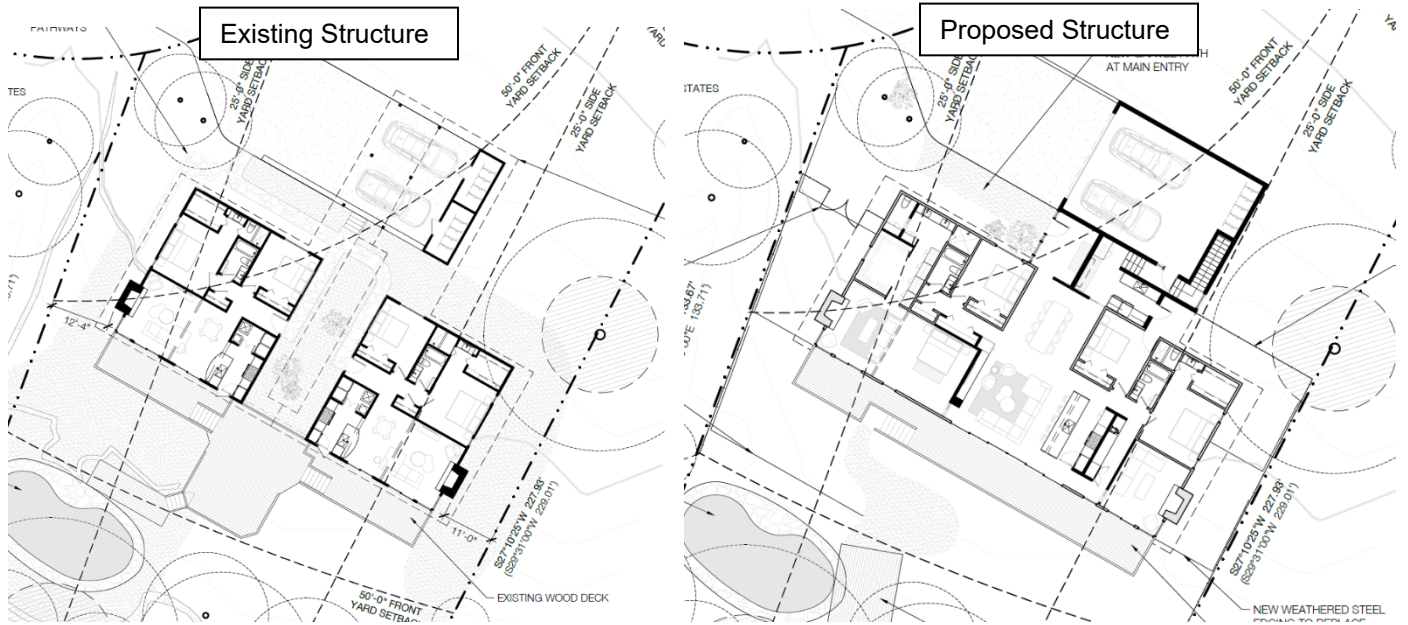
- Section 22.03.281 Schedule of Regulations

Minimum Building Setback Distance in Feet From Side Lot Lines									
Lot Size/ Zoning	R-1	R-2	R-3	O	GUI	B-1	B-2	B-3	MU-1
Greater than or equal to .5 acre	25	25	50	(I)	(I)	(I)	(I)	(IV)(c)	(C)
Less than .5 acres, greater than or equal to .375 acres	20	20	N/A	(II)	(II)	(II)	(II)	N/A	N/A

Requests:

1. For encroachments of up to 20 feet into the 25-foot side setbacks for a primary building

The applicant is proposing to modify the existing duplex structure to combine the two units into one by enclosing the existing courtyard and to convert the existing carport to a garage with habitable a second story space.



The west side of the existing building currently encroaches 12.67 feet with the side walls and another 3 feet for the eaves (15.67 feet total). The east side of the existing building currently encroaches 14 feet with the side wall and another 3 feet with the eaves (17 feet total). The proposed conversion would not be expanding the side walls further into the side setbacks.



2. For encroachment of up to 25 feet into the 50-foot front setback for a primary building

The building and carport currently encroach approximately 22 feet into the 50-foot front setback from Double Bend Back Rd



The applicant is proposing to convert the garage and add a second story over the garage.



Encroachments into the setbacks for the accessory structures

Code Requirements

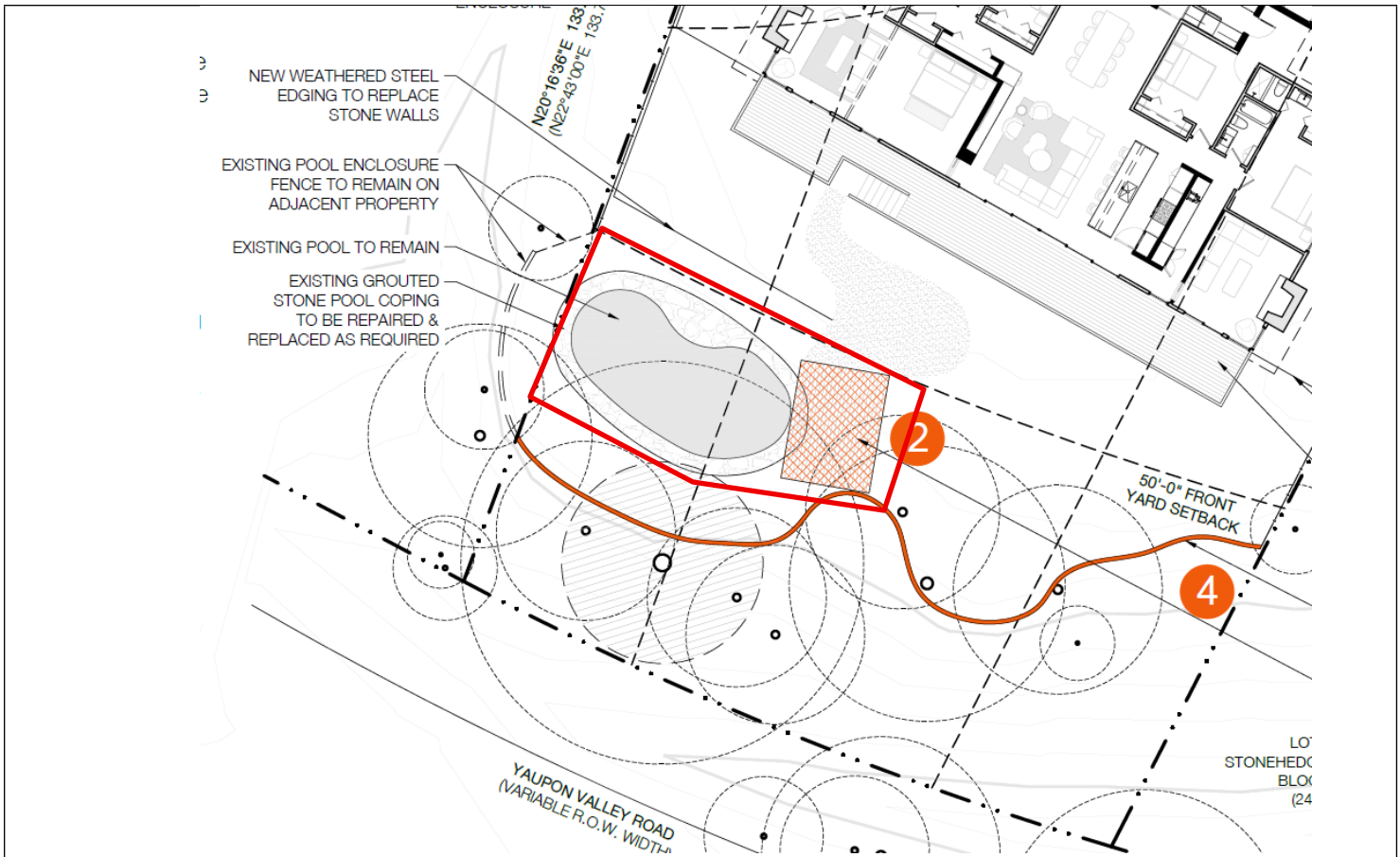
- Section 22.03.276. Setbacks for accessory structures.

The **minimum setback distances for accessory structures**, other than unroofed steps, ramps, fences, walks, driveways, driveway gates, playscapes, and mailboxes, **shall be the same as the setback distances applicable to a principal building** under the appropriate category in section 22.03.281. Accessory structures, including overhangs and eaves, shall not encroach into setbacks. Propane tanks shall not be required to meet the setback requirements of this section so long as they are permitted and placed in accordance with the Liquefied Petroleum Gas Safety Rules adopted by the Railroad Commission of Texas in title 16, part 1, chapter 9, of the Texas Administrative Code, including any and all future amendments thereto.

Requests:

3. Encroachment of up to 25 feet into the 25-foot side setback for a pool and pool enclosure
4. Encroachments of up to 35 feet into the 50-foot front setback for a pool, pool enclosure and new deck

The existing pool is encroaching 25 feet into the 25-foot west side setback. The applicant is proposing to keep the pool and decking within the setback within the same footprint and to replace as needed. They are also proposing to add a new deck that is fully within the 50-foot front setback.



Impervious Cover over maximum

Code Requirement:

Lot Size/ Zoning	Maximum Impervious Cover in Percent of Lot Area					
	R-1	R-2	R-3	O	GUI	B-1
Greater than or equal to .5 acre	25%	25%	25%	(IX)	(III)	(III)
Less than .5 acres, greater than or equal to .2 acres	*, †	*, †	25%	(IX)	(III)	(III)

Requests:

5. Allow redevelopment of a site with impervious cover of 30% where 25% is the maximum allowed by code.

On the existing site is the existing structures, driveway, and most of the area around the house within the setbacks is comprised of gravel/rock walkway and patios, which is considered 50-100% impervious. With these, the existing site is 39.7% impervious cover. The application is proposing to remove most of the gravel and the existing pool deck. With the removal of this impervious cover and the addition of a new pool deck, replaced house deck and driveway widening, the resulting impervious cover would be 30%, which is a reduction of 9.7% but is still over the allowed 25% maximum.

Public Comments:

As of the date of the report, no written comments have been received.

Variance Criteria Review:

Per Section 22.03.511 (c) Procedure and notice, Section 22.03.171: Site disturbance (residential buildings), and Section 22.03.276: Setbacks for accessory structures shall be administered in compliance with the rules established by sections 38.05.031 through 38.05.034.

- Section 38.05.031. Provisions subject to variance.

Variances may be granted by the board of adjustment to the provisions of this chapter in accordance with the rules and conditions of this division. A variance may not be granted, however, to authorize a change of use. Variances run with the land, but each variance is specific to the project for which it was granted.

- Section 38.05.032. Conditions required for granting variance.

No variance shall be granted unless the following conditions are fulfilled:

- (1) The applicant has established by competent evidence that:
 - (A) The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.
 - (B) There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.
 - (C) There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.
 - (D) The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.
- (2) The recommendation of zoning and planning commission shall include an analysis of whether:
 - (A) The variance may violate the intent of this chapter or the goals of the city's comprehensive plan.
 - (B) (Reserved).
 - (C) (Reserved).
 - (D) The variance may have an adverse effect on neighborhood properties, or interfere with the respective owners' enjoyment thereof.
 - Section 38.0.033. Interpretative criteria.

The board of adjustment and the zoning and planning commission, in performing their respective duties in reference to applications for variances, may be guided by these interpretative criteria:

- (1) Variances from the terms of this chapter should be granted sparingly.
- (2) Deviations from the requirements of this chapter are justified only where the hardship resulting from their application is substantial.
- (3) Usually, the granting of a variance must be predicated on a finding that the applicant's hardship arises from unusual conditions or circumstances, such as exceptional irregularity of shape or topography, which are peculiar to the parcel of land involved and not shared generally by other parcels in the neighborhood or district, or because no other reasonable alternative is available that will alleviate the unnecessary hardship complained of.
- (4) Normally, a variance is to be denied if conditions or circumstances relied on for a variance were self-created by the person having an interest in the property in disregard of city regulations.
- (5) The variance shall not violate the goals of the master plan for the city.
- (6) The variance shall not have an adverse effect on neighborhood properties or unreasonably interfere with the respective owners' enjoyment thereof.
- (7) The fact that lots, structures, uses or dimensional conditions on properties or structures within 200 feet of the property involved are, because they are nonconforming or because of previously granted variances, similar to the condition which would be created by the variance requested shall be relevant to, but not determinative of, the granting of the requested variance.
- (8) See section 22.03.009(c) for variances to enable the efficient use of solar energy devices.
- (9) When considering variance requests for nonresidential projects, whether granting the variance furthers achievement of the land planning principles set forth in the City's Master Plan, Attachment "B," as codified in the Code of Ordinances.

- Section 38.05.035. Conditions.

The city council can impose, and the zoning and planning commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects, whether, the City can recommend the imposition of reasonable conditions that are necessary to achieve one or more of the land planning principles set forth in the City's Master Plan, Attachment "B", as codified in chapter 28 of the Code of Ordinances.

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City's Code.

Compliance with Adopted International Building Code

The property and future construction will have to comply with all applicable City codes.

Subdivision

There is no change to the subdivision proposed with this application.

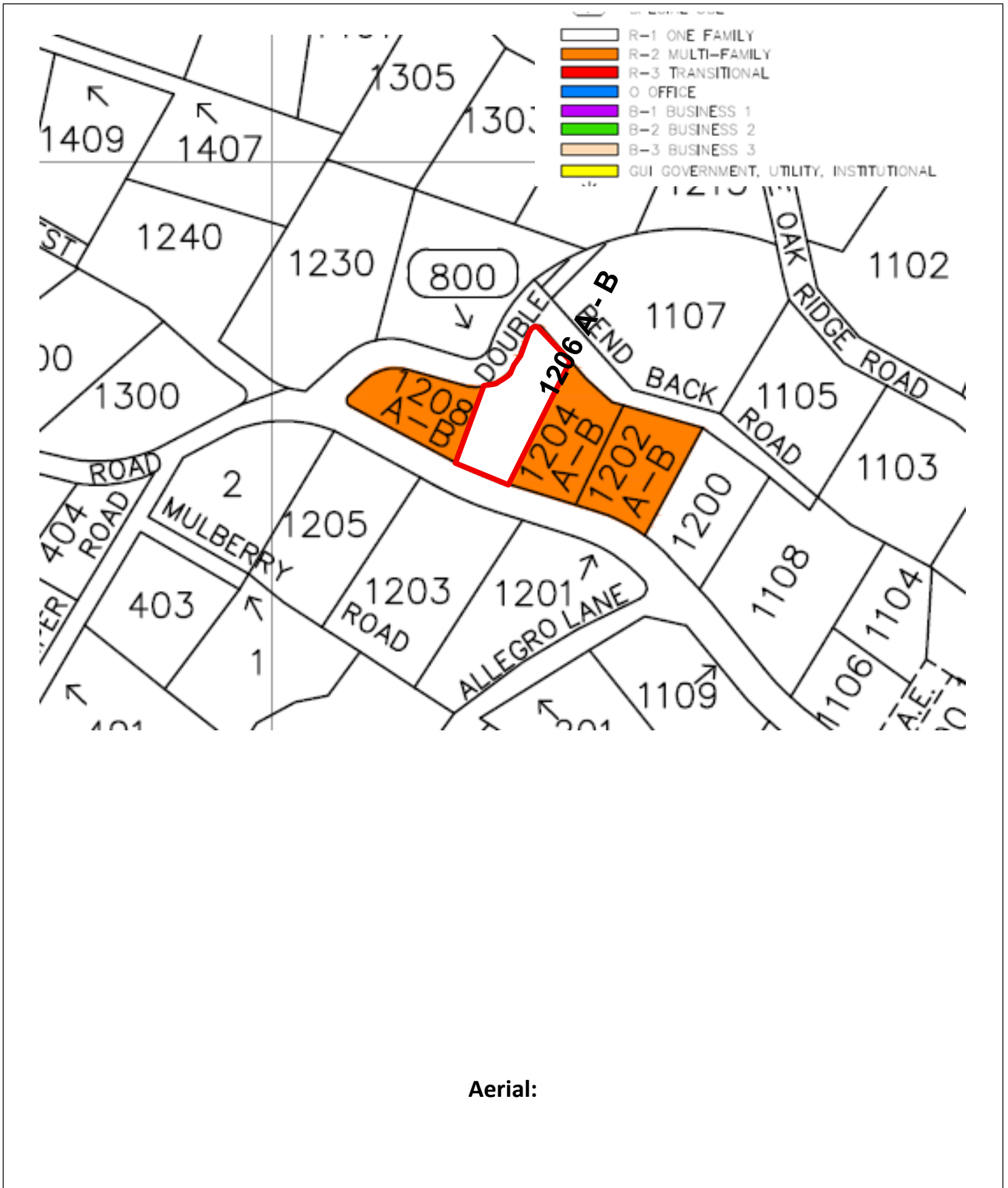
Comprehensive Planning Analysis

The proposed use is in conformance with the City of West Lake Hills Master Plan.

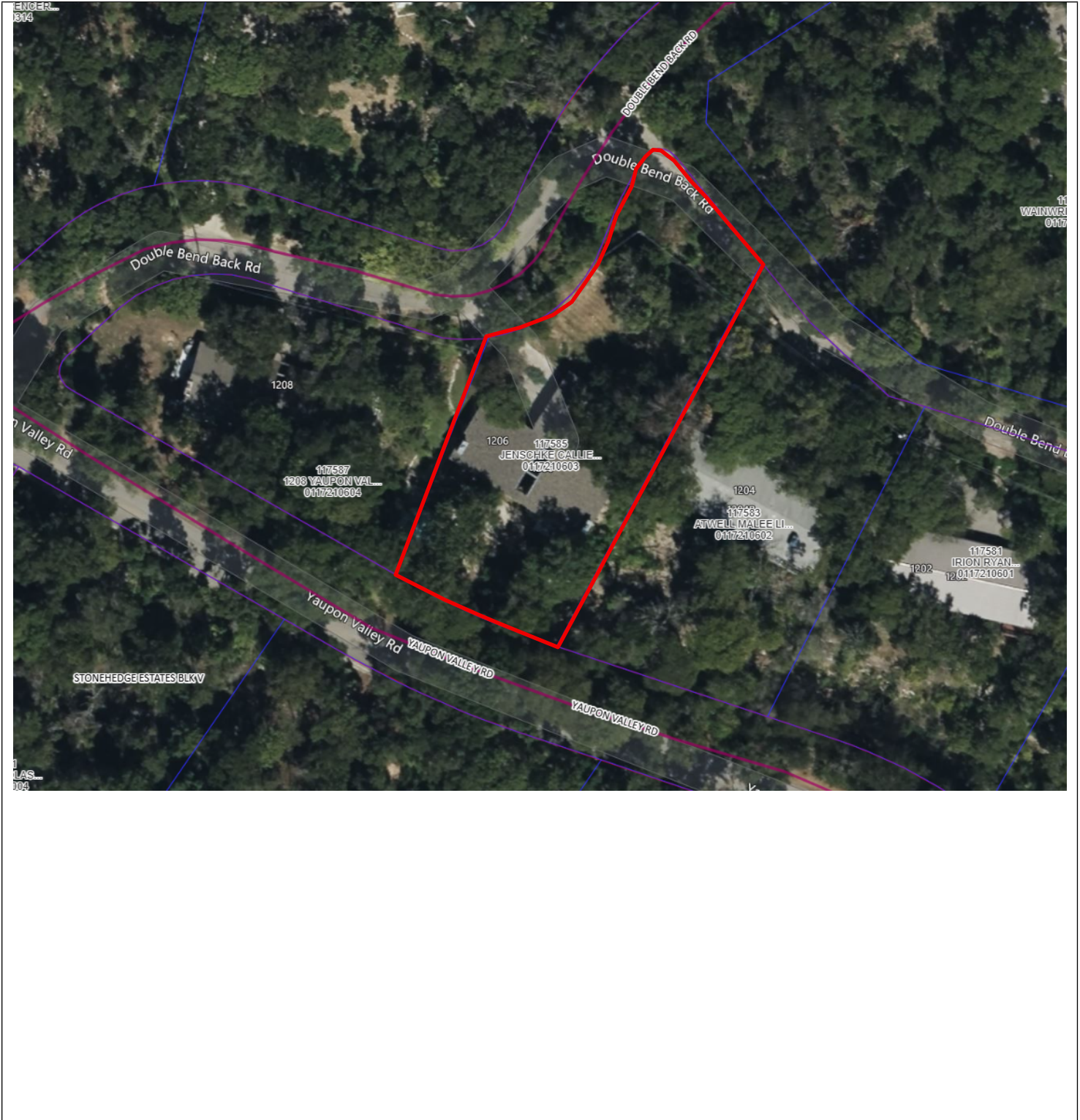
Links to Relevant Code:

- [Section 22.03.275 Building setback distances](#)
- [Section 22. 03.276 Setbacks for accessory structures](#)
- [Section 22.03.281 Schedule of Regulations](#)
- [Section 38.05.031 Variances](#)
- [Section 22.03.514 Criteria and process required for granting a variance](#)

Zoning:



Aerial:





City of West Lake Hills
Zoning and Planning Commission

AGENDA REPORT

Meeting Date:	September 17, 2025	Item Number:	6
	Building & Development		
Department:	Services		
Prepared By:	Jennifer C. Bills	Cost / Budget:	None
Exhibits:	See Attached	Source of Funds:	N/A

Subject

1206 Yaupon Valley Road: Discuss and make a recommendation to the Board of Adjustment for variances:

1. For encroachments of up to 20 feet into the 25-foot side setbacks for a primary building (Section 22.03.275 and 22.03.281);
2. For encroachment of up to 25 feet into the 50-foot front setback for a primary building (Section 22.03.275 and 22.03.281);
3. For encroachment of up to 25 feet into the 25-foot side setback for a pool and pool enclosure (Section 22.03.276 and Section 22.03.281);
4. For encroachments of up to 35 feet into the 50-foot front setback for a pool, pool enclosure, and garage (Section 22.03.276 and Section 22.03.281);
5. To allow redevelopment of a site with impervious cover of 30% where 25% is the maximum allowed by code (Section 22.03.281).

Applicant: John Hussey, Site Specifics

Recommendation

Discuss and provide a recommendation including the analysis of the following criteria:

1. The variance may violate the intent of this chapter or the goals of the city’s comprehensive plan; and
2. The variance may have an adverse effect on neighborhood properties or interfere with the respective owners’ enjoyment thereof.

The Zoning and Planning Commission, in performing their respective duties in reference to applications for variances, may be guided by the interpretative criteria listed in the variance criteria in the report.

The Zoning and Planning Commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance.

The applicant has provided their findings in Exhibit A.

This item will be forwarded to the Board of Adjustment meeting on October 8, 2025 for review and a public hearing.

Discussion

Property Information, Zoning & Site Characteristics:

Owner: Callie Jenschke

Legal Description: Lot 9 of Stonehedge Estate Block X

Lot Size: 0.54 acres

Zoning: R-1, One-Family Residential

Wastewater: On-Site Sewage Facility (Septic)

The properties surrounding the subject property are zoned R-1, One-Family Residential and R-2, Two-Family Residential. The lot is currently occupied by a duplex structure and a pool. The lot is addressed to Yaupon Valley but takes access from Double Bend Back Road.

Background:

The applicant is requesting to redevelop the duplex into a single-family house. The existing building is currently two units, approximately 1,020 sf each. The applicant is proposing to combine the two units and add additional square footage to convert the structure into a single-family structure. The existing site and structure are currently non-conforming to the current dimensional standards in Section 22.03.281 Schedule of regulations for R-1 (same dimensional nonconformities as in the previous R-2 district). The site improvements are legal non-conforming and can remain until expanding or changing the structure more than 50% of the value.

Analysis:

Encroachments into the setbacks for the primary building

Code Requirements

- Section 22.03.275. Building setback distances.
 - (a) (1) No principal building shall have any front, side or rear setback distance less than that shown on the schedule of regulations as being required in the district in which the building is located, except that the minimum setback distance from Bee Cave Road shall be 50 feet regardless of which direction the building is facing. The setback distance from the Capital of Texas Highway shall be a minimum of 75 feet.
 - (2) Unroofed steps and ramps shall not be considered as part of the principal building when measuring the setback distance of such building.
 - (3) Roof overhangs and eaves a minimum of 8 feet above natural grade up to two (2) feet into the front, side or rear setback. All other building elements shall not encroach into setbacks.
 - (4) Allowed encroachments: Equipment slabs for pool equipment and/or mechanical equipment, generators and other similar equipment may encroach up to five (5) feet into side and rear setbacks after meeting all the following requirements:
 - (A) Attached to the primary structure foundation;

- (B) Screened to appropriately dampen noise;
 - (C) Slab is limited to 12 feet in length;
 - (D) Equipment cannot be greater than five (5) feet in height measured from natural grade;
 - (E) Screening must extend six (6) inches above the height of the equipment; and
 - (F) Must be shown on the approved building plans.
- (b) Yards are the open areas between building setback lines and lot lines. Structures shall not be permitted in yards except as otherwise provided herein.
- (1) Front yards.Front yards extend the full width of the lot. Their depth is measured from the edge of the right-of-way line of the street to the minimum front setback line.
 - (2) Rear yards.Rear yards extend the full width of the lot. Their depth is measured from the rear lot line to the minimum rear setback line.
 - (3) Side yards.Side yards extend from the front yard to the rear yard. Their depth is measured from the side lot line to the nearest minimum side setback line.
- (c) In the case of lots abutting on more than one street, the full width of the front yard shall be provided from each street.

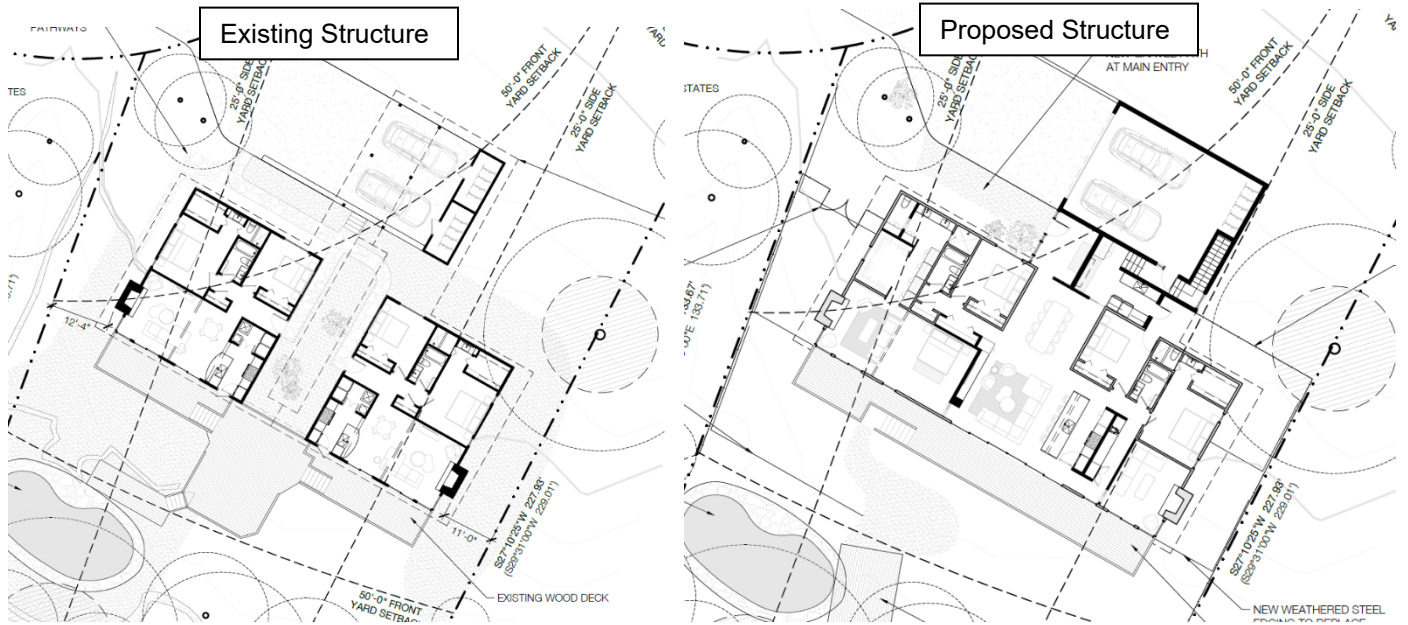
- Section 22.03.281 Schedule of Regulations

Minimum Building Setback Distance in Feet From Side Lot Lines									
Lot Size/ Zoning	R-1	R-2	R-3	O	GUI	B-1	B-2	B-3	MU-1
Greater than or equal to .5 acre	25	25	50	(I)	(I)	(I)	(I)	(IV)(c)	(C)
Less than .5 acres, greater than or equal to .375 acres	20	20	N/A	(II)	(II)	(II)	(II)	N/A	N/A

Requests:

1. For encroachments of up to 20 feet into the 25-foot side setbacks for a primary building

The applicant is proposing to modify the existing duplex structure to combine the two units into one by enclosing the existing courtyard and to convert the existing carport to a garage with habitable a second story space.



The west side of the existing building currently encroaches 12.67 feet with the side walls and another 3 feet for the eaves (15.67 feet total). The east side of the existing building currently encroaches 14 feet with the side wall and another 3 feet with the eaves (17 feet total). The proposed conversion would not be expanding the side walls further into the side setbacks.



2. For encroachment of up to 25 feet into the 50-foot front setback for a primary building

The building and carport currently encroach approximately 22 feet into the 50-foot front setback from Double Bend Back Rd



The applicant is proposing to convert the garage and add a second story over the garage.



Encroachments into the setbacks for the accessory structures

Code Requirements

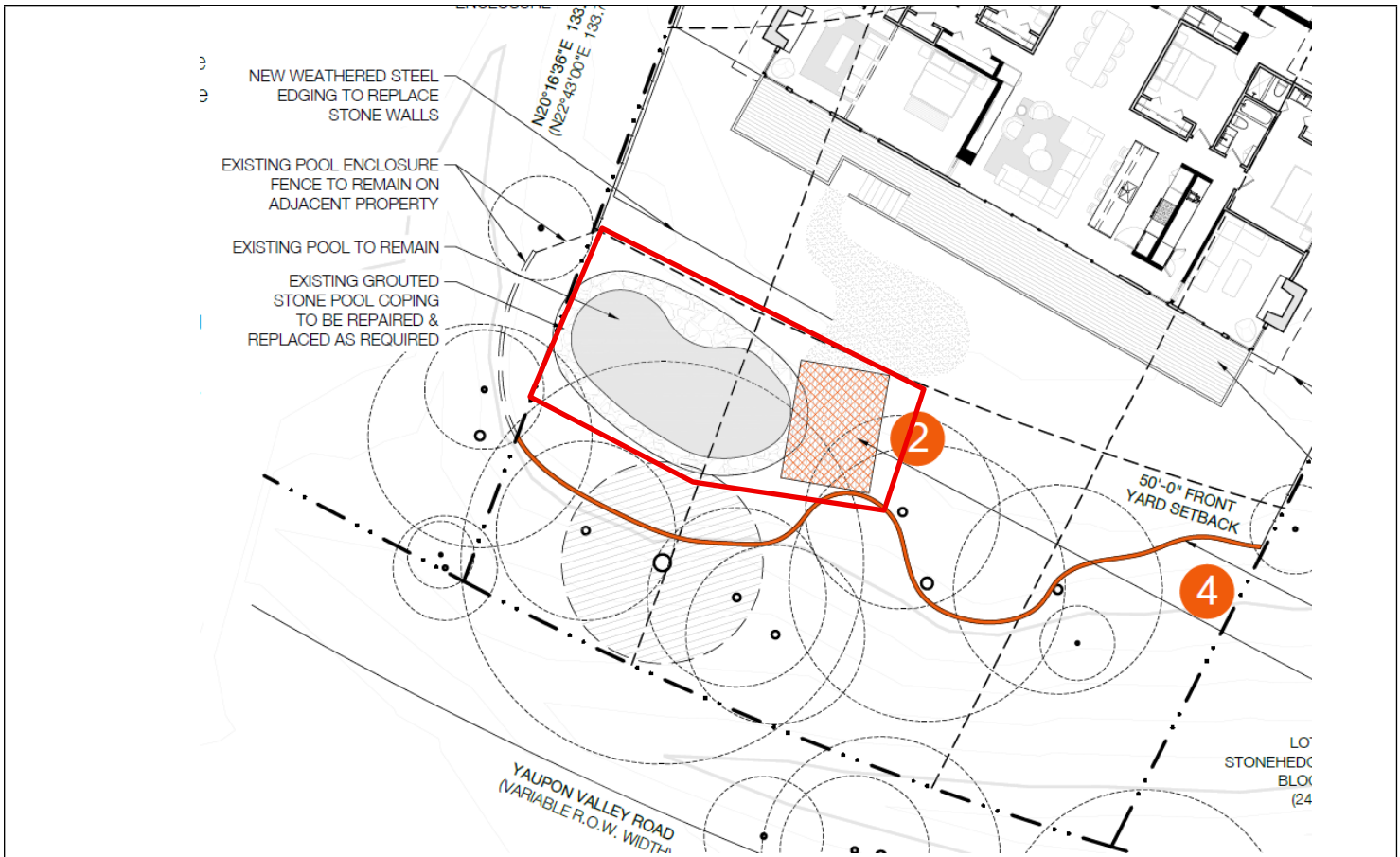
- Section 22.03.276. Setbacks for accessory structures.

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The existing pool is encroaching 25 feet into the 25-foot west side setback. The applicant is proposing to keep the pool and decking within the setback within the same footprint and to replace as needed. They are also proposing to add a new deck that is fully within the 50-foot front setback.



Impervious Cover over maximum

Code Requirement:

Lot Size/ Zoning	Maximum Impervious Cover in Percent of Lot Area					
	R-1	R-2	R-3	O	GUI	B-1
Greater than or equal to .5 acre	25%	25%	25%	(IX)	(III)	(III)
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Requests:

5. Allow redevelopment of a site with impervious cover of 30% where 25% is the maximum allowed by code.

On the existing site is the existing structures, driveway, and most of the area around the house within the setbacks is comprised of gravel/rock walkway and patios, which is considered 50-100% impervious. With these, the existing site is 39.7% impervious cover. The application is proposing to remove most of the gravel and the existing pool deck. With the removal of this impervious cover and the addition of a new pool deck, replaced house deck and driveway widening, the resulting impervious cover would be 30%, which is a reduction of 9.7% but is still over the allowed 25% maximum.

Public Comments:

As of the date of the report, no written comments have been received.

Variance Criteria Review:

Per Section 22.03.511 (c) Procedure and notice, Section 22.03.171: Site disturbance (residential buildings), and Section 22.03.276: Setbacks for accessory structures shall be administered in compliance with the rules established by sections 38.05.031 through 38.05.034.

- Section 38.05.031. Provisions subject to variance.

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 - (4) Normally, a variance is to be denied if conditions or circumstances relied on for a variance were self-created by the person having an interest in the property in disregard of city regulations.
 - (5) The variance shall not violate the goals of the master plan for the city.
 - (6) The variance shall not have an adverse effect on neighborhood properties or unreasonably interfere with the respective owners' enjoyment thereof.
 - (7) The fact that lots, structures, uses or dimensional conditions on properties or structures within 200 feet of the property involved are, because they are nonconforming or because of previously granted variances, similar to the condition which would be created by the variance requested shall be relevant to, but not determinative of, the granting of the requested variance.
 - (8) See section 22.03.009(c) for variances to enable the efficient use of solar energy devices.
 - (9) When considering variance requests for nonresidential projects, whether granting the variance furthers achievement of the land planning principles set forth in the City's Master Plan, Attachment "B," as codified in the Code of Ordinances.
- Section 38.05.035. Conditions.

The city council can impose, and the zoning and planning commission can recommend imposition of reasonable conditions upon granting a variance if the conditions are related to the subject of the variance. When considering variance requests for nonresidential projects, whether, the City can recommend the imposition of reasonable conditions that are necessary to achieve one or more of the land planning principles set forth in the City's Master Plan, Attachment "B", as codified in chapter 28 of the Code of Ordinances.

Outdoor Lighting

Outdoor lighting is not proposed with this variance request. Any outdoor lighting will need to comply with the City's Code.

Compliance with Adopted International Building Code

The property and future construction will have to comply with all applicable City codes.

Subdivision

There is no change to the subdivision proposed with this application.

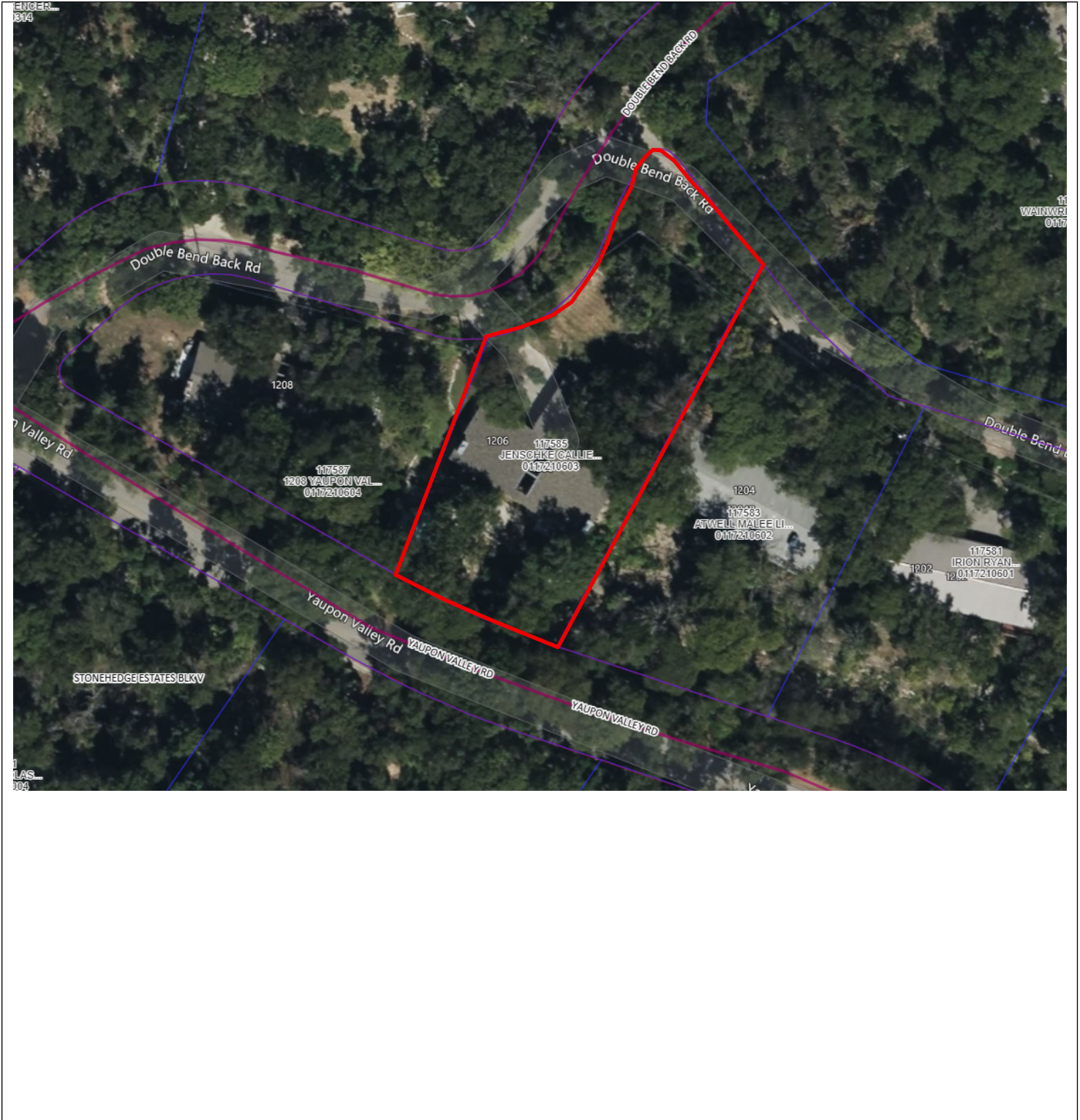
Comprehensive Planning Analysis

The proposed use is in conformance with the City of West Lake Hills Master Plan.

Links to Relevant Code:

- [Section 22.03.275 Building setback distances](#)
- [Section 22. 03.276 Setbacks for accessory structures](#)
- [Section 22.03.281 Schedule of Regulations](#)
- [Section 38.05.031 Variances](#)
- [Section 22.03.514 Criteria and process required for granting a variance](#)

Zoning:



August 8, 2025

Robert Meisel, Chair
City of West Lake Hills
Zoning and planning Commission
911 Westlake Drive
West Lake Hills, TX 78746

 **Variance Application**
1206 Yaupon Valley Road

Mr. Meisel,

On behalf of Ms. Callie Jenschke, owner of property located at 1206 Yaupon Valley Road, we are requesting variances from the City of Westlake Hills Code of Ordinances, in association of the proposed renovations and addition to convert an existing duplex to a one-family residence.

Below further describes the proposed plan and requested variances. We have included in our application package, documents highlighting the existing and proposed site plans, setback exhibits, photos of existing conditions and renderings of the proposed renovations.

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:

1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
4. A new pool enclosure will be required per §22.03.167-Pools. Given the location of the existing pool and its proximity to the street, we request a variance to allow the pool enclosure facing Yaupon Valley Road to be made of solid materials for privacy as outlined in § 22.03.173-Fences. As such, the pool enclosure would alternatively serve as a front yard fence as defined in the same section.

In addition, the existing dry stacked retaining wall is showing signs of wear and failure. It is the intent of the owner to replace as part of this development scheme. We propose replacing the existing retaining walls with an engineered steel structure that complies with

§22.03.173(d)(6)(A)(iii-iv)-Front Yard Fence Requirements and City of Westlake Hills Drainage Manual. We recognize the inherent need to coordinate with an approved licensed arborist as well. In an effort to utilize the same foundation, we propose locating the pool enclosure fence (front yard fence) on top of the replaced retaining wall. See page 17-18 for additional

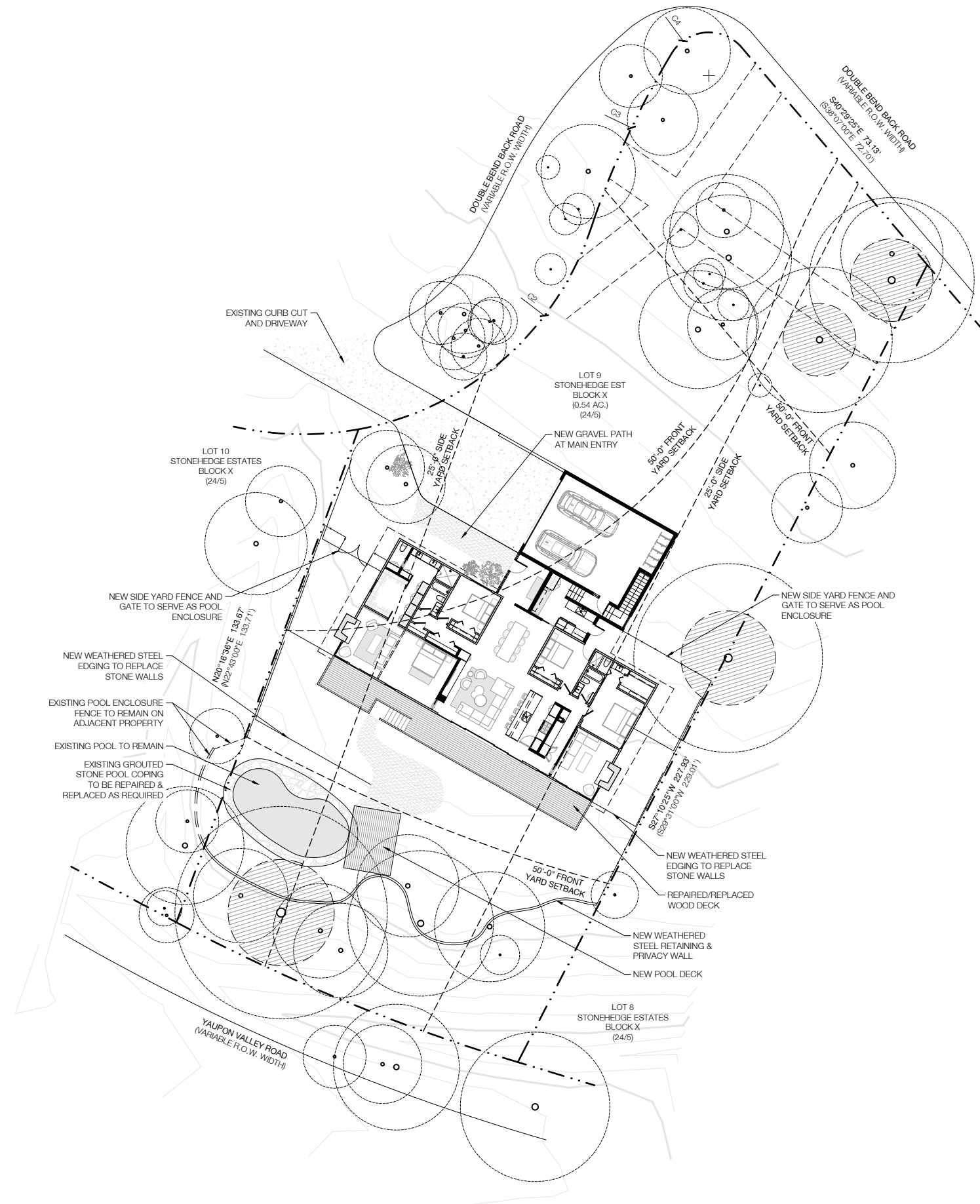
We hope you find this application complete and in order as we respectfully request your consideration of these variance requests.

Please contact me if you should have questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "John Hussey". The signature is stylized with a large initial "J" and "H".

John Hussey
Site Specifics



Proposed Site Plan
 1/32" = 1'-0"

Proposed Site Improvements

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:


1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a setback variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a setback variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
4. A new pool enclosure will be required per §22.03.167-Pools. Given the location of the existing pool and its proximity to the street, we request a variance to allow the pool enclosure facing Yaupon Valley Road to be made of solid materials for privacy as outlined in §22.03.173-Fences. As such, the pool enclosure would alternatively serve as a front yard fence as defined in the same section.

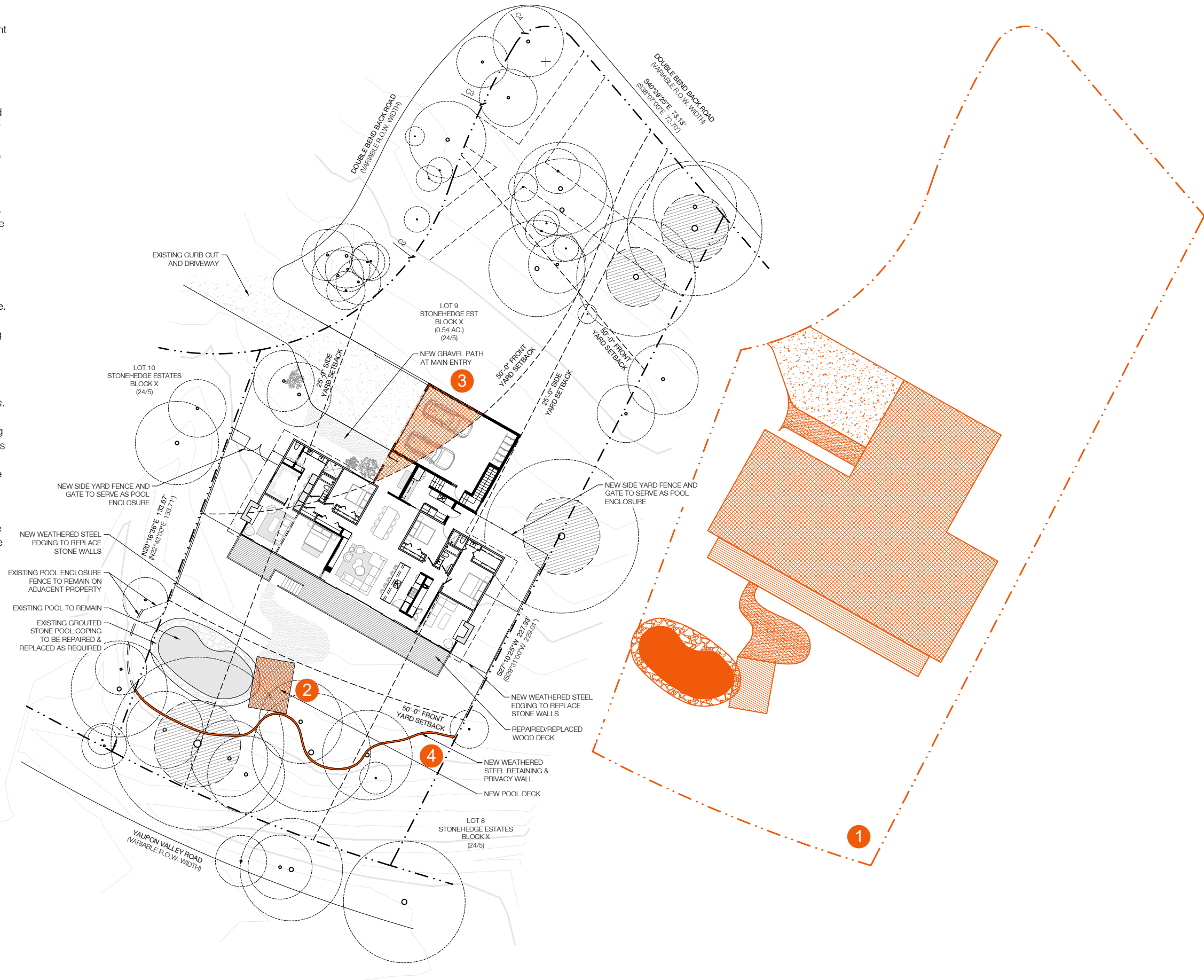
In addition, the existing dry stacked retaining wall is showing signs of wear and failure. It is the intent of the owner to replace as part of this development scheme. We propose replacing the existing retaining walls with an engineered steel structure that complies with §22.03.173(d)(6)(A)(iii-iv)-Front Yard Fence Requirements and City of Westlake Hills Drainage Manual. We recognize the inherent need to coordinate with an approved licensed arborist as well.

In an effort to utilize the same foundation, we propose locating the pool enclosure fence (front yard fence) on top of the replaced retaining wall. See page 18 for additional information.

Proposed Lot Coverage

Driveway:	870sf
Building:	4,243sf
Wood Decks (50%):	750sf (375sf)
Walkways & Paths:	790sf
Pool/Coping:	635sf
Site Retaining Walls:	80sf
Total Lot Coverage	6,993sf (29.8%)
Lot Area:	23,417sf (.54ac)

 Proposed Site Plan
1/32" = 1'-0"

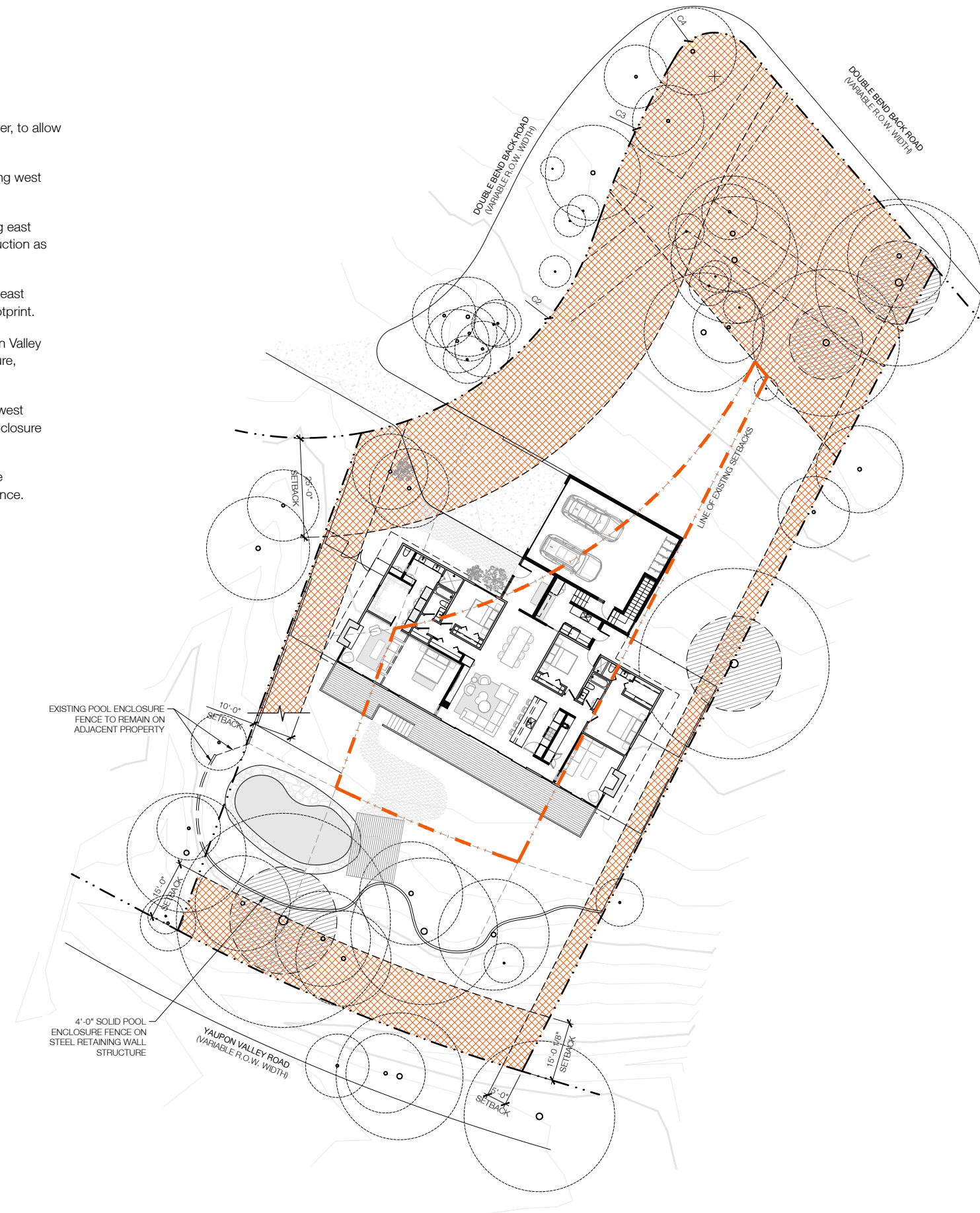


Proposed Variances

1. Variance from §22.03.281 Maximum Impervious Cover, to allow 30% lot coverage.
2. Variance from 25'-0" side yard setback to 10'-0" along west property line to allow work in existing footprint.
3. Variance from 25'-0" side yard setback to 5'-0" along east property line for existing building footprint. (New construction as part of garage addition to maintain 25'-0" setback)
4. Variance from 50'-0" front yard setback to 25'-0" on east property line for renovation & addition within existing footprint.
5. Variance from 50'-0" front yard setback along Yaupon Valley Road for existing pool and new pool deck, pool enclosure, retaining wall, and safety/privacy wall.
6. Variance from 25'-0" side yard setback on east and west property lines to 0'-0" for existing pool and new pool enclosure wall.
7. Variance from §22.03.173(d)(6)(A)(ii) Front Yard Fence Requirements to allow 0% visibility through front yard fence.

Proposed Lot Coverage

Driveway:	870sf
Building:	4,243sf
Wood Decks (50%):	750sf (375sf)
Walkways & Paths:	790sf
Pool/Coping:	635sf
Site Retaining Walls:	80sf
Total Lot Coverage	6.993sf (29.8%)
Lot Area:	23,417sf (.54ac)



Proposed Site Plan
1/32" = 1'-0"

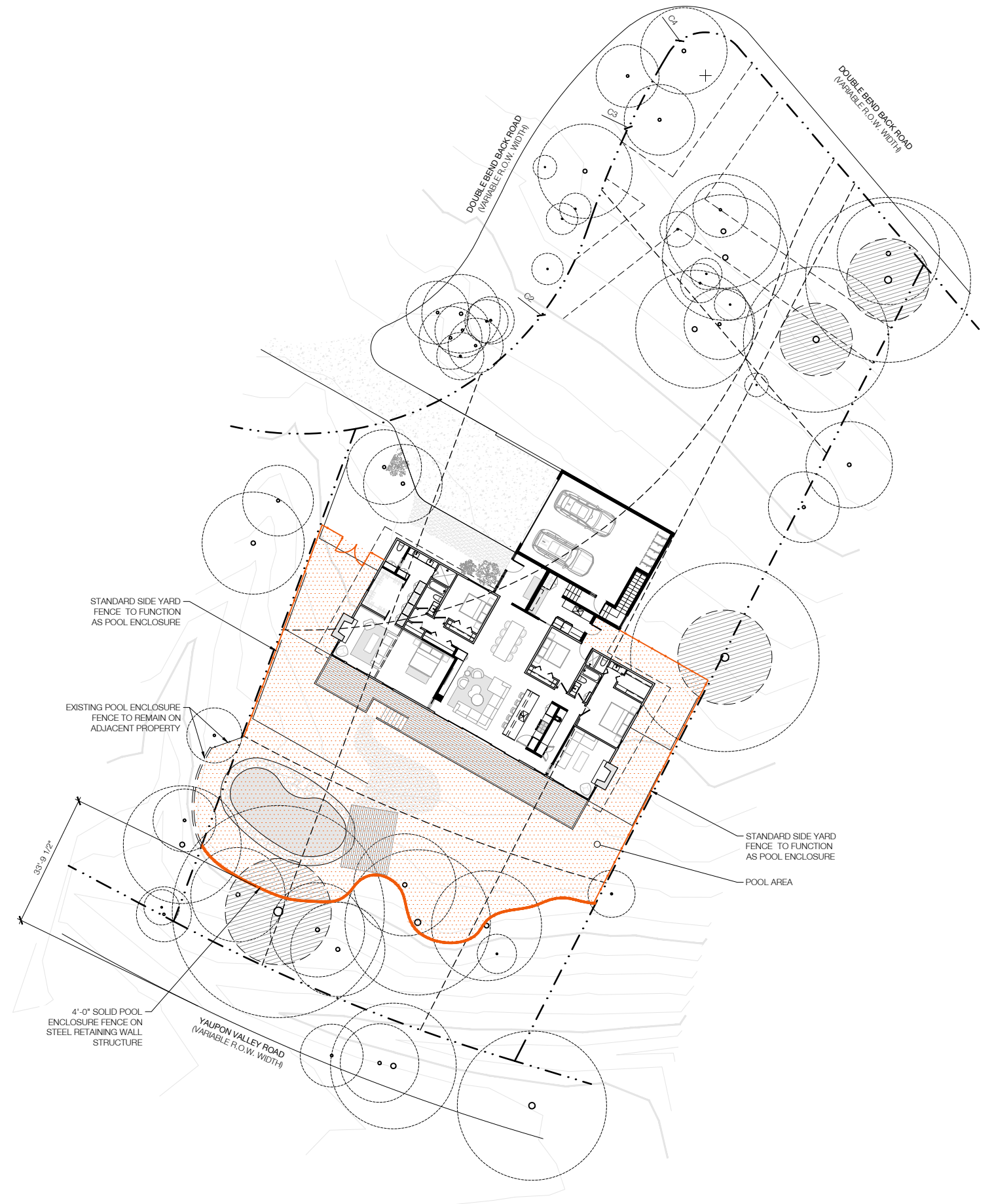


Existing View from Yaupon Valley Road

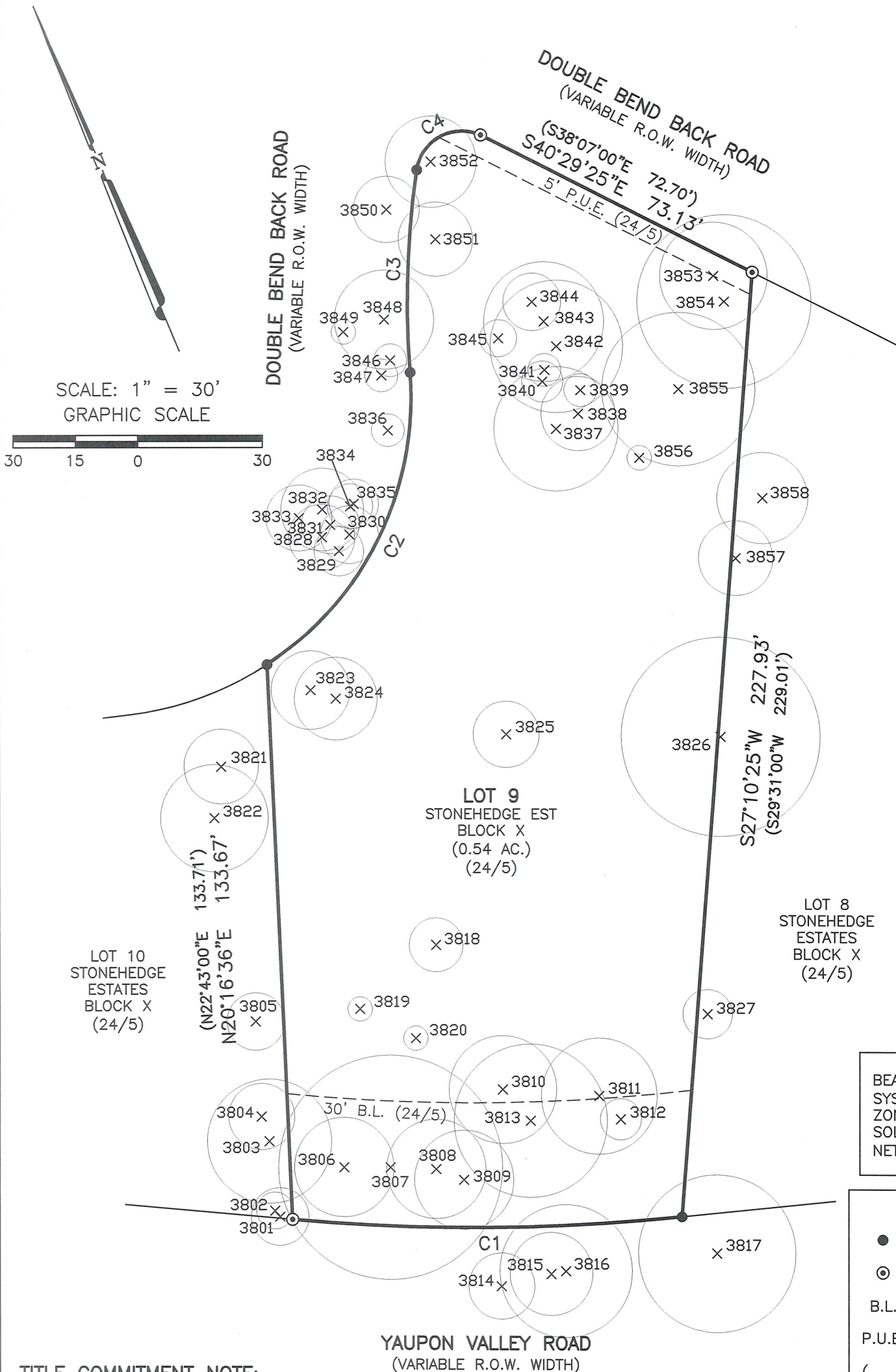
Proposed View from Yaupon Valley Road (tree removed for clarity)



Proposed Site Plan: Front Yard Fence / Pool Enclosure
1/32" = 1'-0"



A TREE SURVEY OF LOT 9, STONEHEDGE ESTATES, BLOCK X, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN VOLUME 24, PAGE 5, PLAT RECORDS, TRAVIS COUNTY, TEXAS.



TREE INDEX		
TAG NO.	TYPE	INDICATES MULTI TRUNK
514	LO	17 14 11
INDIVIDUAL TRUNK DIA. (IN INCHES)		
CRITICAL ROOT ZONES (TREE CIRCLES) ARE SHOWN USING THE COA FORMULA FOR SINGLE AND MULTI TRUNK TREES.		
3801	CEDAR ELM	7
3802	YAUPON	3 3
3803	HACKBERRY	15
3804	CEDAR ELM	8
3805	YAUPON	4 3 3
3806	CEDAR ELM	12
3807	HACKBERRY	27
3808	CEDAR ELM	12
3809	HACKBERRY	12
3810	YAUPON	8 6 4
3811	HACKBERRY	14
3812	HACKBERRY	5
3813	YAUPON	10 9 8
3814	HACKBERRY	8
3815	HACKBERRY	10
3816	HACKBERRY	16
3817	CEDAR ELM	19
3818	YAUPON	4 3 2
3819	YAUPON	3
3820	YAUPON	3
3821	HACKBERRY	9
3822	CEDAR ELM	13
3823	CRAPE MYRTLE	6 4 3
3824	CRAPE MYRTLE	4 4 4 4 4
3825	PINE BUDDHIST	8
3826	HACKBERRY	24
3827	YAUPON	6
3828	RED OAK	8
3829	LIVE OAK	6
3830	LIVE OAK	5 4
3831	CEDAR ELM	7
3832	CEDAR ELM	8 4
3833	HACKBERRY	8
3834	YAUPON	4 3
3835	LIVE OAK	6
3836	HACKBERRY	4
3837	CHINABERRY	12 6
3838	CEDAR ELM	9
3839	YAUPON	4
3840	CHINABERRY	5
3841	CEDAR ELM	4
3842	CEDAR ELM	16
3843	RED OAK	12 5
3844	CEDAR ELM	7
3845	YAUPON	3 3
3846	YAUPON	3 2
3847	YAUPON	3 2
3848	CEDAR ELM	12
3849	YAUPON	3
3850	RED OAK	8
3851	RED OAK	9
3852	CEDAR ELM	11
3853	CEDAR ELM	13
3854	RED OAK	10 8 7 7
3855	CEDAR ELM	11 10 5
3856	CHINABERRY	3
3857	HACKBERRY	9
3858	CEDAR ELM	11

THE SPECIES OF TREES SHOWN WERE DETERMINED TO THE BEST OF OUR ABILITIES BY ON THE GROUND SURVEY CREW, NOT A CERTIFIED ARBORIST. CONSULT A CERTIFIED ARBORIST FOR FINAL DETERMINATION OF SPECIES.

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE; US SURVEY FEET; BASED ON GPS SOLUTIONS FROM THE LOCAL REAL TIME NETWORK (RTN).

LEGEND	
●	1/2" REBAR FOUND (OR AS NOTED)
⊙	IRON PIPE FOUND (SIZE NOTED)
B.L.	BUILDING SETBACK LINE
P.U.E.	PUBLIC UTILITY EASEMENT
()	RECORD INFORMATION

TITLE COMMITMENT NOTE:

This Survey was prepared without the benefit of a Commitment for Title, and may be subject to additional easements or restrictions not shown hereon. No additional easement research was done for the purpose of this survey.

SURVEYOR'S CERTIFICATE:

DATE OF SURVEY:

I hereby certify that the tree survey shown hereon was actually made upon the ground under my direction and supervision on the date shown.

Paul J. Flugel 12-11-24

PAUL J. FLUGEL Date
Registered Professional Land Surveyor
State of Texas No. 5096

CURVE TABLE							
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	RECORD BEARING	RECORD CHORD
C1	478.44'	11°15'16"	93.98'	N67°43'35"W	93.83'	(N65°06'00"W)	(93.79')
C2	76.96'	61°16'36"	82.31'	N49°00'27"E	78.44'	(N51°15'00"E)	(78.70')
C3	220.04'	12°42'47"	48.82'	N24°49'32"E	48.72'	(N26°53'00"E)	(48.93')
C4	11.02'	105°27'06"	20.28'	N84°13'15"E	17.54'	(N87°34'00"E)	(17.90')



Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
5725 West Hwy 290, Suite 103
Austin, Texas 78735-7822
512-443-1724
T.B.P.E.L.S. Firm No. 10124500

PROJECT NO.:
2175-001
DRAWING NO.:
2175-001-TREE
PLOT DATE:
12-11-24
PLOT SCALE:
1"=30'
DRAWN BY:
SCN

SHEET
1 OF 1

1206 Yaupon Valley Road: Zoning Exhibits

Westlake Hills, Texas

August 11, 2025

502.314.0670

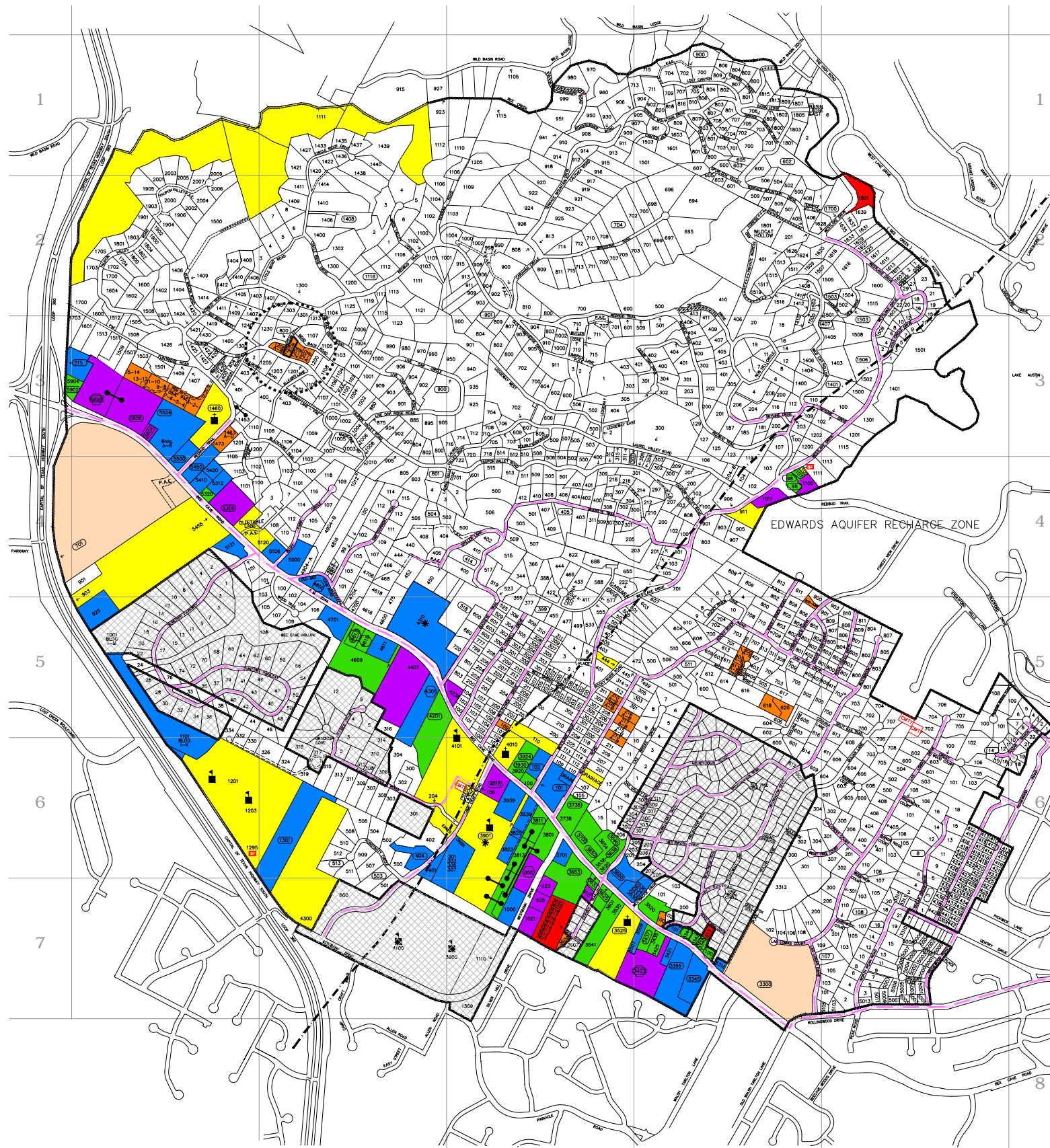
www.theplanning.agency

- R-2 Zoning
- 1206 Yaupon Valley Road (R-2)



Westlake Hills Vicinity Map

- CHURCH
- SCHOOL
- FIRE STATION
- CEMETERY
- CITY LIMITS
- AQUIFER RECHARGE ZONE BOUNDARY
- TEXAS GAS SERVICE
- CONDITIONAL OVERLAYS
- SPECIAL USE
- R-1 ONE FAMILY
- R-2 MULTI-FAMILY
- R-3 TRANSITIONAL
- O OFFICE
- B-1 BUSINESS 1
- B-2 BUSINESS 2
- B-3 BUSINESS 3
- GUI GOVERNMENT, UTILITY, INSTITUTIONAL
- PDD PLANNED DEVELOPMENT DISTRICT
- P.A.E. PRIVATE ACCESS EASEMENT
- NOT A THROUGH ROAD
- EXTRATERRITORIAL JURISDICTION
- UNIFIED DEVELOPMENT AGREEMENT
- UNPAVED ROAD



Westlake Hills Zoning Map



Aerial View

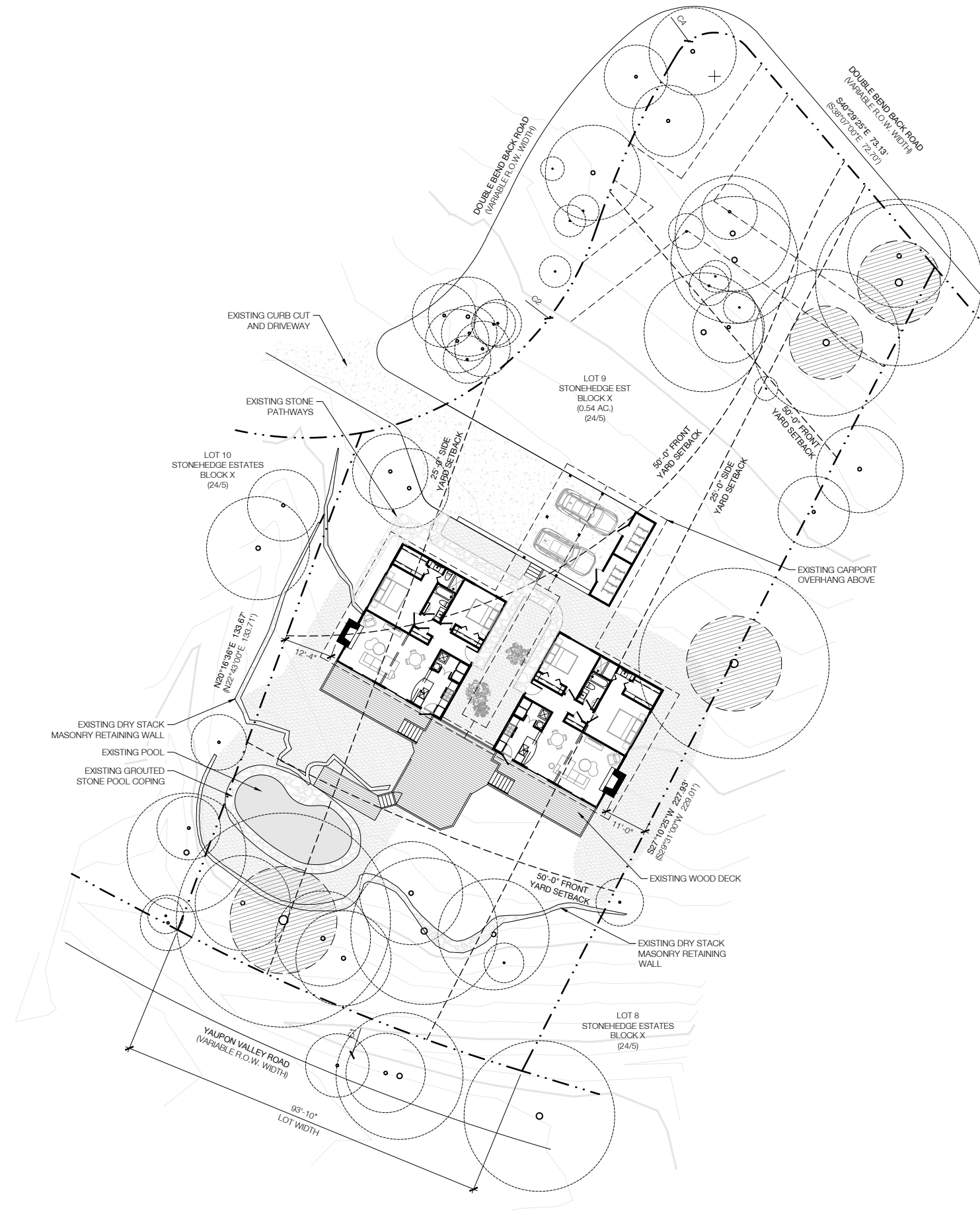
Existing Site Notes

Overlaying setbacks and measurements set forth in § 22.03.281 Schedule of Regulations reveals the following non-conformities on both the site and the structure:

1. Existing building and rear wood patio encroaches the front and side yard setbacks
2. Existing pool encroaches the front and side yard setbacks. In addition, a small portion of the west side of the pool actually exists outside the property line.
3. The minimum side width requirement of 150' is not met. The existing lot width is measured at 93'-10" wide.
4. Lot coverage is currently calculated at 39.7% (Reference exhibit on following page)

Existing Lot Coverage

Driveway:	870sf
Building:	4,098sf
Wood Decks (50%):	960sf (450sf)
Walkways & Paths:	144sf
Site Walls:	370sf
Pool/Coping:	635sf
Site Retaining Walls:	370sf
Total Lot Coverage	9,249sf (39.7%)
Lot Area:	23,417sf (.54ac)



Existing Site Plan
1/32" = 1'-0"

Existing Site Notes

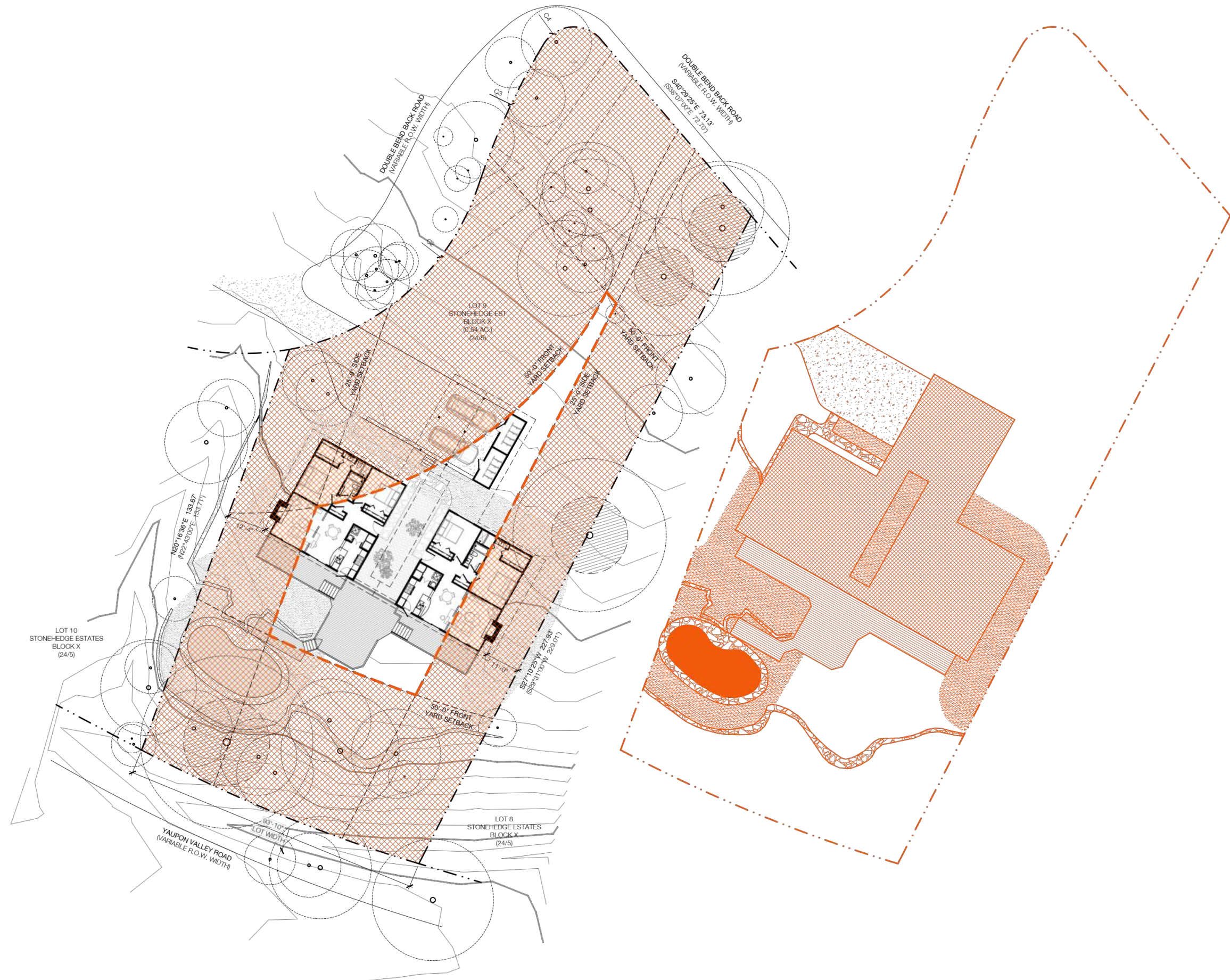
Overlaying setbacks and measurements set forth in § 22.03.281 Schedule of Regulations reveals the following non-conformities on both the site and the structure:

1. Existing building and rear wood patio encroaches the front and side yard setbacks
2. Existing pool encroaches the front and side yard setbacks. In addition, a small portion of the west side of the pool actually exists outside the property line.
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Existing Lot Coverage

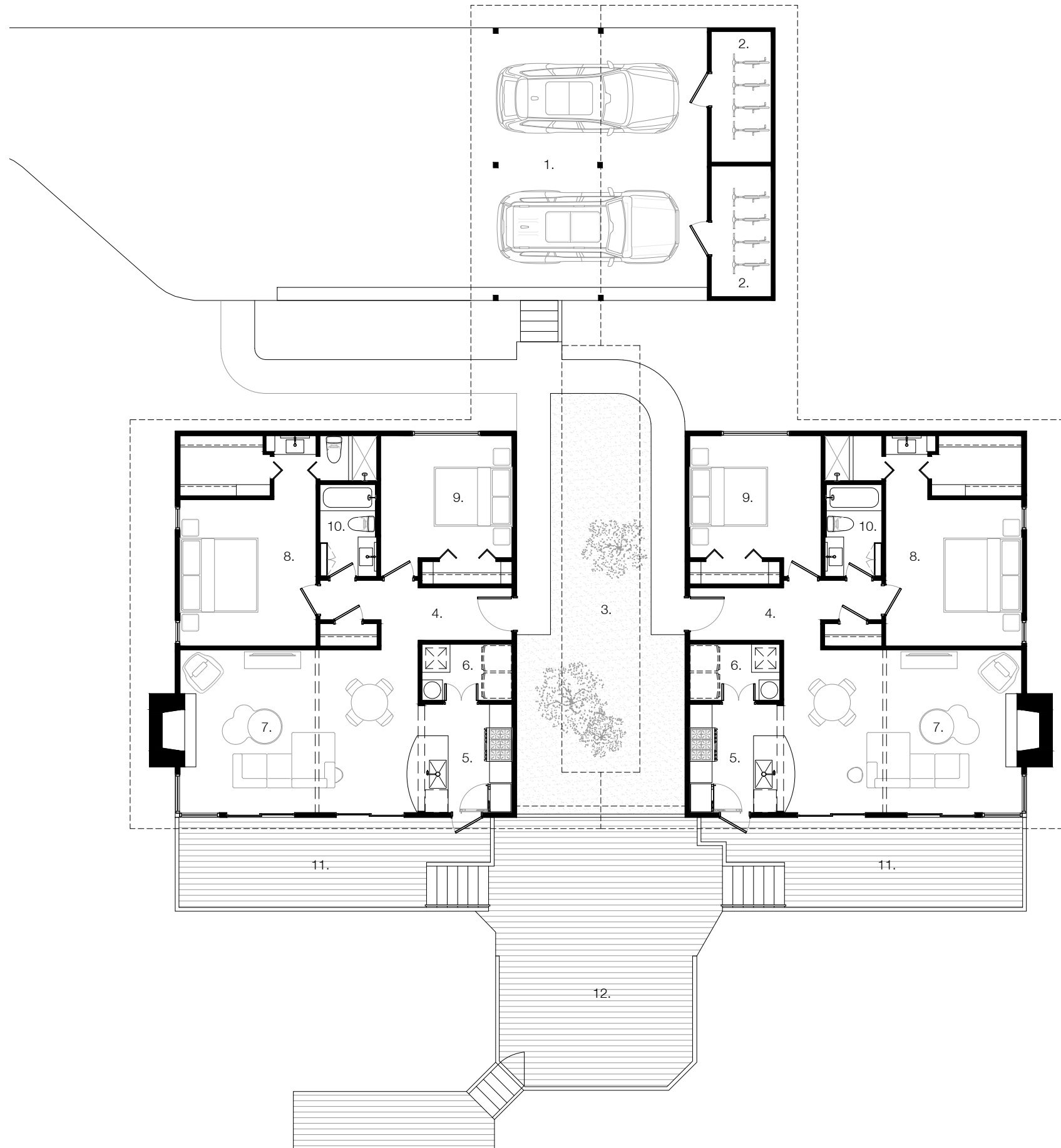
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Site Walls:	370sf
Pool/Coping:	635sf
Site Retaining Walls:	370sf

Total Existing Lot Coverage 9,249sf (39.7%)
 Lot Area: 23,417sf (.54ac)



Plan Key

- 1. Carport
- 2. Tenant Storage
- 3. Entry Courtyard
- 4. Tenant Entry
- 5. Kitchen
- 6. Laundry
- 7. Living Room
- 8. Primary Suite
- 9. Guest Bedroom
- 10. Guest Bathroom
- 11. Tenant Patio
- 12. Shared Wood Deck



Existing Floor Plan
 3/32" = 1'-0"



Existing Building Exterior



Existing Building Exterior



Existing Building Exterior



Existing Building Exterior





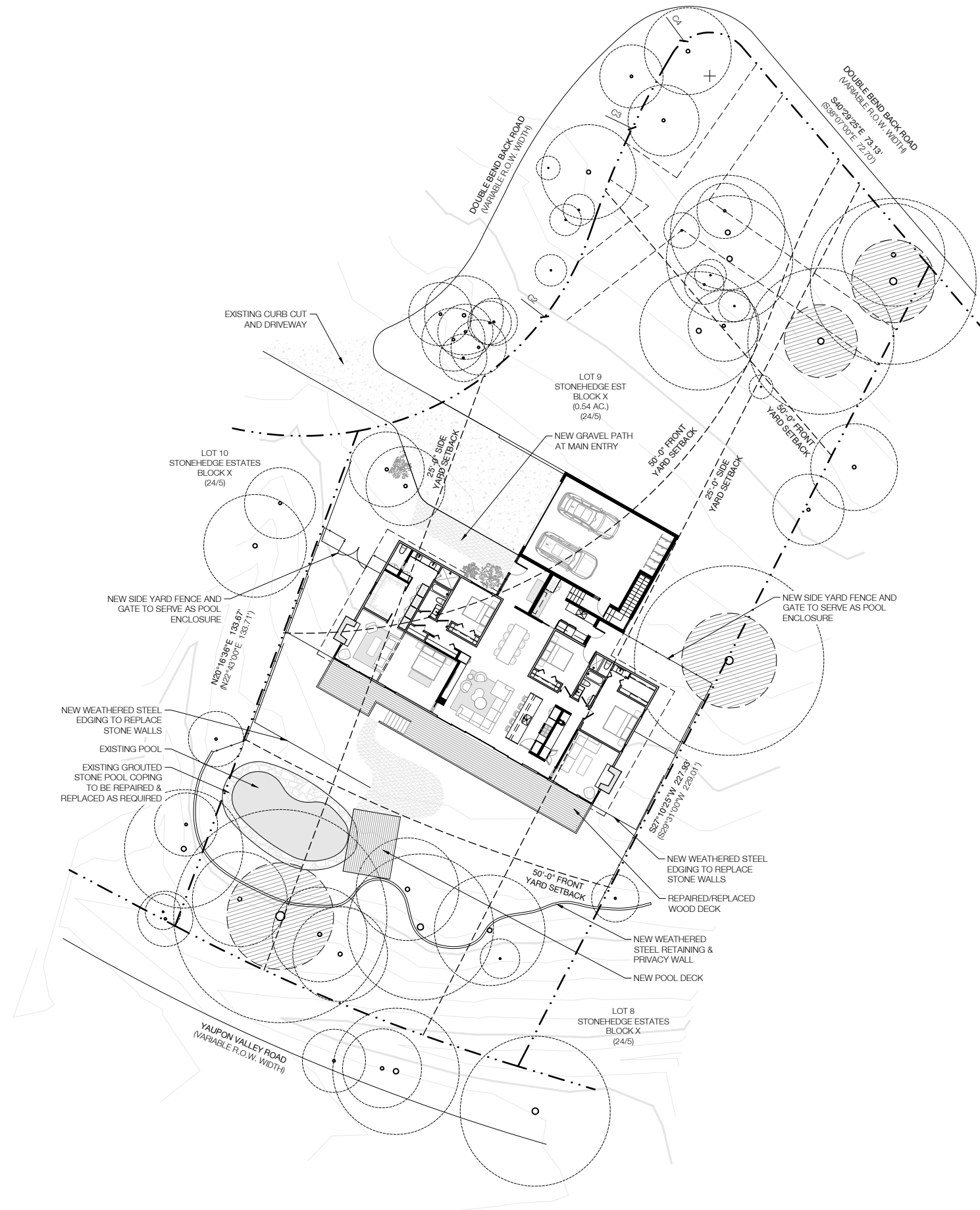
Existing Building Exterior



Existing Building Exterior



Existing Building Exterior



Proposed Site Plan
 1/32" = 1'-0"

Proposed Site Improvements

The proposed site plan seeks to utilize the existing duplex footprint and site amenities as part of the renovation and addition. The following list outlines the proposed variances for the site and building development:


1. In an effort to work with the existing footprint and setbacks, we are proposing to more appropriately landscape the site and remove much of the existing gravel bed pathways, significantly reducing the current 40% lot coverage. We are asking for a setback variance to reduce the existing lot coverage from 40% to 30%. In order to provide basic minimum access throughout the site, 25% lot coverage is not attainable.
2. The existing pool has no hardscape or patio access as part. For the safety of the users we are asking for a setback variance to construct a 200sf wood patio surface outside the front yard setback.
3. In utilizing the existing footprint for a new single family, we propose extending the footprint below the existing roof to include a small entry vestibule and enclosed garage for storage. See following floor plans on the following sheets for newly enclosed and constructed spaces which encroach the building setbacks. This newly enclosed construction occurs within the limits of the existing carport structure, already contributing to 100% lot coverage.
4. A new pool enclosure will be required per §22.03.167-Pools. Given the location of the existing pool and its proximity to the street, we request a variance to allow the pool enclosure facing Yaupon Valley Road to be made of solid materials for privacy as outlined in §22.03.173-Fences. As such, the pool enclosure would alternatively serve as a front yard fence as defined in the same section.

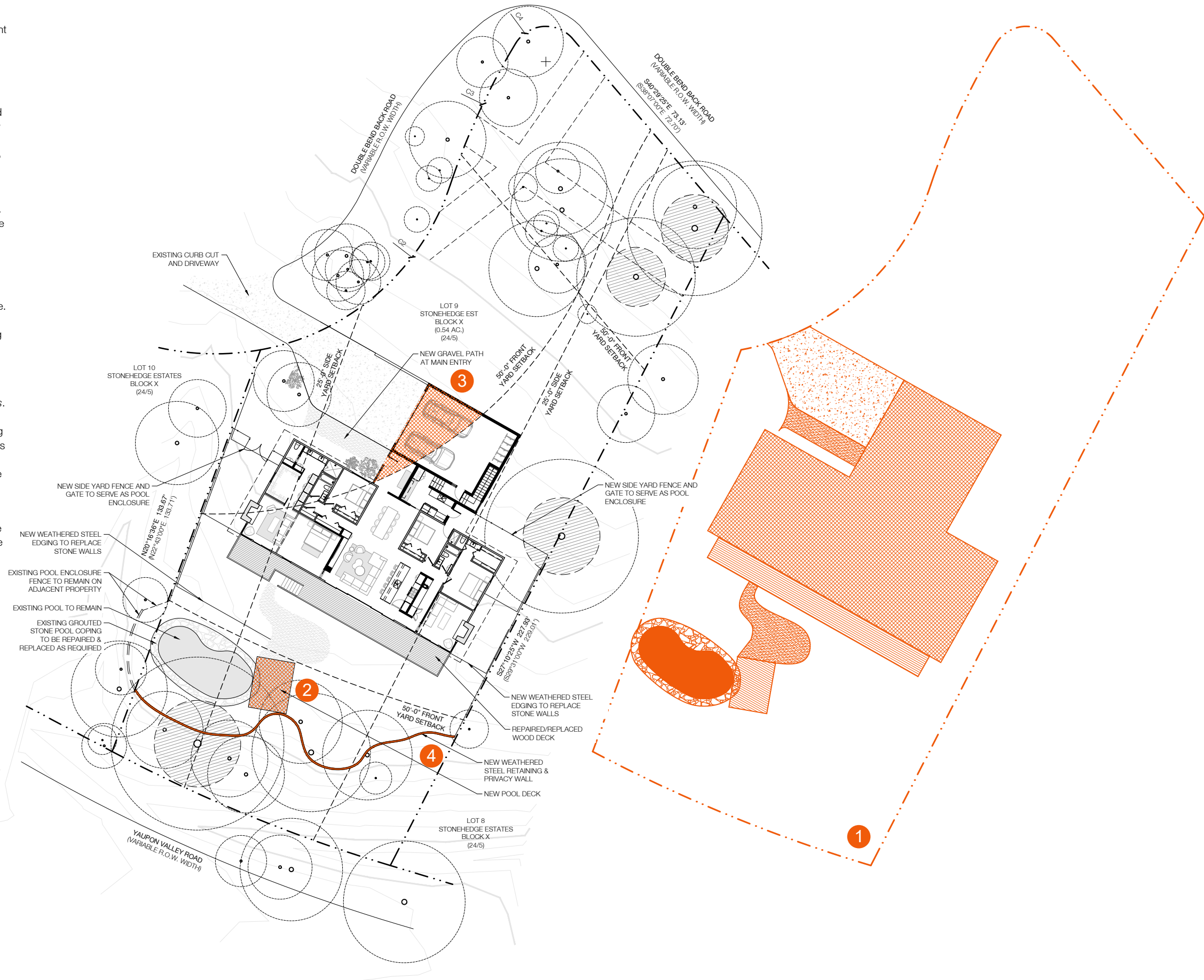
In addition, the existing dry stacked retaining wall is showing signs of wear and failure. It is the intent of the owner to replace as part of this development scheme. We propose replacing the existing retaining walls with an engineered steel structure that complies with §22.03.173(d)(6)(A)(iii-iv)-Front Yard Fence Requirements and City of Westlake Hills Drainage Manual. We recognize the inherent need to coordinate with an approved licensed arborist as well.

In an effort to utilize the same foundation, we propose locating the pool enclosure fence (front yard fence) on top of the replaced retaining wall. See page 18 for additional information.

Proposed Lot Coverage

Driveway:	870sf
Building:	4,243sf
Wood Decks (50%):	750sf (375sf)
Walkways & Paths:	790sf
Pool/Coping:	635sf
Site Retaining Walls:	80sf
Total Lot Coverage	6.993sf (29.8%)
Lot Area:	23,417sf (.54ac)

 Proposed Site Plan
1/32" = 1'-0"

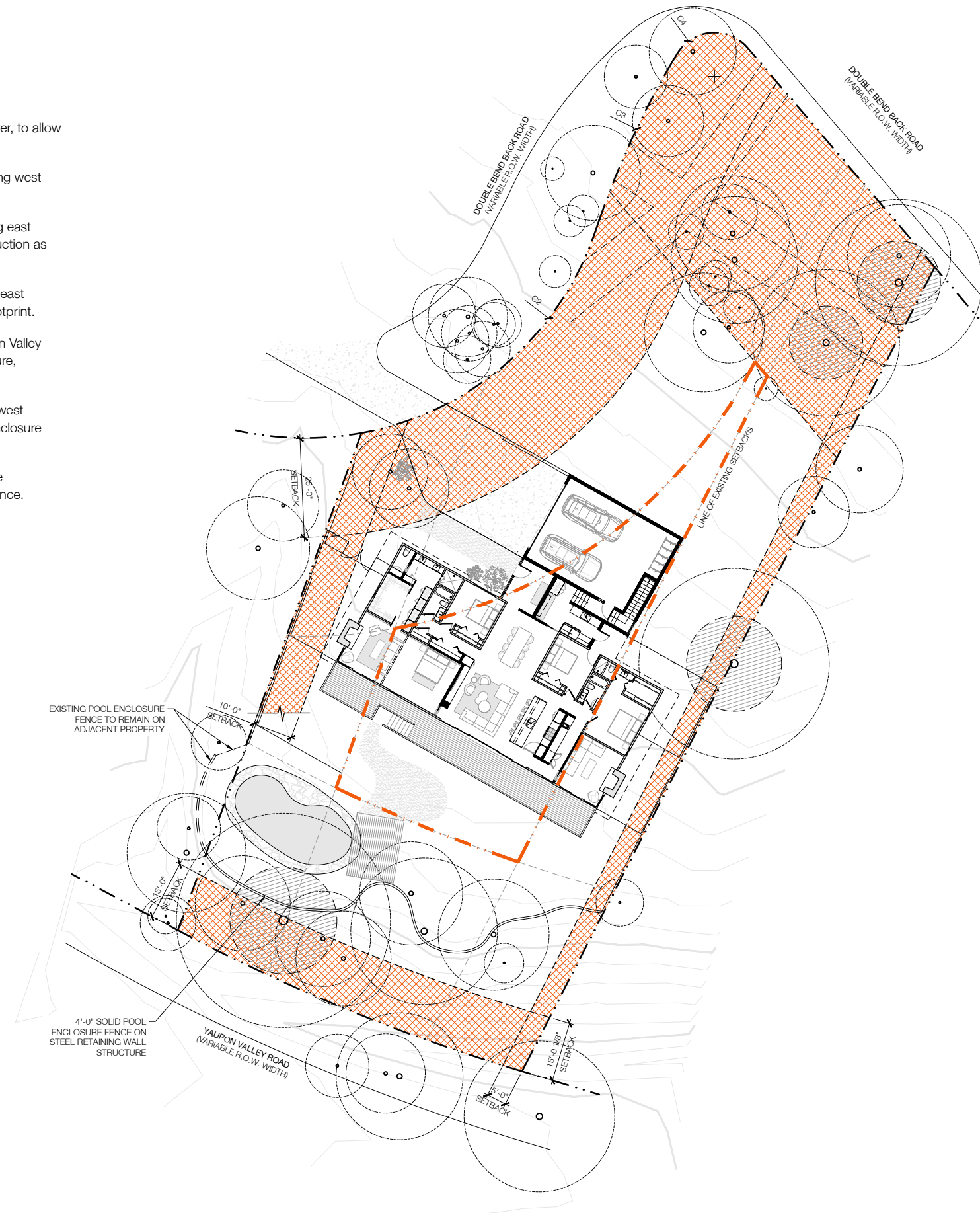


Proposed Variances

1. Variance from §22.03.281 Maximum Impervious Cover, to allow 30% lot coverage.
2. Variance from 25'-0" side yard setback to 10'-0" along west property line to allow work in existing footprint.
3. Variance from 25'-0" side yard setback to 5'-0" along east property line for existing building footprint. (New construction as part of garage addition to maintain 25'-0" setback)
4. Variance from 50'-0" front yard setback to 25'-0" on east property line for renovation & addition within existing footprint.
5. Variance from 50'-0" front yard setback along Yaupon Valley Road for existing pool and new pool deck, pool enclosure, retaining wall, and safety/privacy wall.
6. Variance from 25'-0" side yard setback on east and west property lines to 0'-0" for existing pool and new pool enclosure wall.
7. Variance from §22.03.173(d)(6)(A)(ii) Front Yard Fence Requirements to allow 0% visibility through front yard fence.

Proposed Lot Coverage

Driveway:	870sf
Building:	4,243sf
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Proposed Site Plan
1/32" = 1'-0"

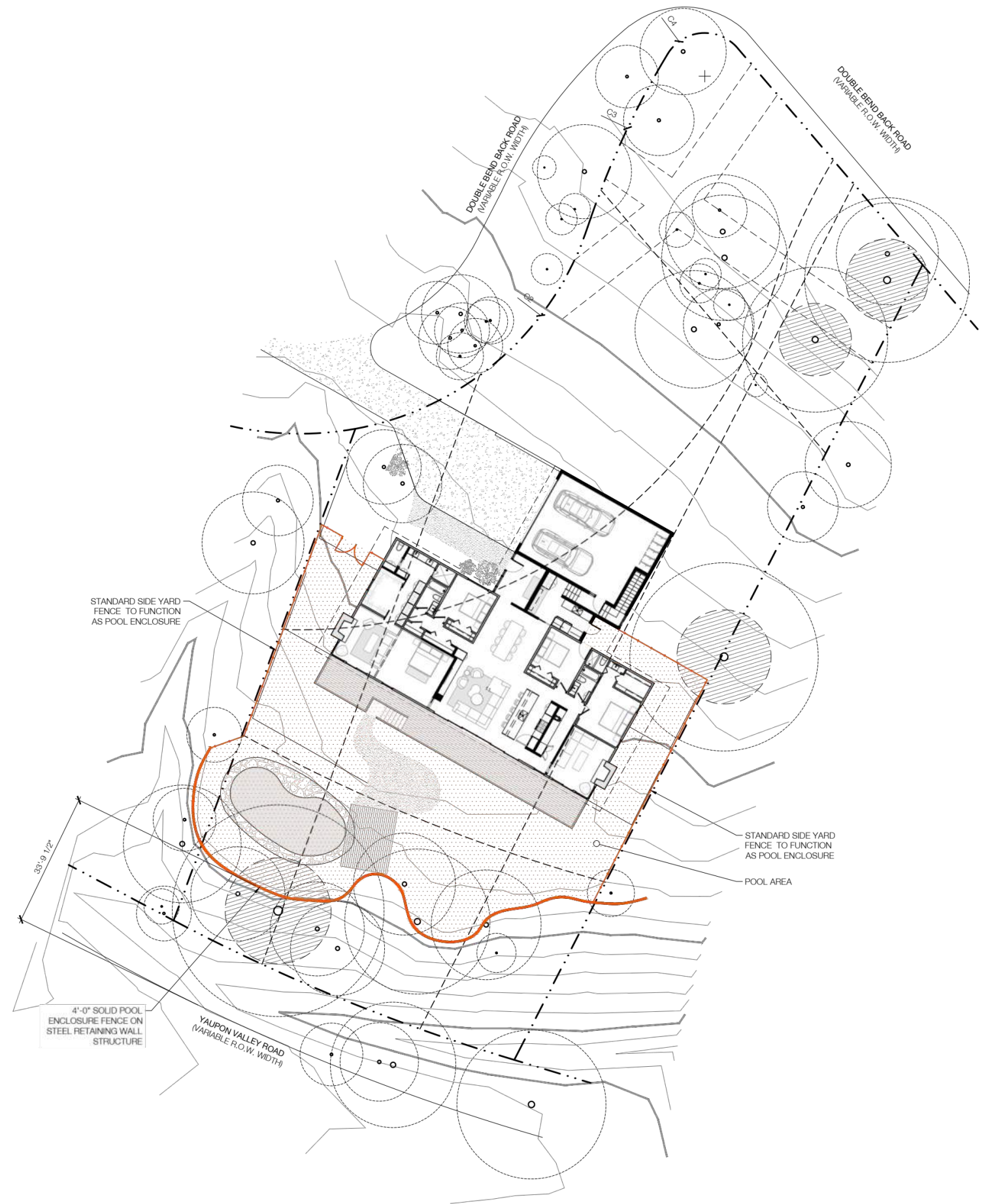


Existing View from Yaupon Valley Road

Proposed View from Yaupon Valley Road (tree removed for clarity)



Proposed Site Plan: Front Yard Fence / Pool Enclosure
1/32" = 1'-0"

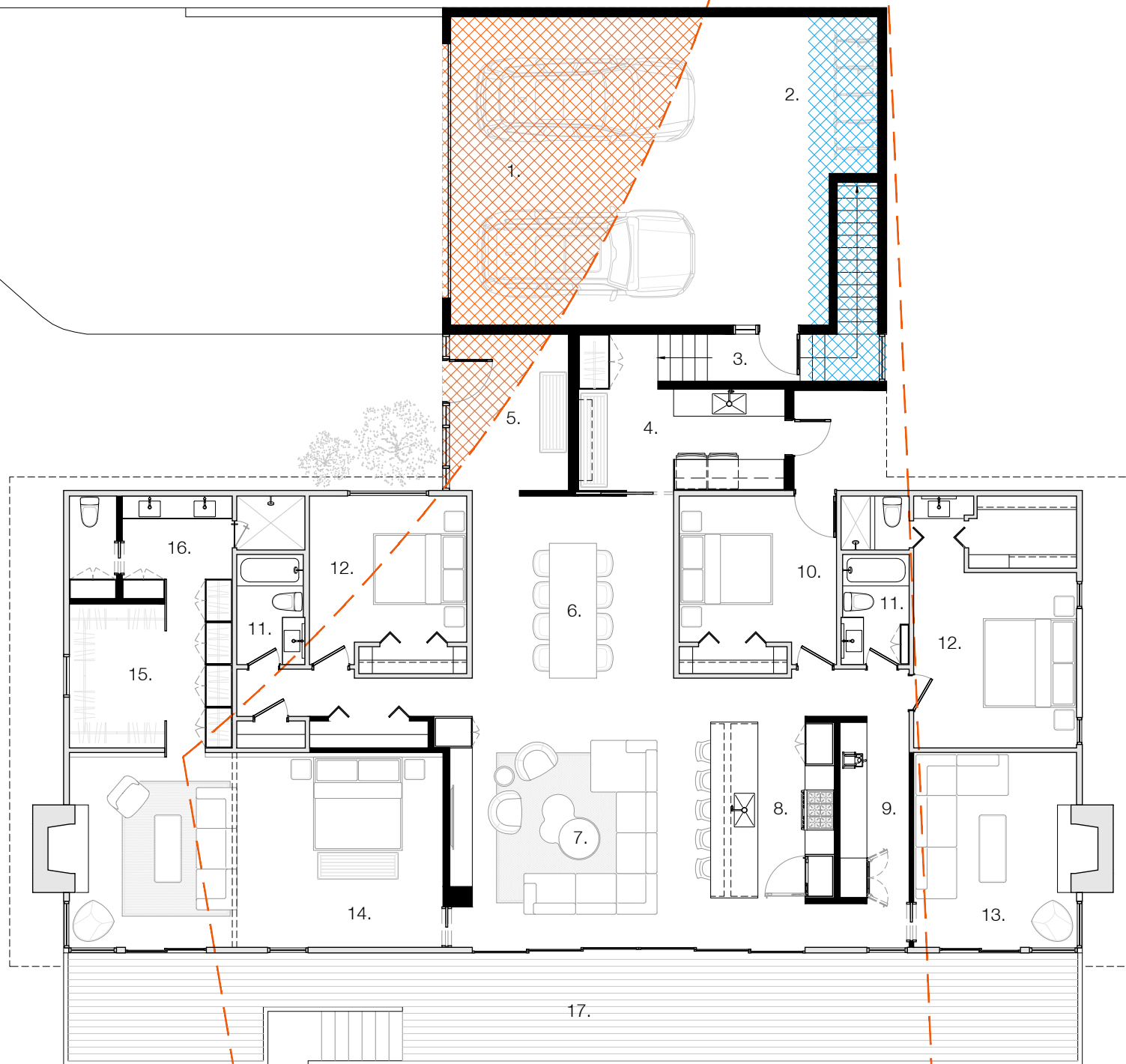


Plan Key

- 1. Carport
- 2. Bike Storage / Workshop
- 3. Garage Entry / Stair
- 4. Laundry
- 5. Guest Entry
- 6. Dining Room
- 7. Living Room
- 8. Kitchen
- 9. Pantry
- 10. Guest Bedroom
- 11. Guest Bathroom
- 12. Guest Suite
- 13. Media Room
- 14. Primary Suite
- 15. Primary Closet
- 16. Primary Bathroom
- 17. Wood Patio

* Red hatch indicates newly enclosed floor area within existing building footprint but encroaches setback.

*Blue hatch indicates new addition floor area outside existing building footprint within 25'-0" side yard setback.



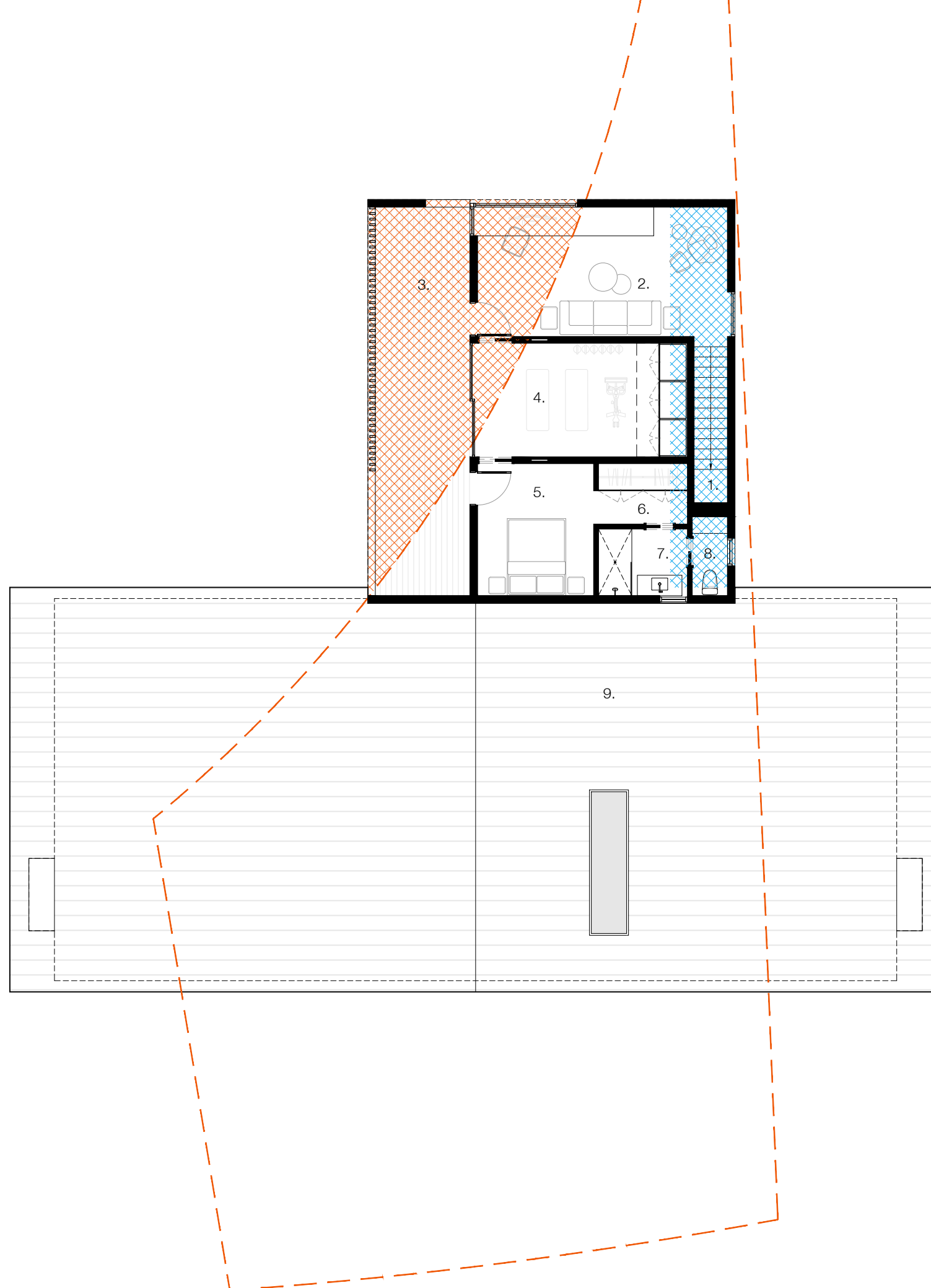
Proposed First Floor Plan
3/32" = 1'-0"

Plan Key

- 1. Stair
- 2. Office
- 3. Outdoor Patio
- 4. Gym
- 5. Guest Bedroom
- 6. Closet
- 7. Bathroom
- 8. Toilet Room
- 9. Existing Roof Below

* Red hatch indicates newly enclosed floor area within existing building footprint but encroaches setback.

*Blue hatch indicates new addition floor area outside existing building footprint within 25'-0" side yard setback.



Proposed Second Floor Plan
3/32" = 1'-0"



Proposed View From Driveway Entry



Proposed View From Double Bend Back Road



Proposed View From Pool



Exhibit A

1206 Yaupon Valley Road – Setbacks, Fence Visibility

Applicant's Findings of Fact

1. The strict or literal enforcement of the terms of this chapter, because of special conditions, will result in unnecessary hardship to the applicant.

Conditions set forth on this legal lot, platted in 1965 and duplex constructed in 1967, create a hardship that will not allow the proposed renovations to be permitted within the footprint of the existing duplex. The existing improvements would need to be completely demolished and the site redeveloped within the limited buildable area that does not allow for a reasonable use of the property

2. There will not be unreasonable disruption of the natural terrain or unreasonable destruction of existing flora.

The proposed additions and improvements are to be constructed within the footprint of the existing structures, without disrupting natural terrain or existing flora

3. There is no reasonable alternative to the requisite variance that will alleviate the difficulty or hardship complained of.

The alternative to the proposed plan would be to scrape the entire lot of structures and improvement. This would create considerable hardship and difficulty in design and constructing a new residence in the very limited buildable area

4. The variance will not be greater than the minimum required to alleviate the difficulty or hardship complained of.

The proposed design is doing all we can to remain within the existing improvements footprint with minimal expansion, while reducing overall impervious cover

5. The variance does not violate the intent of the Zoning Ordinance or goals of the Comprehensive Plan.

With the variance approval, the proposed renovations and additions seek to utilize the existing duplex footprint and site amenities without increasing non-conformities to the greatest extent possible. This plan will reduce the impact of continuing development of soils, plant material and wildlife, as stated in the goals of the Comprehensive Plan

6. The variance will not adversely affect neighboring properties or interfere with the enjoyment of these properties by their owners.

With approved variances, the proposed plan will not adversely affect neighboring properties as this does not increase non-conformity, while reducing the overall impervious cover and impact on the land. The approval will allow the renovation of the existing duplex to a single-family use, reducing the overall density and expected reduction in the number of vehicle trips within the neighborhood.